

VERIFIED VIEWS



Photomontage View 2: Junction of Northumberland Park and High Road (looking towards Sainsburys)



Photomontage View 2: Junction of Northumberland Park and High Road (looking towards Sainsburys)

8.3 LINEAR BUILDINGS

Main building - Appearance:

Tottenham is known for the clay pits which were excavated near the High Road and White Hart Lane to produce pottery and brick. The proposals seek to celebrate this significant cultural heritage and respond to the existing terrace by employing brick as the central construction material for the development.

The Paxton Development is referenced with the proposed linear building sitting on a plinth of dark, blue/grey, brickwork which sets an important horizontal datum, accentuating the long ribbon like form of the facade and breaking up the height of the elevation.

The anchored and utilitarian ground floor follows the Georgian architectural language of hierarchy in terms of base and more prominent levels above but interpreted in a contemporary manner. The brickwork dissolves from dark to light and the upper floor fenestration offsets from that below to present a more organic elevation while reinforcing the linear nature of the architecture.

The heavy plinth and lighter appearance of the mass over is completed by the set back top floor which utilises standing seam zinc cladding in a light tone as a contemporary mansard further breaking up the elevation. Divided in elevation, the linear building is more subtly broken down in plan with the undulating façade responding to the terrace opposite – this move is heightened by the angled bays being finished in differing colours of brick to respond to the varying existing tones of the heritage buildings opposite.

Northumberland Park building - Appearance:

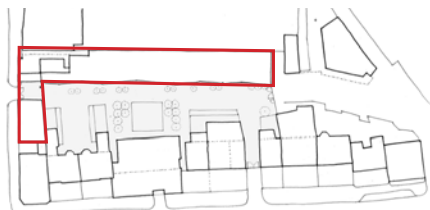
Brickwork is also employed throughout the Northumberland Park proposal but with the introduction of a blue glazed brick. This ties the scheme together with the materiality of the completed rear extension to Percy House and makes for a richer elevation adjacent to the existing Victorian shop front at No. 814 – it also presents a robust and easy to clean façade against this well used section of street.

The existing adjacent elevation to No. 814 features a closed base, a series of pilasters with large transomed windows between them, a first floor cornice and further rusticated pilasters at second floor with deep capitals. The proposed elevation pulls through lines from these elements and transposes them as piers, modelled window reveals, header courses, belt courses and recessed brickwork offering a new composition of hierarchy and contemporary detail.

Warm, buff tone, brick is employed at first floor over the blue brick base and a red brick is used for the minimally set back east end bay over the substation. The red brick is also used to pick up the header course detail above the first floor windows along the full length of the elevation.

In a similar manner to the main linear building the top floor is clad in light coloured zinc with standing seams and window heads which follow the angle of the roof and offer legibility to the internal form of the spaces.

Key plan



Proposed linear building looking north east



Proposed linear building return to Northumberland Park

8.3 LINEAR BUILDINGS

Principle Materials Palette:

- ① Facade Finish - Brickwork (Varying Colours):
Brick work (flemish bond) to distinguish new elements from the existing.
- ② Facade Finish - Brickwork (Blue Grey):
Brick work (flemish bond) to plinth to match The Paxton Building.
- ③ Facade Finish - Brickwork (Blue Glazed):
Brick work (flemish bond) to match existing Percy House.
- ④ Facade Finish - Brickwork (Recess Detail):
Brick work recess detail above windows / header course.
- ⑤ Facade Finish - Standing Seam Cladding:
Light grey standing seam metal wall cladding.
- ⑥ Coping Finish - Parapet Walls:
Dark grey metal coping.
- ⑦ Window / Door Finish:
Clear glazing within dark grey proprietary frame system.
- ⑧ Fence, Gate & Screen Finish:
Steel fencing / gates / screens to cycle refuse, undercroft, sub station and egress from neighbouring building. Colour to match metal wall cladding.



Brickwork (Varying Colours)



Brickwork (Blue Grey)



Brickwork (Blue Glazed)



Brickwork (Recess Detail)



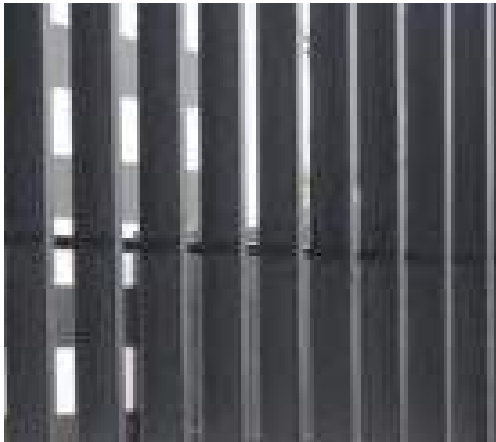
Standing Seam Cladding



Clear Glazing & Dark Frame System



Metal Coping (Dark Grey)



Metal Screens (Match Wall Cladding)



Key plan



8.4 HISTORIC TERRACE AND EXTENSIONS

Layout:
Nos. 798, 800, 802 and 808 High Road are described together in this section as a consistent design approach has been applied to this group of historic buildings. The foremost move is to restore the properties and recover their original, early 18th Century plan form.

Following the precedent set at Percy House, the buildings are each extended to the rear with a single storey contemporary intervention to provide additional space, improved access and address the proposed landscape.

The extensions to Nos. 798, 802 and 808 present a new front door to the courtyard, as well as providing accommodation for an accessible WC without having an adverse impact on the existing fabric within the host structure. The proposed extension to No. 800 also works in this manner but adds a lift and recording studio space to directly respond to its end use as a home for a record label.

The layout of the existing interiors is reclaimed as a series of original volumes with modern partitions removed and historic details recovered and reintroduced. The rooms work as receptions, offices, meeting areas, break out spaces, recording studios and writing studios arranged over the four floors of the existing properties. Where the front and back rooms have been opened up as a single space, lightweight screens are introduced to offer a flexible layout allowing the spaces to be used as one, or separately.

No. 800 also benefits from an extension to the existing basement to house the acoustically onerous requirements of a music studio. At No. 808, no internal alterations are proposed apart from those associated with providing the new accessible rear entrance and restoring the bay window.

