



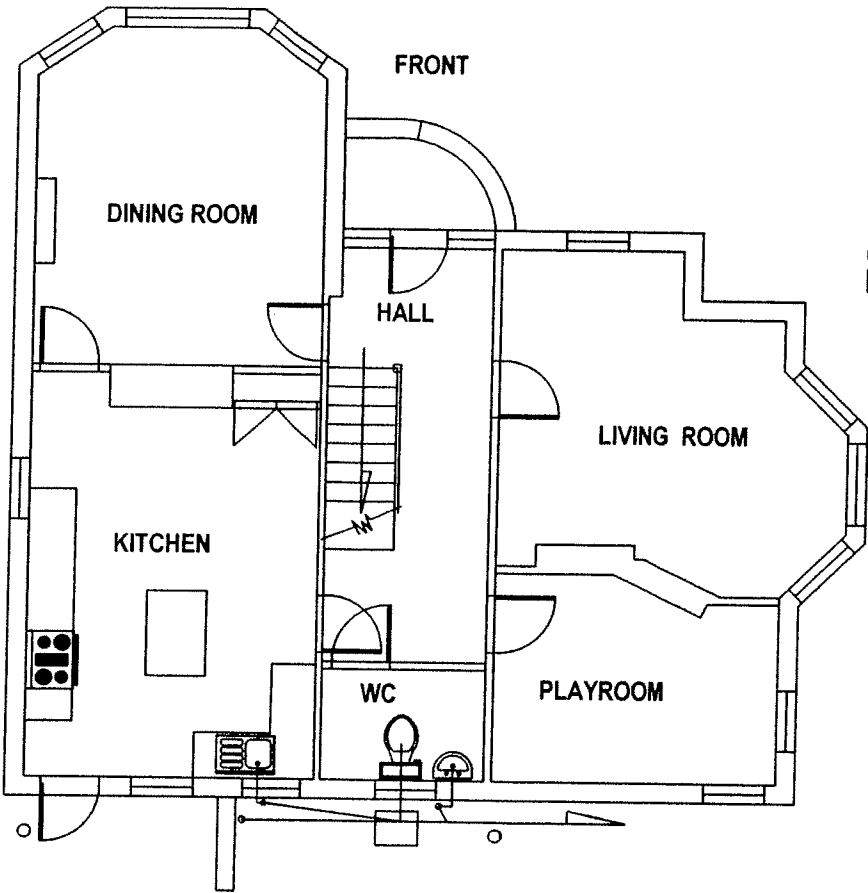
**NEW REAR VIEW**

**NEW FRONT VIEW**

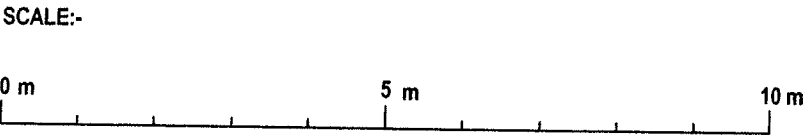
**NEW SIDE VIEW**



**NEW SIDE VIEW**



**EXISTING GROUND FLOOR**



|                                                                                                    |                                                                                                        |
|----------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| <b>MORGAN &amp; MORGAN EST LTD</b><br>PO BOX 164 WINSFORD ,CHESHIRE. CW7 4WY<br>TEL. 01606 599161. |                                                                                                        |
| NOTES:-                                                                                            | DRG No:-                                                                                               |
| PAPER SIZE:-<br>A3                                                                                 | REVISION No:-                                                                                          |
| CLIENT:-<br>MR RIAZ KARIM<br>18 CAUSTON RD N6. 5ES<br>HARINGEY,                                    | PROJECT:-<br>VELUX LOFT<br>CONVERSION &<br>GROUND FLOOR REAR<br>EXTN. FOR KITCHEN. &<br>REMOVE CHIMNEY |
| DATE: FEB. 2010                                                                                    | SCALE: 1 : 100                                                                                         |

