



HERITAGE STATEMENT FOR

NORTHUMBERLAND TERRACE

Phase 3, Nos. 798-808 High Road and land to the rear

TOTTENHAM N17



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1.1 Authors and background to the Heritage Statement

1.1.1 This Heritage Statement was prepared by:

Corrie Newell (Corrie Newell Historic Buildings Consultancy, or CNHBC). Corrie is a full member of the Royal Institute of British Architects and of the Institute of Historic Building Conservation and has over 25 years' experience working with listed buildings.

Katie-Hannah Wright (F3 Architects). Katie is an RIBA Accredited Conservation Architect and Chartered Architect. She has considerable experience, specialising in Conservation and listed building refurbishment since 2007.

Ignus Froneman (Cogent Heritage). Ignus has a degree in architecture and is a full member of the Institute of Historic Building Conservation, and an Associate member of the Chartered Institute for Archaeologists. Ignus has 18 years' experience in the historic environment.

1.1.2 The Heritage Statement has been prepared on behalf of Tottenham Hotspur Football Club (THFC), in close collaboration with F3 Architects. The assessment work has been undertaken over a period of several months and it has informed the development of the proposed development. The proposed development includes the external conservation and refurbishment of a series of buildings, 798 to 808 Tottenham High Road. These form part of a group of buildings at 790-808 High Road, collectively referred to in this report as 'Northumberland Terrace'.

1.2 Summary of heritage assets

1.2.1 The whole of Northumberland Terrace falls within the North Tottenham Conservation Area which is a designated heritage asset.

The application Site contains 2 listed buildings within Northumberland Terrace, which are designated heritage assets within the meaning of the National Planning Policy Framework (NPPF):

- a. 798, 800 and 802 High Road, listed grade II (noted as one entry on Historic England's listing)
- b. 808 High Road, listed grade II*

1.2.2 The Site adjoins the following listed buildings within Northumberland Terrace, which are also designated heritage assets:

- a. 790 High Road (Dial House), listed grade II*
- b. 792 High Road, listed grade II
- c. 794 High Road, listed grade II
- d. 796 High Road (Percy House), listed grade II*
- e. The forecourt walls and railings to the front of Percy House, listed grade II*
- f. 810-12 High Road (Holly House), listed grade II*

1.2.3 The following adjoining unlisted buildings are non-designated heritage assets:

- a. 814 High Road, which is locally listed.
- b. 804-806 High Road, which are identified as positive contributors to the North Tottenham Conservation Area.

1.3 Purpose and scope of the Heritage Statement

- 1.3.1 This Heritage Statement supports applications for Planning Permission and Listed Building Consent for the creation of a Creative Quarter at Northumberland Terrace. The Heritage Statement is based on the proposals prepared by F3 Architects and should be read in conjunction with the Design & Access Statement, as well as all other submitted information, including the Planning Statement, and other supporting documents.
- 1.3.2 The purpose of this document is to provide an assessment of the special interest of the conservation area and listed buildings, to a proportionate degree of detail to enable an understanding of the potential impacts of the proposed development, in accordance with paragraph 189 of the National Planning Policy Framework (NPPF). The assessment of the character and appearance of the conservation area references the adopted North Tottenham Conservation Area Appraisal and Management Plan, and the listed buildings are covered separately to a proportionate level of detail. The impacts on the significance of the buildings and conservation area are then assessed, in accordance with NPPF paragraphs 189 & 190.
- 1.3.3 The assessment in this report accords with Historic England's recent guidance on heritage assessments, *Statement of Heritage Significance: Analysing Significance in Heritage Assets* Historic England Advice Note 12 (October 2019) as well as Historic England's setting guidance *Historic Environment Good Practice Advice in Planning Note 3* (Second Edition).
- 1.3.4 The legislation and policy framework applicable to the proposed development is set out at Section 3.

1.4 Approach and Methodology of Assessment.

- 1.4.1 The assessment of significance has been carried out using information provided by THFC and F3 Architects, observations made on site visits/inspections and research undertaken online and at archives, including:
- Ordnance Survey and earlier maps
 - Historic aerial and satellite photos
 - Heritage Gateway
 - Historic England List Entries
 - Local Planning Authority Appraisals and Planning History
 - Haringey Archive and Local History, Bruce Castle
 - Historic England Archive
 - Alnwick Castle Archive
 - Victoria County History and other local sources and histories
- 1.4.2 The Statement provides analysis of the significance of the asset and its setting, and, where relevant, how this has informed the development and design of the proposals.