Servicing of the buildings has seen a great deal of design focus, working with specialist heritage led consultant engineering firms to incorporate the onerous requirements of contemporary ventilation, heating, cooling and electrical installations. A similar strategy to that adopted at Warmington House, recently restored and removed from Historic England's at risk register, is employed to meet end user needs.

This involves siting primary in the basement and at roof level, out with the original building envelope where possible, with distribution dealt with vertically via a series of discreet risers which inhabit the cupboard spaces between the external wall and chimney breast at the corners of the building. Close attention has been paid to the layout to avoid the need for alterations to the existing structure where vertical runs turn into the floors.



Proposed label home and recording studio - basement floor plan



Proposed label home and recording studio - ground floor plan



Proposed label home and recording studio - first floor plan



Proposed label home and recording studio - second floor plan



Proposed label home and recording studio - basement studio visualisation



Proposed label home and recording studio - ground floor studio visualisation



Proposed label home and recording studio - second floor visualisation

8.4 HISTORIC TERRACE AND EXTENSIONS

Scale:

The extensions to Nos. 798 and 802 flank that to No. 800 and are simple in form, single storey and set in from their host volumes as subservient masses. Closed brick flanks and a short run of wall accommodate the respective accessible WCs while a significant proportion of the proposed extension elevation is glazed – the flank walls to the south of No. 798’s extension, and that to No. 800, run parallel to that of Percy House, matching the historic boundary line.

The rear glazing marks the new entrances to the properties and presents a lightweight, minimal, architecture which does not compete with the heritage assets. It also links the buildings with the landscape and the proposed terraces then mediate between the ground floor level and street level to allow for step free access. The terraces are planted to further break down the scale of the extensions against the existing rear elevations.

The proposed intervention to the rear of No. 800 follows the same language but is larger in scale to accommodate a recording studio. In this case, the layout and scale respond to the use and the historic development of the Northumberland Terrace – Nos. 800 and 802 were built as a mirrored pair of houses in the 1740s with the infill buildings to the south coming around 50 years later.

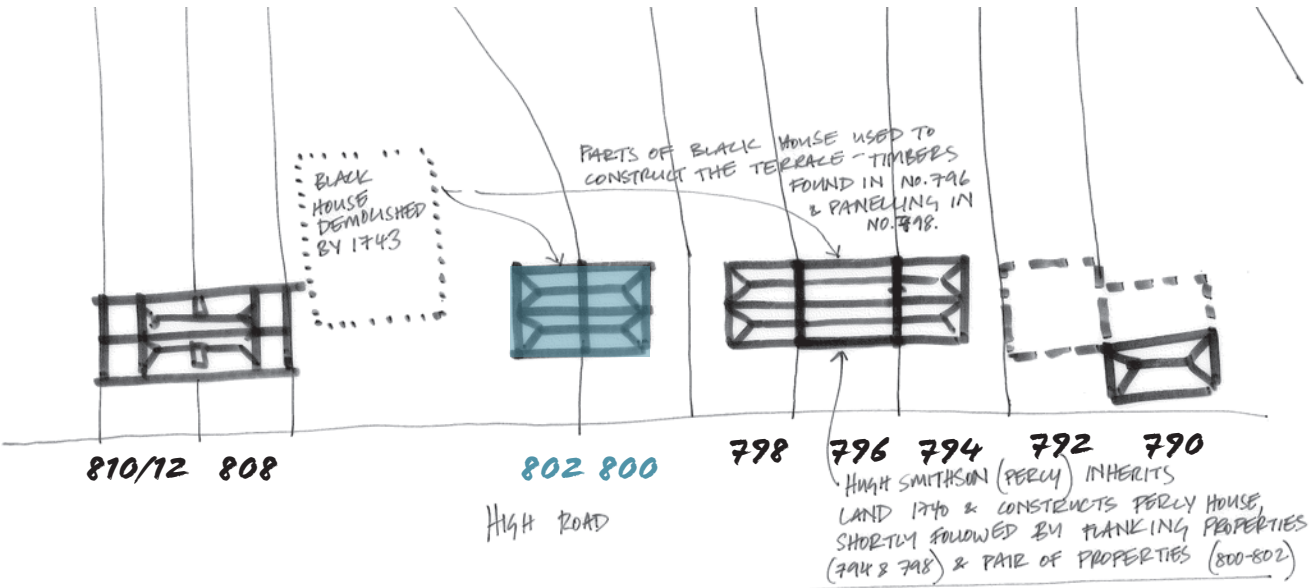
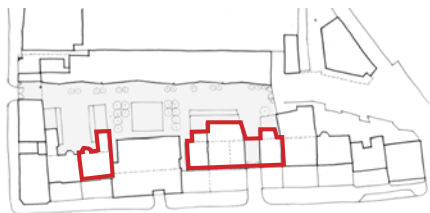
A subtle step can be seen in the rear elevation and the proposals extrapolate this line to mark the junction between the ‘closed’ recording studio in contrast to the ‘open’ gazing of the reception space. This play of open and closed can also be read as heavy and light and helps to enhance the setting at the rear of the terrace by adding a counterpoint to the masonry mass of the existing elevation while exploring the same language within the extensions themselves.

Following the precedent set at Percy House, and on a much larger scale at Warmington House, the extension to No. 800 sits apart from the historic assets with a roof light forming a glazed slot between the two structures - it brings daylight into the plan at ground and lower ground (by way of an internal glass floor), makes a clear distinction between the old and new, and allows a new, framed, view of the rear elevation from within the studio, helping to reveal the historic significance.