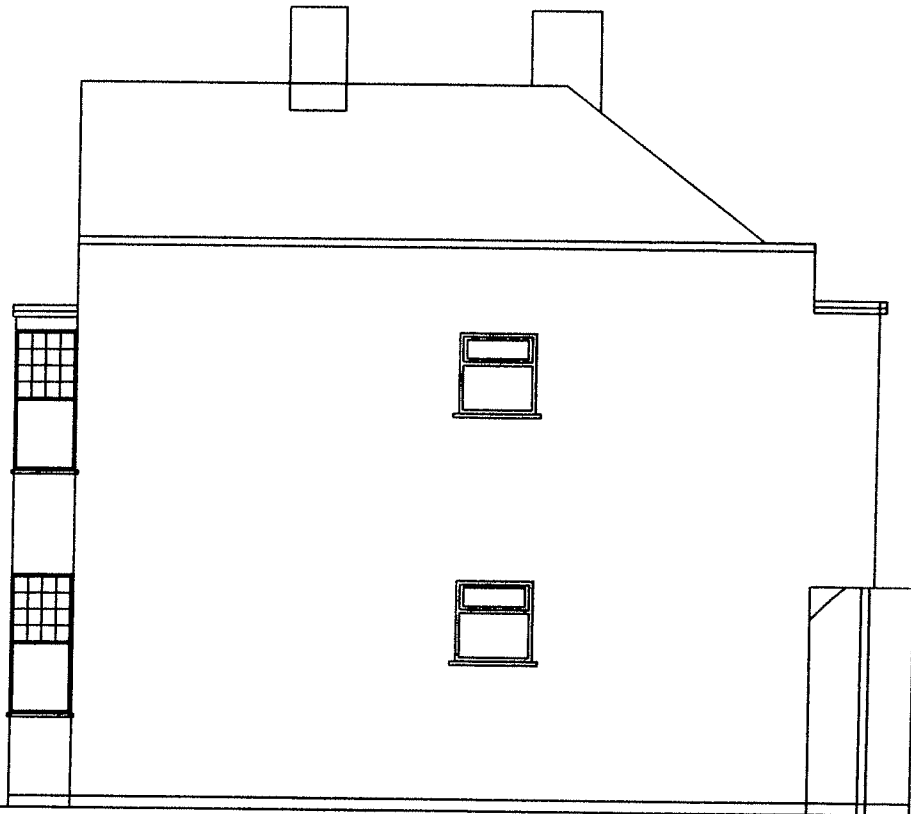
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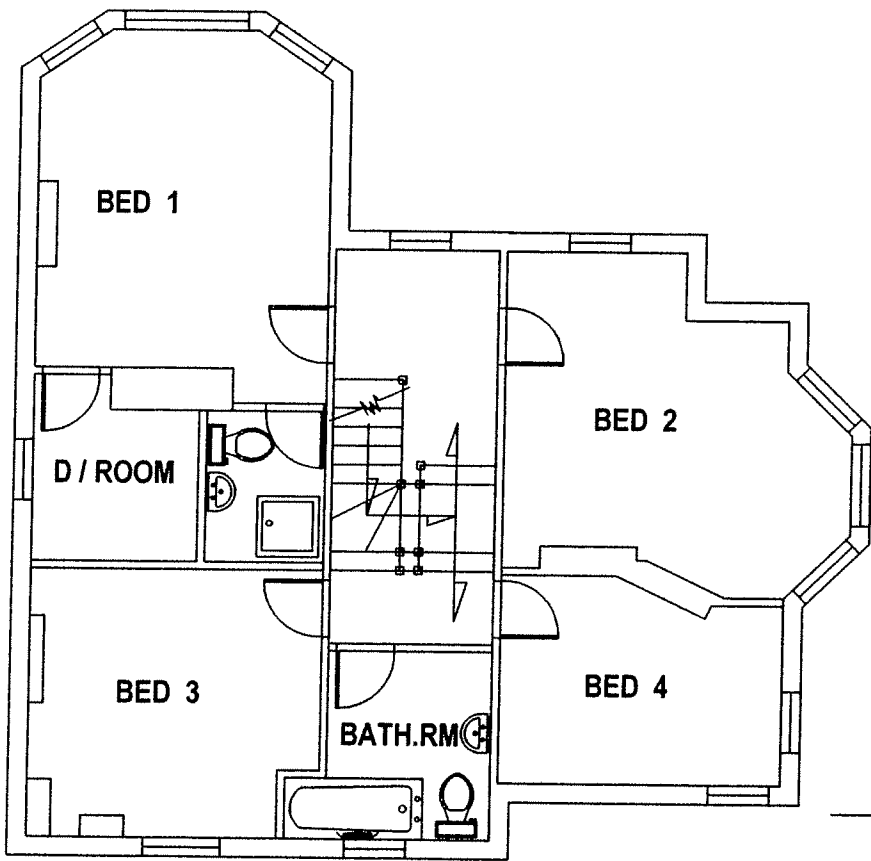
**EXIST. REAR VIEW**