1.5 Context to, and overview of, the proposed development

1.5.1 The development comprises:

(i) Full planning application for the erection of a four storey building with flexible A1/A2/A3/B1/D1/D2 use; external alterations to 798-808 High Road; change of use of 798-808 High Road to a flexible A1/A2/A3/B1/D1/D2 use; demolition of rear extensions to Nos. 798, 800-802, 804-806, 808 and 814 High Road; erection of new rear extensions to Nos. 798, 800-802, 804-806 and 808 High Road; hard and soft landscaping works; and associated works.

(ii) Listed building consent for internal and external alterations to 798-808 High Road, including the demolition of rear extensions Nos. 798, 800-802, and 808 High Road; erection of new rear extensions to Nos. 798, 800-802, and 808 High Road; and associated works.

1.5.2 The proposed development is described in more detail in the Design & Access Statement and summarised in the following section of this report (Section 2), but in essence it involves:

- a. Improvements to the setting of the whole stretch of Northumberland Terrace, to enhance the High Road frontage, and to significantly improve the land to the rear, which will create a pedestrian link between Northumberland Park and the new Tottenham Hotspur stadium, with high quality new landscaping and other improvements to facilitate the proposed new Creative Quarter.
- b. Restoration of some of the listed buildings (Nos. 798, 800, 802 and 808), including rear extensions and internal alterations to bring them into beneficial viable use and tie them into the new Creative Quarter.
- c. Improvements to the unlisted 19th century buildings (Nos. 804-806) located between the listed buildings, as part of the regeneration of the whole terrace and to improve the use and setting of the listed buildings and the character of this part of the conservation area.

1.5.3 The North Tottenham Conservation Area Appraisal and Management Plan highlights that the group of buildings at Northumberland Terrace comprises the finest *ensemble* of Georgian properties in the Tottenham High Road Historic Corridor, and individually some of these are heritage assets of the highest significance. Despite the recent restoration work to the grade II* listed Percy House and its separately grade II* listed Entrance Gateway, undertaken by THFC under the direction of F3 Architects, much of Northumberland Terrace remains in an unfortunate state of neglect. The buildings have evidently suffered from a lack of investment over the years (an issue within the wider area), together with inappropriate extensions and alterations that detract from the group of buildings, and the individual buildings themselves.

1.5.4 Northumberland Terrace is in mixed uses and until recently, when THFC acquired it, has been in multiple ownerships, making a holistic approach to their regeneration, restoration and beneficial use unrealistic. Part of the terrace is unoccupied, and the rest is in multiple occupations and uses as residential flats, shops, café and offices. Most of the former rear gardens are now unrecognisable. These have been amalgamated and are predominately unused/derelict or in use for informal car parking. With the exception of the recently

regenerated area behind Nos. 790-796, this is a harsh, unwelcoming and very poor quality environment. The state of this area sorely detracts from the setting of the listed buildings and the character of this part of the conservation area. This poor quality and neglected environment is not conducive to encouraging pride in the buildings, or investment into the area.

- 1.5.5 The proposed development is part of an on-going programme of restoration and regeneration at Northumberland Terrace, intended to be an exemplar of the desperately needed regeneration along the Tottenham High Road Historic Corridor, and commensurate with the importance of the historic buildings. This regeneration started with the recent restoration of Percy House and its entrance gateway, as well as the new high quality landscaping and redevelopment at the rear of Nos. 790-796. A separate approval has been granted for the restoration of the grade II* listed Holly House (Nos. 810-12), and work is being undertaken for separate applications for the restoration of, and alterations to, Nos. 790 (grade II* listed), 792 and 794 (grade II listed).
- 1.5.6 The Creative Quarter that forms part of this proposal is an essential component of the regeneration vision for Northumberland Terrace, and it involves the largest and most ambitious part of the scheme that will create a linked, high quality public realm behind Northumberland Terrace. It offers a unique opportunity for a holistic approach to the regeneration of the whole of the area behind Northumberland Terrace, from Northumberland Park to the new stadium, as part of a single, coordinated scheme that would introduce activity and new uses in the form of a vibrant Creative Quarter, in place of the present back of the superstore and poor quality hard standing/car parking. This ties in with the recent work to Percy House, including the rear extension to it, and the landscaping that has already been carried out, and the approval for Holly House (810-812), as well as the anticipated works to Nos. 790, 792, and 794.
- 1.5.7 The intention for the scheme is that Northumberland Terrace will play a key role in the wider regeneration of the area, and as an exemplar of high quality place-making and a positive response to a challenging site and a sensitive heritage context.