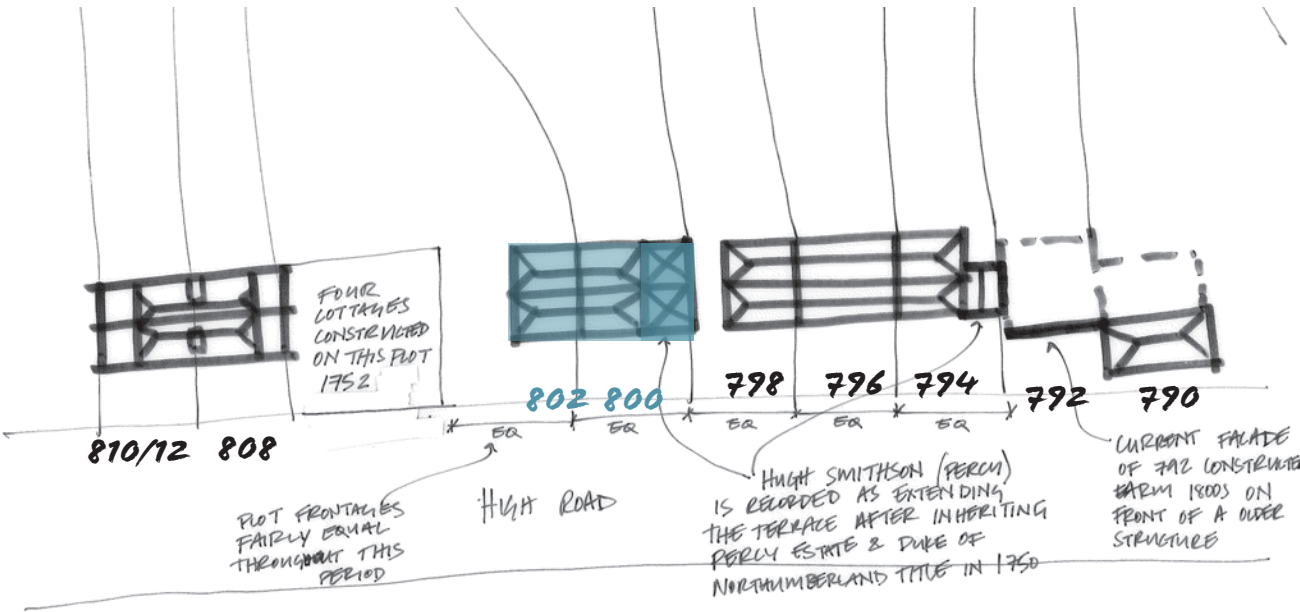
Pre-application advice and QRP feedback have informed a series of iterations of the design. The local authority panels encouraged a move towards a more restrained series of extensions and the architecture presented here responds to the comments made and has been broadly endorsed in principle.

The proposed extension to the Grade II* Listed No. 808 High Road directly follows the language of the consented intervention planned for No. 810/812 High Road, the adjoining property, but at a smaller scale. The single storey rear intervention corresponds to the existing carriageway and extends east following the width of this element of the host building. This link to the existing is manifest by a small set back in plan marking the entrance and acting to diminish the scale against the existing rear elevation.

Key plan



Northumberland Terrace Development Plan (c. 1740-1743)



Northumberland Terrace Development Plan - infill to south of No. 800 highlighted (c. 1700s - Early 1800s)



Proposed east elevation to Nos. 798 to 802 High Road

8.4 HISTORIC TERRACE AND EXTENSIONS

Scale continued:

The existing masonry boundary wall to the south is largely retained and forms one side of the extension with the proposed new work set in from the brick work. The subservient and small scale extension forms a mirrored pair of contemporary additions at the rear of Nos. 808 to 810/812, framing a central garden space which respects the original garden level and ties to the proposed landscape via a series of planted terraces. The garden terraces act to balance the openness required to link these parts of the scheme with the wider public realm while providing a more intimate response to the significant host properties and their original boundary lines.

Appearance:

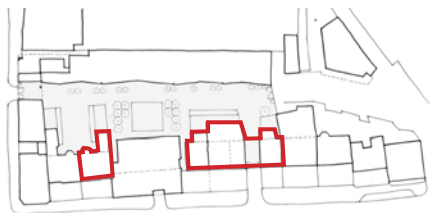
The critical first steps to reinforcing the significance of the Northumberland Terrace are to remove later additions and clean, repair and restore the facades – such work has been successfully completed at Percy House, Warmington House, and at Nos. 790 to 794, as part of Phase 2 of the ‘mini-masterplan’, and the same methodology would be followed in Phase 3.

Internally, the same precedent agreed for Percy House and Warmington House would be used as a model for how best to respond to the need for restoration and the requirements of contemporary commercial use. Historic details such as cornices, dados, skirtings and chimney pieces are re-introduced where appropriate, within a hierarchical arrangement, to build on the sense of home and familiarity of the studios and creative work spaces – new elements are, however, treated in a contemporary manner. Suspended lighting tracks and acoustic panels, for example, sit apart from the existing envelope as a lightweight counterpoint and as legible additions to the original setting.

In terms of the proposed extensions, a new elevational treatment has been developed to mark the Northumberland Terrace proposals as a distinct set of interventions. Where the rear of Percy House faces the public Paxton Square, catering for the many, the proposed extensions to the rear of the terrace front the new landscape is devised as a more intimate space. The blue glazed brick extension to Percy House sits at the entrance to the Northumberland Terrace and so creates a threshold to the proposals which marks a change in architectural approach.

The proposed extensions are designed as small pavilions in the landscape as either simple brick and glass volumes, as at Nos. 798 and 802, or a slightly more modelled example at No. 800 where dark bronze coloured cladding is introduced to dress the edge of the roof plane. In each case the horizontal line of the roof is manifest to emphasise the minimal height of the extensions and lead the eye down the terrace to better reveal the terrace above and respond to the ribbon like quality of the linear building opposite.

Key plan



Proposed accessible entrances to Nos. 798 to 802 High Road and rear extensions



Proposed accessible entrances to No. 800 and 802 High Road and rear extensions

8.4 HISTORIC TERRACE AND EXTENSIONS

Appearance continued:

As with the linear building, brickwork is the primary construction material – double header courses mark the roof profile of the smaller extensions and panels of bricks angled at 45 degrees in offset courses provide texture and break up the scale of the solid walls. The solidity of the brickwork contrasts with the lightness of the cladding and glazing employed.

At No. 800 a fully glazed corner sits to the north of the extension juxtaposed with the brick box to the south, adding lightness and opening up the building to the landscape and views to and from the main square. The three extensions work together to form an overall composition with the central projecting form to No. 800 and the smaller flanking bays to No.798 and 802, strengthening the hierarchy between host and deferential additions.