**EXIST.FRONT VIEW**



**EXIST. SIDE VIEW**

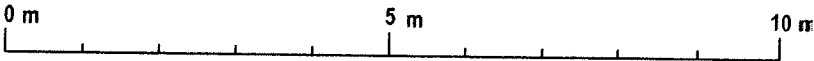


**EXIST. 1ST. FLOOR**



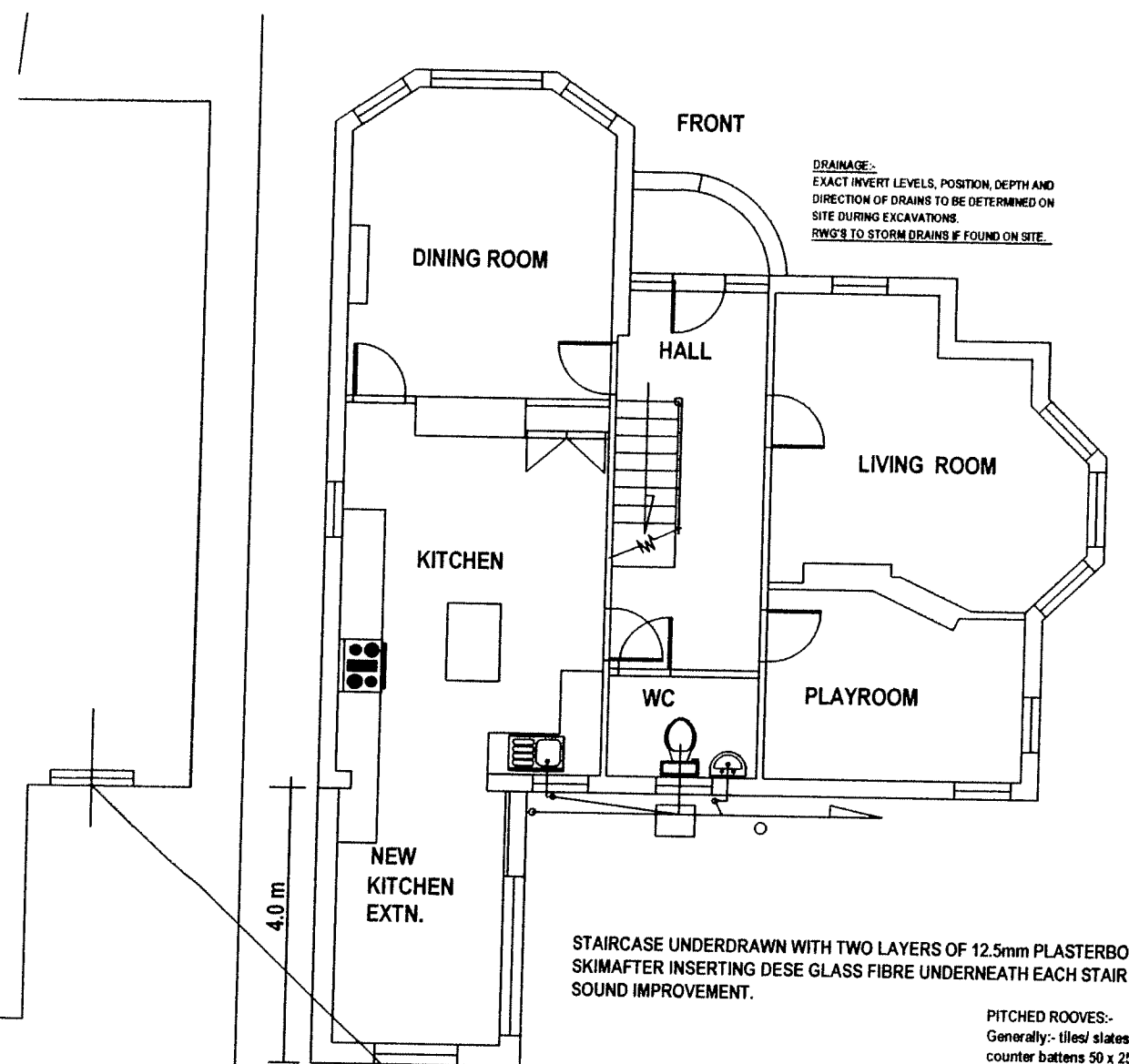
**EXIST. SIDE VIEW**

SCALE:-



|                                                                                                    |                                                                                                        |
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ABOVE GROUND DRAINAGE:-  
ALL SANITARY FITTINGS TO HAVE SEPARATE CONNECTIONS TO SWP NO CONNECTIONS TO BE WITHIN 200mm BELOW WC BRANCH CONNECTION.  
ALL SANITARY APPLIANCES TO CONNECT TO SOIL STACKS via PVC WASTES 75mm DEEP SEAL TRAPS. WASTES TO BE UHB 32mm, 40mm OVER 1.7m OVER 3m ANTIVACCUME TRAPS TO BE FITTED) SINK, BATH AND SHOWER TO BE 40mm(50mm OVER 3m)WC 100mm.  
LOWEST CONECTION TO SOIL STACK TO BE MIN 450mm ABOVE INVERT LEVEL.  
RAINWATER GOODS TO BE DEEP FLOW BLACK UPVC GUTTER SYSTEM 110X75mm WITH ASSOCIATED DOWN PIPE. ALL DISCHARGING TO TRAPPED BACK INLET GULLIES.  
FLASHINGS, SOAKERS AND SADDLES TO BE IN LEAD TOBS 1178 IN THE FOLLOWING MIN THICKNESS: FLASHINGS TO BS CODE 4, SOAKERS TO BS CODE 3 AND SADDLES TO BS CODE 4 FLASHINGS TO HAVE A MIN UPSTAND OF 150mm.  
SIZE, TYPE AND DEPTH OF FOUNDATIONS ARE TO BE DETERMINED BY GROUND CONDITIONS.