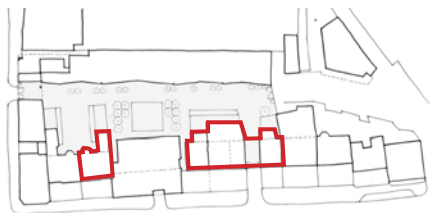
Following the approach taken to the external facades of the terrace generally, the east and west elevations of No. 808 are cleaned, repaired, and restored. The High Road facing front façade sees its carriageway treated in the same manner as that at No. 810/812 with a contemporary glazed screen and door set behind traditional timber gates with strap hinges. This also responds to the minimal intervention within the carriageway which raises the floor level to allow for level access from the rear.

The rear elevation is also restored, preserving and extending the life of this important property, improving its appearance and once again tying it to the recently restored adjoining elevation to No. 810/812. Unsympathetic rear additions are removed and the bay window reinstated, reinforcing the original symmetry of the properties. The proposed extension to No.808 is clad in brown/red standing seam zinc to match that consented for the extension to No.810/812 High Road adjacent. Recessed glazing with minimal dark metal framing sits within large punched openings breaking up the scale of the proposal.

As noted, the boundary wall to the south of No. 808 is retained and forms an armature to the proposed single storey box with the lightweight cladding as a legible contemporary intervention but in a tone that compliments the existing rear elevation brick work. A window is introduced in the boundary wall to aid passive surveillance of the recessed space to the south. The existing arch of the carriageway is expressed above the flat roof to further establish the different phases of construction.

The original 18th Century garden boundary wall between the two properties is retained to respond to the depth of the proposed extensions. It frames the two historic garden spaces before stepping down and being expressed as a brick on edge detail in the ground plane, marking the way into the development from the wider landscape - a ramps acts as one shared point of entrance to the rear of the terraces but with the central brick work line in the ground identifying the former boundary. The gentle ramp runs up to the buildings with a series of raised planted green areas to either side, their low brick retaining walls doubling as spaces to stop and sit.

Key plan



Proposed accessible entrances to Nos. 798 to 802 High Road and rear extensions



Proposed accessible entrance to No. 808 High Road

8.4 HISTORIC TERRACE AND EXTENSIONS

Principle Materials Palette:

- ① Facade Finish - Brickwork:
Brick work (flemish bond) to distinguish new elements from the existing. Header course (stacked bond).
- ② Facade Finish - Profiled Bricks:
Finish remains consistent with facade whilst textured bricks create interest within infill element of rear extension.
- ③ Facade Finish - Curtain Wall:
Full height clear glazing within dark grey proprietary frame system.
- ④ Facade Finish - Standing Seam Cladding:
Standing seam bronze coloured metal roof / cladding. Cladding to match existing on The Paxton Building. Drawing shows ultimate weathered tone of cladding.
- ⑤ Facade Finish - Standing Seam Cladding:
Standing seam red / brown zinc cladding.
- ⑥ Roof Finish - Flat Roof:
Standing seam bronze coloured metal roof and fascia downstand. Cladding to match existing cladding on Paxton Building. Drawing shows ultimate weathered tone of cladding.
- ⑦ Coping Finish - Parapet Walls:
Dark grey metal coping, finish to compliment bronze coloured metal roof and brick walls.
- ⑧ Window / Door Finish:
Clear glazing within dark grey proprietary frame system.
- ⑨ Plinth & Terrace Finish - Brickwork:
Grey Engineering Brick.



Brickwork (Varying Colours)



Brickwork - Plinth & Terraces (Grey)



Brickwork (Heritage Stock to Match Existing)



Brickwork (Profiled Detail)



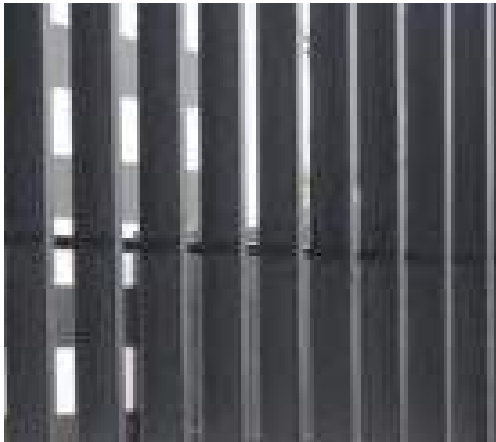
Standing Seam Cladding - No. 808



Standing Seam Cladding - No. 800



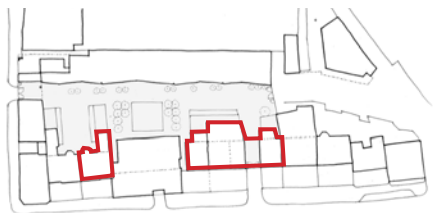
Clear Glazing & Dark Frame System



Metal Screens (Match Wall Cladding)



Key plan



8.5 PERFORMANCE SPACE

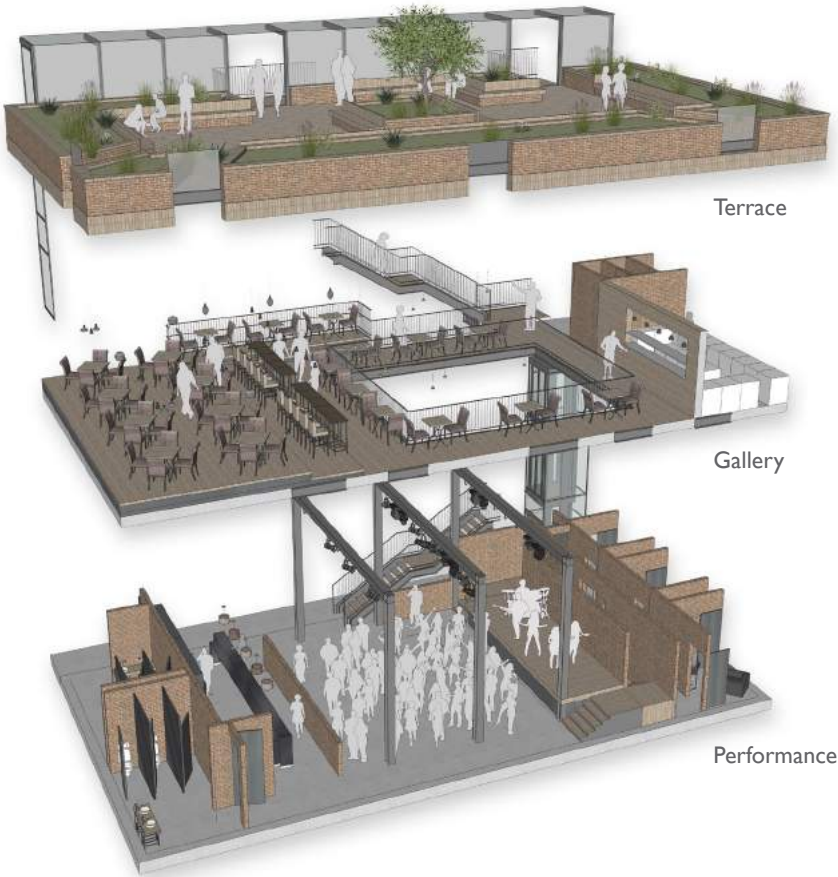
Please refer to the accompanying feasibility study for further details pertaining to the servicing, flexibility, noise mitigation and design development of this component of the project.

Layout:

Nos.804-806 sit forward to the High Road pavement line and afford an opportunity at the rear for a larger addition as the neighbouring Georgian properties are deeper in plan and form a natural recess. In order to support the creative quarter, a flexible performance space is proposed for the site, inhabiting the existing Victorian Terrace and adding a volume to the rear where a large number of people could be accommodated to, for example, attend a music gig, watch a play or view a fashion show or art exhibition.

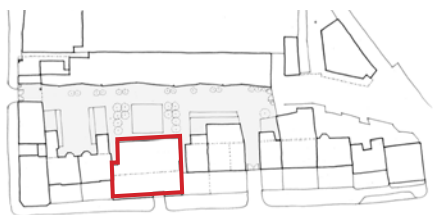
The proposal is conceived conceptually as two volumes, the existing and the new building. The existing historic terrace is a conservation area contributor and so it is retained to 'serve' the performance space, accommodating the necessary supporting functions of the venue including circulation, food and beverage and kitchens, green rooms, cloak rooms, dressing rooms and back of house facilities such as offices and stores. The existing volume faces the High Road and presents a new entrance to the proposal and new active frontage to the street.

This leaves the proposed new rear volume free as a single, large space, flexible and maximised in terms of the number of patrons that can be accommodated. This show space connects to the main landscaped square at ground level, the square is seen as an extension of the performance area. The 'box' is a double height volume, allowing for further spectating at first floor, via a gallery fixed to the rear elevation of the existing terrace, and offering a more inspiring space for performance.