# PROPOSED GROUND FLOOR

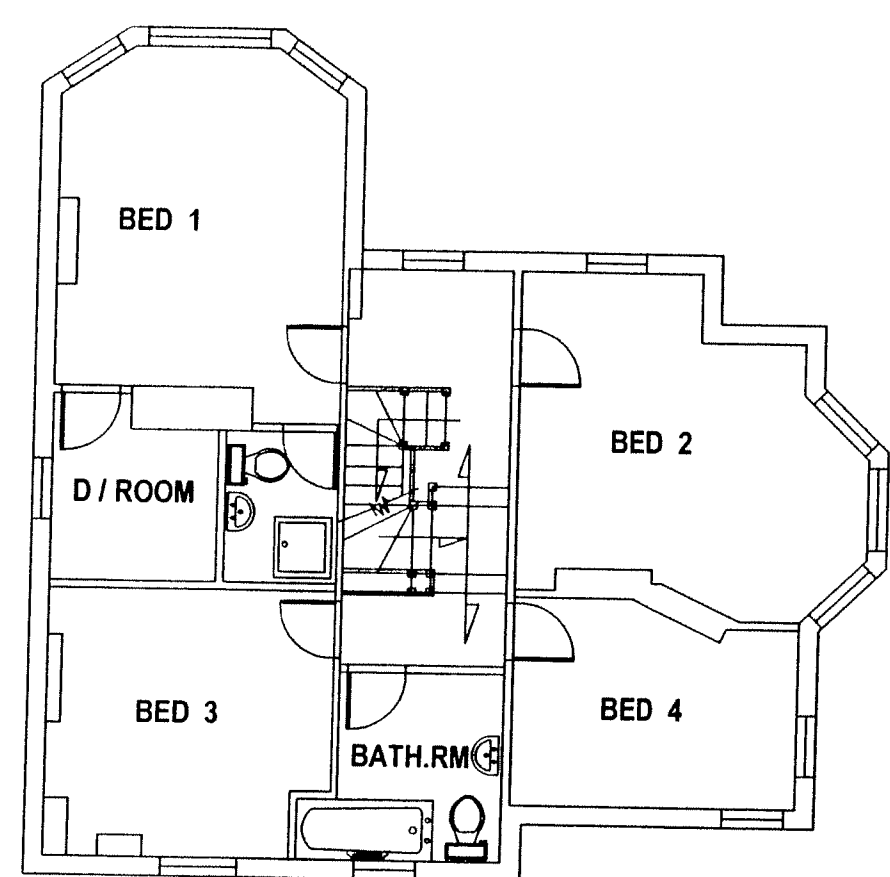
- VENTILATION:-**  
Generally opening lights to equal minimum 1/20th room floor area. Habitable rooms to have 8000mm sq trickle vents. Utility rooms and kitchens to have 'trickle vents' for background ventilation at leats 4000mm sq in area with a minimum dimension of 8mm that is Mechanical extract ventilation to external air and capable of intermitted use to be provided as follows:-
- a. Kitchen - 60 litre/sec or 30 litres if incorporated in a cooker hood.
  - b. Bathroom/ensuite- 15 litres/sec.
  - c. Sanitary accomidation with or without natural ventilation equal to 6 litres/sec.

**WINDOW AND DOOR FRAMES:-**  
Upvc frames, window openings lights to all rooms 5% min room floor area. Window openings sashes to be min 450mm wide x 760 deep.  
Size relates to min clear opening for escape purposes height of opening not to be above 1100mm above floor level.double glazing units 4-16-4 in Pilkingtons "Optitherm system".  
This system gives U value of 1.8 W/m2/deg K.  
**SAFETY GLAZING.**  
Toughened glass to be used in any critical locations ie. In doors, side panels adj doors, glazing within 800mm of ground level.

DRAINAGE:-  
EXACT INVERT LEVELS, POSITION, DEPTH AND DIRECTION OF DRAINS TO BE DETERMINED ON SITE DURING EXCAVATIONS.  
RWG'S TO STORM DRAINS IF FOUND ON SITE.

STAIRCASE UNDERDRAWN WITH TWO LAYERS OF 12.5mm PLASTERBOARD AND SKIMAFTER INSERTING DESE GLASS FIBRE UNDERNEATH EACH STAIR TREAD FOR SOUND IMPROVEMENT.

PITCHED ROOVES:-  
Generally:- tiles/ slates suitable for specified pitch on minimum 35 x 35 counter battens 50 x 25mm sw battens on breathable roofing membrane e.g TYVEK or equiv.