Performance space - concept

Key plan



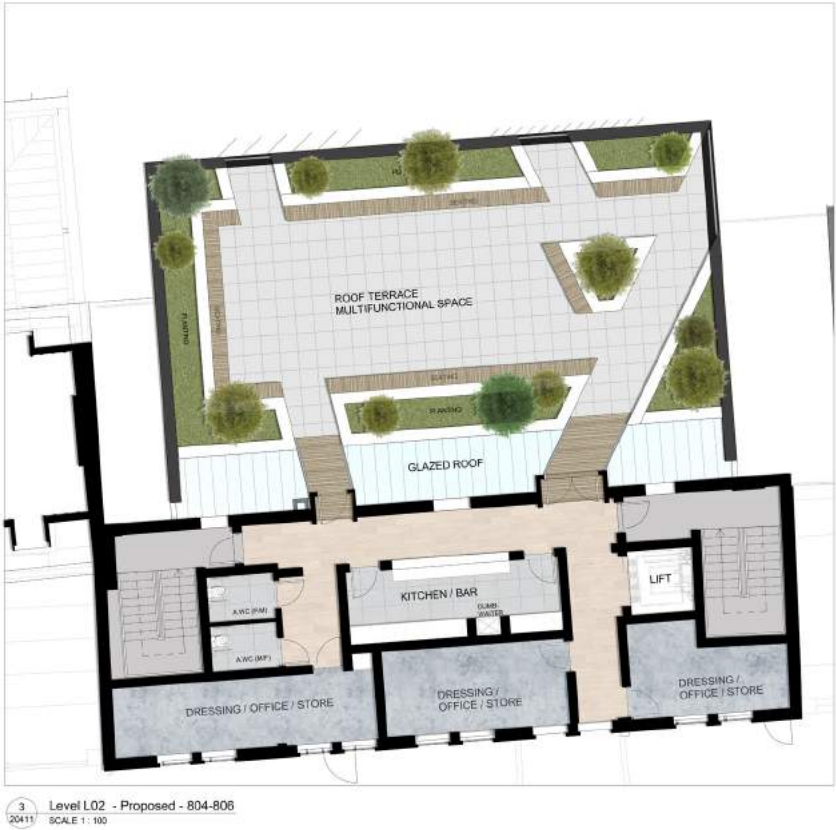
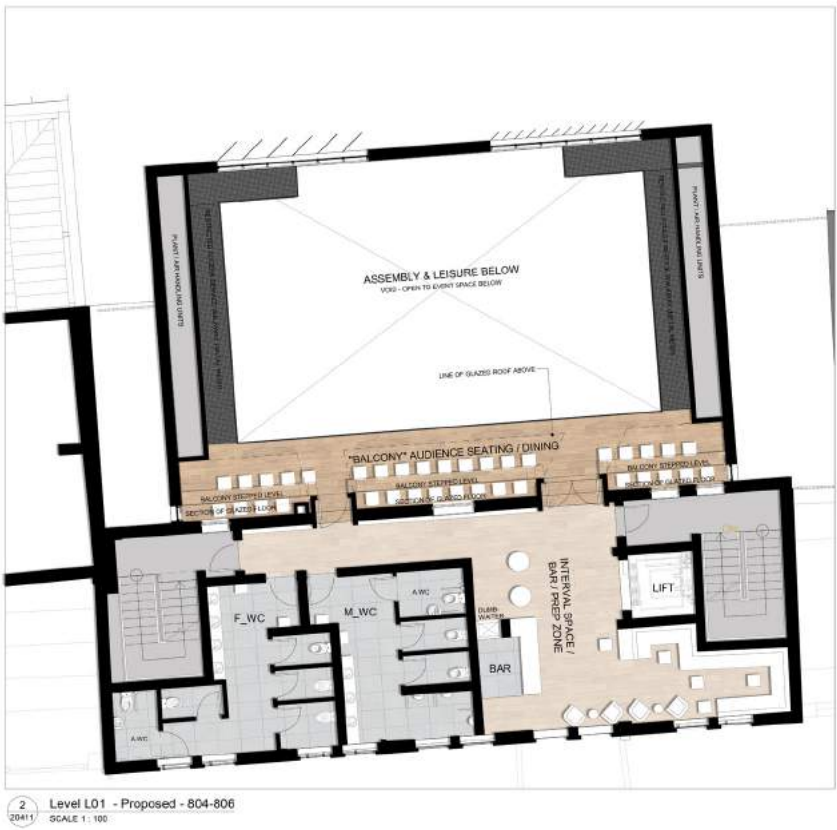
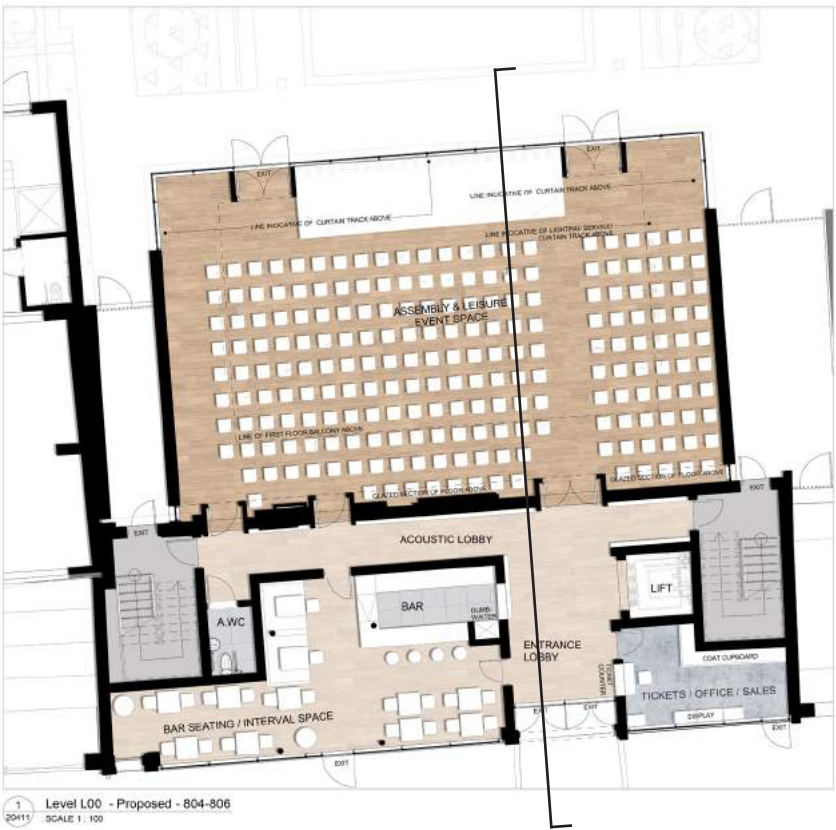
Performance space - sketch illustrating framing of existing terrace rear elevation

8.5 PERFORMANCE SPACE

Layout:

The ground floor utilises the existing historic under croft as a new entrance to the venue with ticket sales to the south and a bar and restaurant to the north wrapped by a generous lobby acting as acoustic buffer, crush space and waiting area prior to entering the main hall. The halls sits at the back of the floor, entered through the existing rear wall of the terrace. Stairs sit at either end of the buffer zone interface running the length of the building providing legible circulation and means of escape to the rear courtyard.

First floor provides WCs, further supporting food and beverage offer and a deep gallery, accessed through the rear wall of historic building via windows dropped to form doors. The upper floor accommodates back of house facilities and a food and beverage counter facing the roof garden on top of the venue extension – bridges extend from the rear elevation over a glazed link between the historic terrace and performance space volume to distinguish the developments from one another and let light down into the deeper plan. The roof garden features planters to the perimeter broken by paths to sight lines over the landscaped courtyard below.



Performance space - proposed plans

8.5 PERFORMANCE SPACE

Scale:
Following the approach taken with the neighbouring interventions, the proposed volume sits apart from the existing terrace, a storey lower, and set in from the extent of the Victorian mass. This allows space between the venue building and the adjacent heritage assets at Nos. 800 and 808, and frames oblique views of the gable ends to these properties, enhancing their setting.

The ‘glazed link’ device is also employed here to mark the performance space as a separate volume to the existing terrace, further reducing its scale, and combining with the treatment of the rear elevation, where the brick work and windows are left unaltered, to distinguish the phases of development.

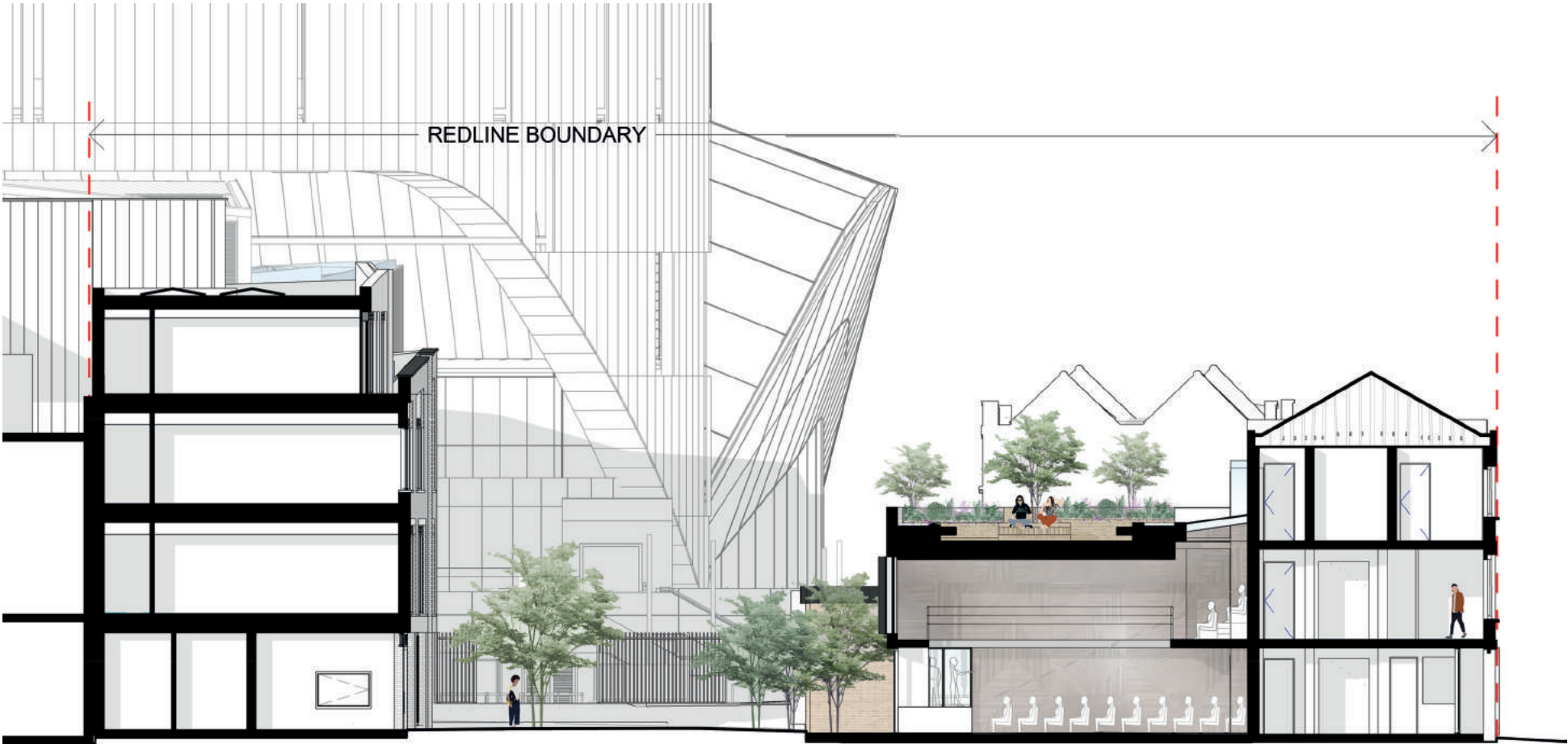
In a similar manner to the way in which the roof plane of the extensions to Nos. 798 to 802 is expressed to break up the vertical scale of the interventions, the venue building is considered as two horizontal elements. An open ground floor activating the square and a closed upper floor responding to the performance space.



Performance space - proposed east elevation



Key plan



Performance space - proposed section

8.5 PERFORMANCE SPACE

Appearance:

The open and closed elements again play on the sense of weight associated with the masonry historic buildings and lighter proposals. The ground floor of the venue building presents a glazed elevation to the landscape which wraps and returns at the corners to give the allusion of a floating upper floor and provide views to and from the courtyard.

The performance space within the glazing is accessed via a pair of lobbies - the service access gantries over align with these 'air locks' and allow for curtains/blinds to be hung to provide a black box as necessary.

The upper section of the rear elevation is clad in the same bronze toned standing seam zinc cladding as the neighbouring extensions to Nos. 800 and 808 and also ties the development back to the Phase 1 Paxton Building façade, albeit within a simpler design. Angled fins fold away from the elevation to control light from the clear storey windows and this layering of the façade plays on the theme of stage set sliding backdrops in a theatre to hint at the proposed use.

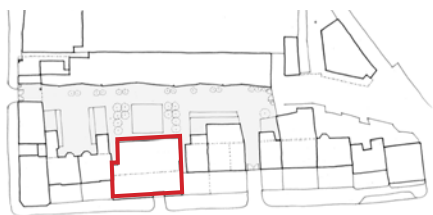
The parapet line to the roof garden is broken by short runs of glass balustrade which terminate the layout of the terrace and encourage views of the proposed public realm. This further links the building to the landscaping and is also suggestive of balcony performance and in turn the building use.

Internally the existing back wall of the terrace building is framed by the venue space and first floor gallery with the exposed brickwork and windows cleaned, repaired and restored to anchor the proposal within the historic context. The High Road elevation is similarly re-conditioned and new glazed shop fronts reinstated at ground floor.



Performance space looking north west through the central square

Key plan



Performance space looking west from the proposed linear building food and beverage opportunity

8.5 PERFORMANCE SPACE

Principle Materials Palette:

- ① Facade Finish - Brickwork:
Brick work (flemish bond) to distinguish new elements from the existing.
- ② Facade Finish - Standing Seam Cladding:
Standing seam bronze coloured metal roof / cladding. Cladding to match existing on The Paxton Building. Drawing shows ultimate weathered tone of cladding.
- ③ Facade Finish - Curtain Wall:
Full height clear glazing within dark grey proprietary frame system.
- ④ Roof Finish - Flat Roof:
Standing seam grey metal roof and fascia downstand.
- ⑤ Roof Finish - Glazed Roof Lights:
Glazed roof lights which run the width of the existing building provide a distinct glazed break between existing and the new extension.
- ⑥ Balustrades - Glass:
Glass balustrades to roof terrace.
- ⑦ Window / Door Finish:
Clear glazing within dark grey proprietary frame system.
- ⑧ Fence / Gate Finish:
Steel fencing / gates. Colour to match metal wall cladding.