# NEW 1ST. FLOOR

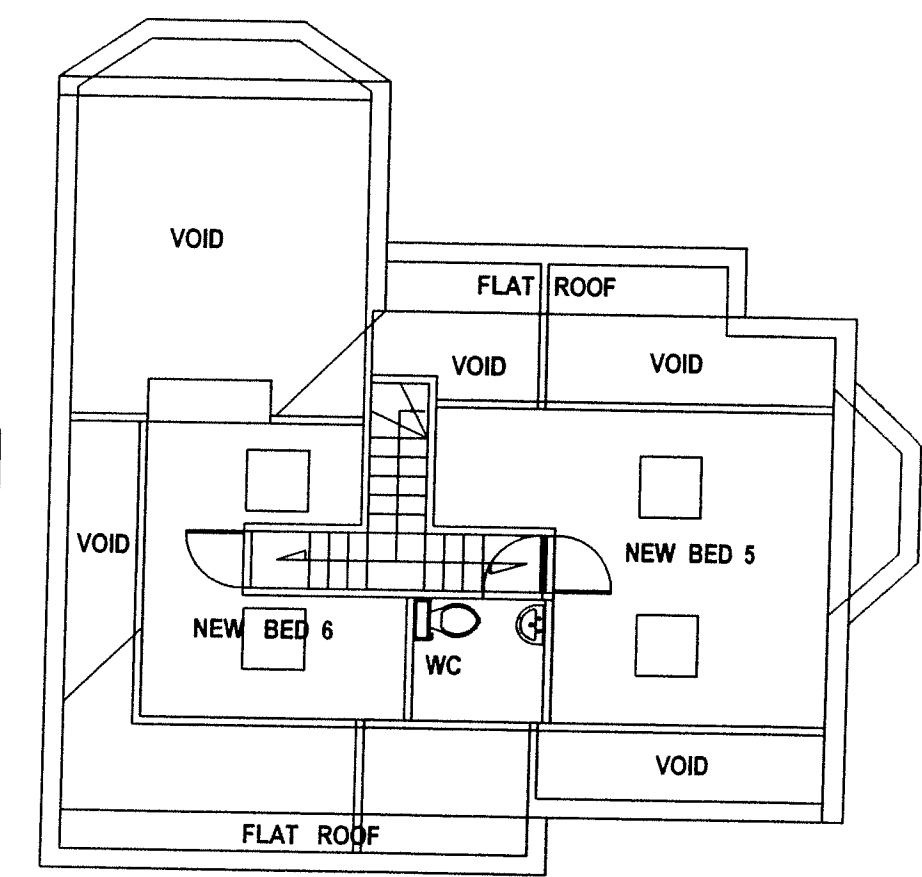
**FOUNDATIONS:** ( assuming normal ground conditions). Cavity walls 600 X 150mm . Half brick and internal walls 400 x 150 mm. Concrete strips ( 1: 3 : 6 ) minimum 750 mm below ground level to suitable substrata and below adjacent drain inverts. Foundations to be widened at piers & pillars to maintain minimum 150mm spread. Where special foundations are required to see engineers details and calculations.

**GROUND FLOOR:-** 19 mm asphalt to B.S 1076 on membrane, on 100mm concrete slab on 1200g visqueen d.p.m on 100mm kingspan TF70 on sand and 150mm hardcore D.p.m taken up edge of slab under d.p.c.  
**CAVITY WALLS:-** (external) 102 brickwork, 85mm full fill cavity insulation, 100 thermalite " shield" blockwork ( up to d.p.c level ) maximum 1m below ground level:- two leaves brick or approved blockwork with 85mm cavity filled with fine concrete to within 225mm of the lowest horizontal d.p.c.  
**CAVITY WALL ALTERNATIVE (external )** 102 brickwork , 75mm full fill cavity insulation , 100mm thermalite " turbo" blockwork plasterboard on dabs with skim finish.  
Walls must achieve a U value of 0.3 W/m2/degK.

**WALL TIES & CLOSURES.**  
Stainless steel approved tie wires at maximum 750mm horizontal and 450mm vertical ctrs ( 300mm maximum vertical ctrs at jambs of openings). Proprietary approved insulated cavity closures at all jambs of external openings. Cavity closed at head with block or equivalent.

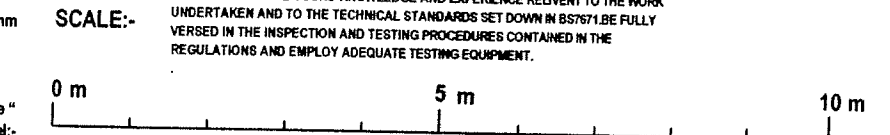
**INTERNAL WALLS:-**  
Loadbearing: minimum 100mm block brick on foundations a.b.d non-loadbearing :- minimum 100mm block brick on 400mm wide x 200mm thickened slab.  
Finishes for all external walls. TO be plasterboard on dabs with skim coat. Partitions:- minimum 12.5mm plasterboard each side of 75mm x 50mm timber or similar approved studding at 400mm c/c with min 50 mineral wool insulation infill. Triple joists below partitions running parallel with joists span where sited on timber floors.

**DAMP PROOF COURSE:-**  
Horizontal d.p.c to outer leaf of cavity wall minimum 150mm above external ground level to inner leaf and to all ground floor internal wall partitions to B.S 1076, Thermalite or similar vertical d.p.c's to be incorporated at jambs of all openings in external walls. Cavity tray dpc's to be provided above external lintels as required at all roof and cavity wall abutments linked to suitable 150mm up stand flashing ( stepped or otherwise ).



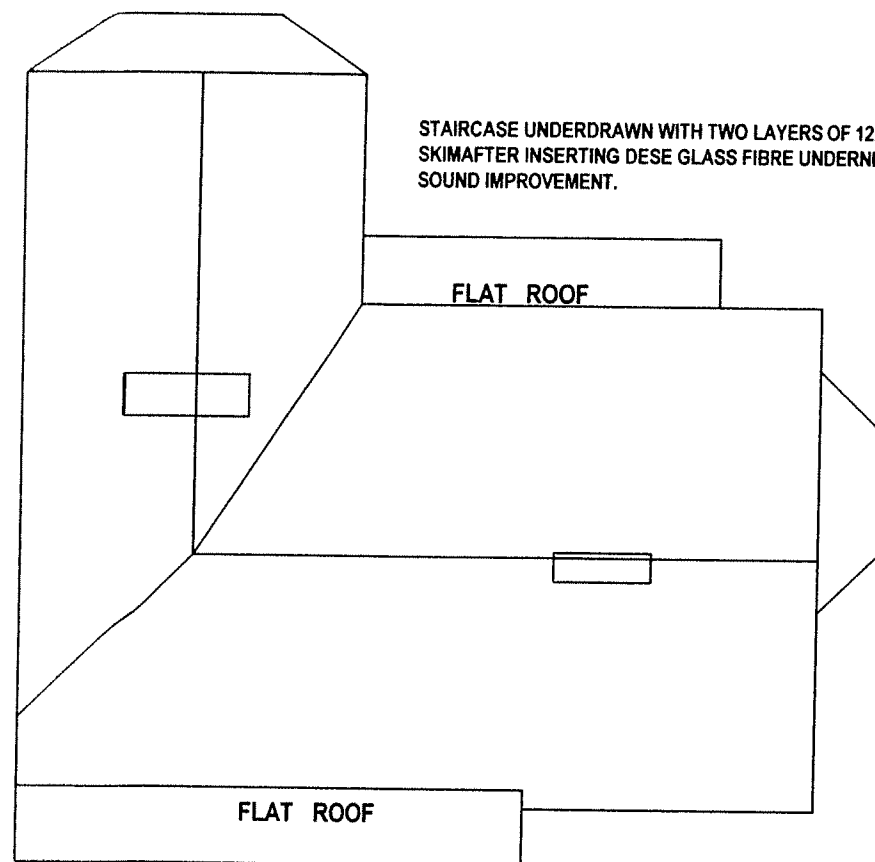
# NEW 2 ND. FLOOR

**ELECTRICAL:-**  
ALL ELECTRICAL WORK REQUIRED TO MEET REQUIREMENTS OF PT ELECTRICAL SAFETEY) WILL BE DESIGNED, INSTALLED , INSPECTED AND TESTED BY A PERSON WHO IS COMPITENT TO DO SO.  
PRIOR TO COMPLETION THE LOCAL AUTHORITY MUST BE SATISFIED THAT:- EITHER AN ELECTRICAL INSTALLATION CERT ISSUED UNDER A COMPETENT PERSON SCHEME HAS BEEN ISSUED,OR  
APPROPRIATE CERTIFICATES AND FORMS DEFINED INBS 7671 (AS AMMENDEI) HAVE BEEN SUBMITTED THAT CONFIRM THAT THE WORK HAS BEEN INSPECTED AND TESTED BY A COMPETENT PERSON.. A COMPETENT  
PERSON WILL HAVE SOUND KNOWLEDGE AND EXPERIENCE RELVUNT TO THE WORK UNDERTAKEN AND TO THE TECHNICAL STANDARDS SET DOWN IN BS7671,BE FULLY VERSED IN THE INSPECTION AND TESTING PROCEDURES CONTAINED IN THE REGULATIONS AND EMPLOY ADEQUATE TESTING EQUIPMENT.



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## EXIST. ROOF PLAN.

### VENTILATION:-

WINDOWS TO NEW HABITABLE ROOMS TO HAVE OPENING LIGHTS EQUIV TO 1/20 OF THE FLOOR AREA. BACKGROUND VENTILATION TO BE PROVIDED TO ALL NEW HABITABLE ROOMS TO PROVIDE 8000mm<sup>2</sup> BY TRICKLE VENTS FITTED IN DOOR / WINDOW HEADS.

**ELECTRICAL:-** ALL NEW ELECTRICAL WORK IS TO BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH BS. 7671:2001 OR AN EQUIVALENT STANDARD. THESE INSTALLATION WORKS AREA TO BE UNDERTAKEN BY A PERSON REGISTERED WITH AN ELECTRICAL SELF CERTIFICATION SCHEME, ALTERNATIVELY BY A SUITABLY QUALIFIED PERSON, WITH A CERTIFICATE OF COMPLIANCE PRODUCED FOR BUILDING CONTROL UPON COMPLETION OF WORKS.

### NOTE:-

FIRST FLOOR CEILINGS TO BE UPGRADED TO A MIN OF 25mm PLASTERBOARD AND SKIM. OR ADD 100mm SOUND SLAB PLUS 50mm ROCKWOOL ON WIRE MESH FOR TOTAL EQUIVALENT OF 1/2 HR FIRE RESISTANCE.