Brickwork (Varying Colours)



Brickwork - Plinth & Terraces (Grey)



Brickwork (Heritage Stock to Match Existing)



Roof Lights (Between Existing & New)



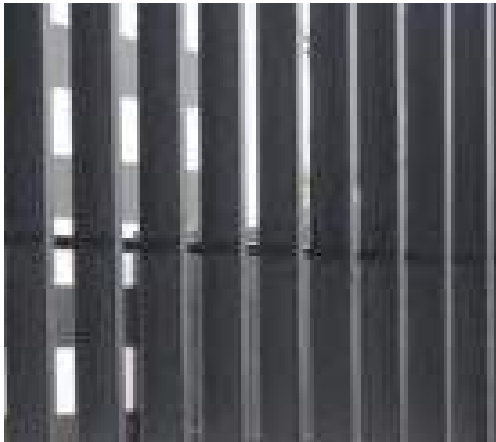
Standing Seam Cladding



Standing Seam Roof

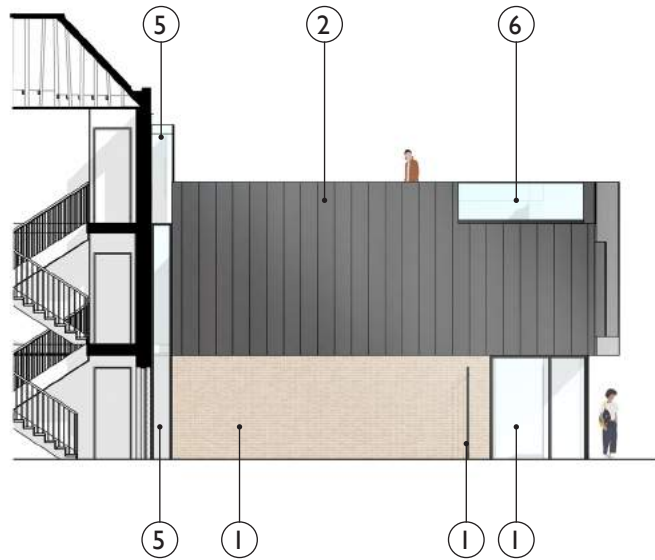
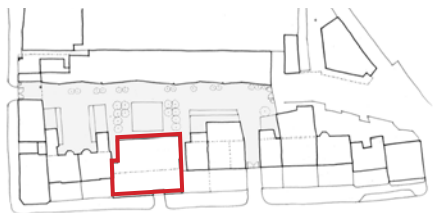


Clear Glazing & Dark Frame System



Metal Screens (Match Wall Cladding)

Key plan



8.6 BOUNDARY TREATMENTS

Given the semi-public nature of the proposed landscaped courtyard, and adjacency to the existing Sainsburys car park, careful consideration has been needed when designing the perimeter screening and gates to the development.

Screening to cycle stores, car park, substation and general perimeter treatment:

The screens have been developed as dark bronze coloured metal elements with finned vertical slats angled to control the view through. The colour picks up the surrounding cladding and the slats have been carefully laid out to allow for the necessary free area ventilation of the adjacent car park.

The system allows for variation of depth and angle of fin, altered at differing locations throughout the project to provide greater transparency or control views more strictly, as, for example, at the cycle stores to avoid opportune theft. The distribution of the fins is also altered in elevation and here the design is broken up to echo the undulating parapet of the linear building as a central motif for the project.

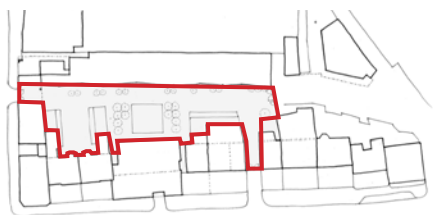
Existing undercroft:

The existing undercroft access from the junction of the High Road and White Hart Lane is retained as a deliveries route into the project. The existing junction is uncontrolled in terms of this ranch off it and so the intention is for it to be a one way, left turn in, entrance only.

Furthermore, it is a well-used pedestrian route, which would remain as part of the proposals, and so the gating, open during normal working hours, is split to form a vehicular lane and footpath protected by bollards within the undercroft. The gate design is of a contemporary nature, following the precedent of the general screening to the project, and contrasting with the existing surrounding terrace to signpost the new development beyond.

Lighting and CCTV are introduced within the undercroft but the tall nature of the aperture, around 4m, and its relatively short length, result in a welcoming approach without the need for additional measures.

Key plan



Screening and gates to cycle stores



Existing undercroft entrance

8.6 BOUNDARY TREATMENTS

Threshold to Paxton Place:

As part of the Phase I works, three rising bollards have been installed, along with fixed bollards, to protect the existing public square at the threshold with the Northumberland Terrace scheme. The automated bollards would be retained, with a new entrance gate centred on them, the fixed bollards removed and replaced, partly by the linear building itself, and partly with a metal screen and sliding section running across to the corner of the Percy House extension.

The screen would pick up the datum of the top of the ground floor linear building glazing, made up of shallow fins to provide rigidity and work with other deeper finned screens throughout the project where less openness is required. Open during normal working hours, a manual sliding gate provides security and greater transparency and view through to the proposed courtyard when open.

The sliding element avoids sections of swinging gate having to be held open at 90 degrees to the screen, interrupting the landscape, in the daytime and breaking up the view through. Swinging gates could fold back against the screen but, again, this would more than double the depth of the fins and also reduce transparency. The intention is that the sliding section of gate runs all the way back and parks against the blank wall of the Percy House extension in the daytime.

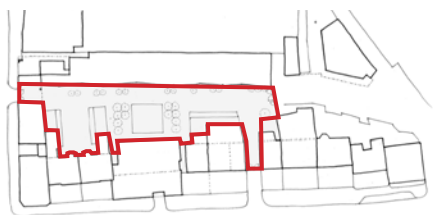
New entrance under croft from Northumberland Park:

Working with the deliveries entrance to the south west, the new under croft is designed as an exit only onto Northumberland Park for deliveries, refuse and emergency vehicle access. This completes the one-way system and allows for a safer left turn only onto the road.

The design is similar to that proposed for the existing under croft but with a more clearly defined pedestrian route to the east. This widening to the east also facilitates greater visibility when turning left out of the under croft.

The route through the return section of the linear building at ground floor is tall at 3.7m, and shallow in plan – the dissolving brickwork detail is carried through from the plinth to the under croft to further mark the route as a signpost into the scheme. Gating is also used at this access point to allow the courtyard to be closed at night but the design here is more mannered with simple vertical and horizontal elements to reflect the architecture of the street scene.

Key plan



Threshold to Paxton Place



Proposed Northumberland Park under croft