### PARTY WALL (IF APPLICABLE)

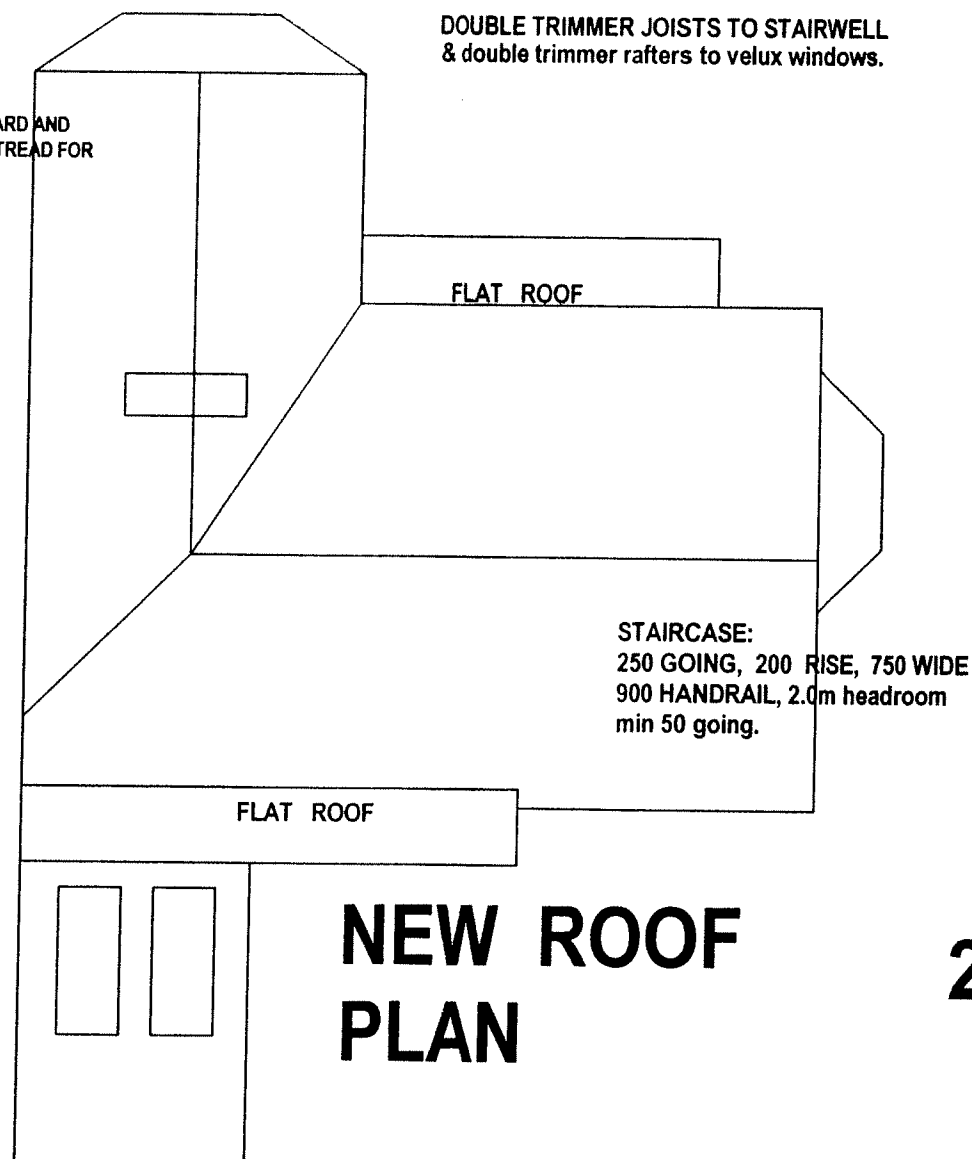
TO BE UPGRADED WITH 100 X 50 mm BATTENS SCREWED TO PARTY WALL, 100 mm KINGSPAN INSULATION BETWEEN VOIDS, PLASTERBOARD AND SKIM. FOR MAX 0.3/m<sup>2</sup> K<sub>o</sub>.

### LIGHTING:-

HIGH EFFICIENCY LIGHT FITTINGS, CAPABLE OF ONLY ACCEPTING LAMPS HAVING A LUMINOUS EFFICACY GREATER THAN 40 LUMENS / CIRCUIT-WATT WILL BE PROVIDED IN ROOMS OR CIRCULATION AREAS MOST FREQUENTLY USED @ A RATE OF 1/25m<sup>2</sup> OF FLOOR AREA OR 1 / 4 FIXED LIGHT FITTINGS, WHICHEVER IS GREATER.

### WINDOWS:-

ALL NEW WINDOWS TO BE DOUBLE GLAZED WITH HIGH PERFORMANCE WINDOWS. TIMBER OR UPVC AND TO HAVE MAX U VALUE OF 1.8 W/M<sup>2</sup> K WITH 20mm AIRSPACE AND LOW EMISSIVITY GLAZING TO INNER LEAF (PILKINGTONS 'K' GLASS OR OTHER APPROVED. ARGON FILLED.



## NEW ROOF PLAN

### RAFTER INSULATION :-

150mm KINGSPAN INSULATION 100mm INTER + 50 CROSS LAID UNDER + 50mm AIRGAP ABOVE. ALL UNDERDRAWN WITH 15 kg/m<sup>2</sup> PLASTERBOARD AND SKIM. RAFTERS 150 X 50 mm sw @ 400 CTRS.

STAIRS TO BE UNDERDRAWN WITH 15 kg/m<sup>2</sup> PLASTERBOARD AND SKIM FOR 1/2 FIRE RESISTANCE.

### HEATING:-

BOILER HEAT REQUIREMENTS 50 000 BTU/HR EXISTING AND NEW REQUIREMENTS 85 000 BTU/HR. ALL RADIATORS TO HAVE T.R.V'S.

### STAIRWELL

TO BE TRIPLE TRIMMED WITH 175 X 75 SC4 sc FLOOR JOISTS @ 400CTRS MAX SPAN 3.7m.

### STAIRWAY TO BE PROTECTED:-

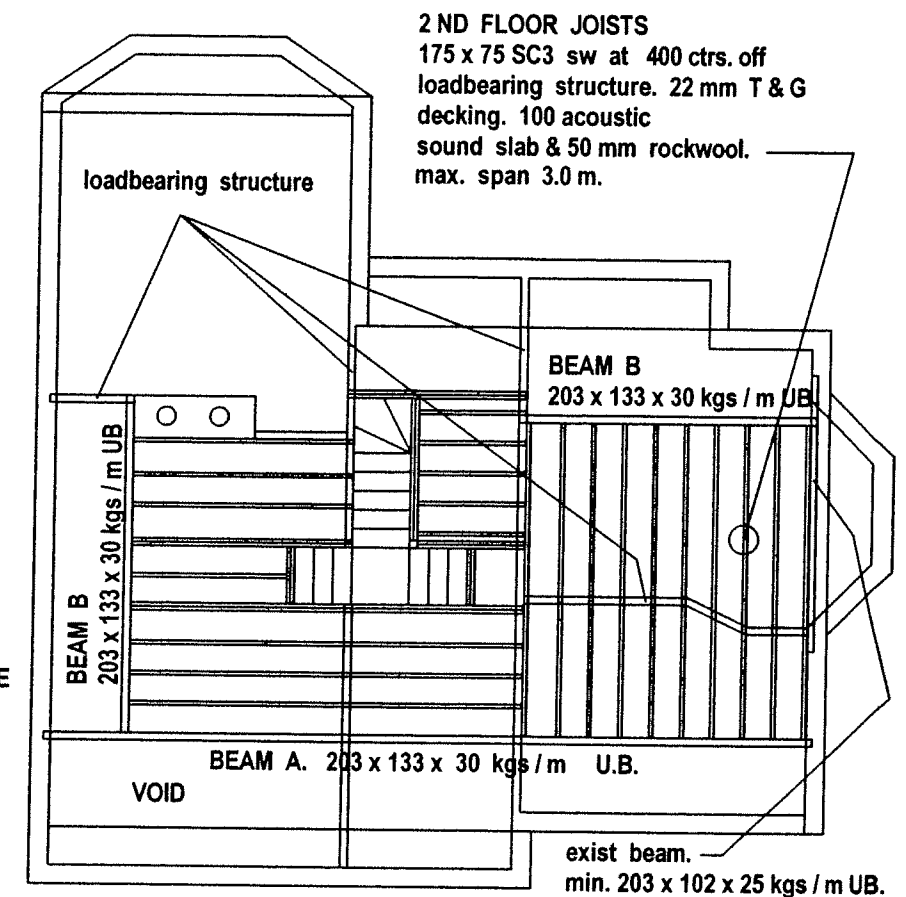
STAIRS TO BE UNDER DRAWN WITH 15 Kg/m<sup>2</sup> PLASTERBOARD AND SKIM FOR 1/2 FIRE RESISTANCE. (IF APPLICABLE)

### STAIRCASE CONTINUED:-

STAIRCASE- 250mm GOING/ 200mm RISE/ 800mm WIDE / 900mm HANDRAIL MIN 2.0m HEADROOM AND MINIMUM GOING FOR STAIR WINDERS OF 50mm.

### SMOKE ALARMS AND DETECTION:-

L2 AUTOMATIC INTERLINKED SMOKE DETECTION SYSTEM WITH BATTERY BACK UP TO INCLUDE IONISATION DETECTORS TO DINING ROOM AND LOUNGE, TOGETHER WITH OPTICAL DETECTORS TO FIRST FLOOR LANDING. HEAT DETECTOR FITTED REMOTE FROM A HEAT SOURCE TO KITCHEN.



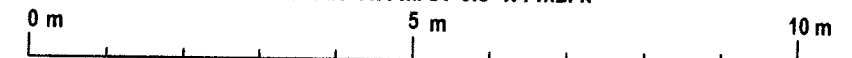
## 2.ND FLOOR TIMBERS

### RAFTERS.

150 x 50 SC3 sw at 400 ctrs. plus KINGSPAN K7. INSUL. 100 mm inter & 50 under.

### SCALE:-

PARTITIONS & GABLE WALL.  
100 mm KINGSPAN K7. MAX 0.3 w / m<sup>2</sup> k



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