2 SUMMARY OF THE PROPOSED DEVELOPMENT

- 2.1 The proposal is one of heritage-led restoration for 798 to 808 High Road, to regenerate and enhance the heritage assets, their settings, and this part of the High Road and North Tottenham Conservation Area.
- 2.2 This group is identified as representing the finest assemblage of Georgian properties within the Tottenham High Road Historic Corridor, and the terrace is regarded as key to the investment into, and regeneration of, the area.
- 2.3 This Statement forms part of an application for planning and listed building consent for the regeneration of the remainder of the heritage group.

It comprises the following works:

1. Alterations to the 18th century Listed Buildings, Nos. 798, 800 and 802:

- a. Providing the optimum viable use for the buildings, consistent with their historic character;
- b. Carrying out much-needed conservation repairs to roofs, exteriors and interiors in order to improve the longevity, use and appearance of the buildings;
- c. Removing unsympathetic ad-hoc extensions and intrusions that damage the design, appearance and understanding of these Georgian buildings;
- d. Reinstating elevations where the extensions have been removed, and providing more subservient extensions of high quality contemporary design, reflecting the high quality of the successful recent development and extension to Percy House;
- e. Removing the unsympathetic open-plan office spaces and re-ordering the layouts in order to better reveal and reinstate the original divisions between rooms and units, and the hierarchy of Georgian rooms and architectural design;
- f. Revealing and reinstating original designs, details, layouts, volumes, spaces, elevations, windows, doors and other architectural elements that are missing or damaged, in order to improve the appearance and character of the buildings;
- g. Providing improved, less intrusive WCs, kitchens, fire protection, ventilation and services;
- h. Improving access (such as to the roof) to ease ongoing maintenance;
- i. Enhancing exterior spaces, boundaries, frontages and access to the buildings.

2. Alterations to the early 18th century Listed Building, No. 808:

- a. Carrying out conservation repairs to the roof and exterior in order to improve the longevity, use and appearance of the building;
- b. Removing unsympathetic ad-hoc extensions and intrusions that damage the design, appearance and understanding of the Georgian building;
- c. Reinstating the symmetry of the building with No. 810, including reinstating the bay window, service range arch, and brick elevation where the extensions have been removed, and providing a more subservient high quality extension, reflecting the recent consent for Holly House Nos. 810-812.

3. Alterations to the 19th century commercial buildings, Nos. 804 and 806:

- a. Providing the optimum viable use for the buildings, consistent with their historic character and their environment;
- b. Removing unsympathetic rear extensions, signage, services and intrusions that obscure the original shopfronts and simple elevations of the buildings;

- c. Revealing and reinstating the historic shopfronts, elevations and details, including the bas-relief mouldings;
 - d. Carrying out conservation repairs to the roof and exterior in order to improve the longevity, use and appearance of the buildings.
4. **Redevelopment of the settings of the buildings of Northumberland Terrace:**
- a. Removing the unsympathetic outbuildings, boundaries and yards to the rear of the terrace;
 - b. Providing a high quality new-build terrace to screen the unsympathetic blank wall and fire escape of Lilywhite House, to enhance the setting and outlook at the rear of Northumberland Terrace, and its heritage assets;
 - c. Removing the unsympathetic poor quality structures, car parking and finishes at the rear of the Terrace, and replacing with a high quality urban space and public realm.
- 2.4 THFC view this proposal as an opportunity to significantly enhance the highly significant historic buildings and heart of the North Tottenham Conservation Area.
- 2.5 The works are to upgrade the buildings and streetscape, and enhance the significance of the buildings and to reinstate historic elevations, interiors, design elements and frontages to this key terrace, as part of THFC's regeneration investment for this part of Tottenham. It is also proposed to put the buildings into an optimum viable use.
- 2.6 No. 800 High Road is designed as the home for a music record label with a particular focus on providing a platform for talent to meet, create and record, as they begin their careers within the professional music industry. The potential tenant is committed to providing educational opportunities for people seeking to develop in music outside of recording talent (e.g. marketing, management etc), as well as using it as a centre for the development and promotion of female talent.
- 2.7 Nos. 798 and 802 are proposed as creative work spaces, for example, as offices for an artist management company, supporting the potential music studio development at No. 800.
- 2.8 Nos. 804-806 are envisaged as a flexible performance space and discussions are ongoing with a variety of potential operators following input from the Music Venue Trust.
- 2.9 No. 808 mirrors the adjoining Grade II* listed No. 810/12 where the applicant has secured planning and listed building consent (HGY_2017_1181 and HGY_2017_1182 – LBC) for the complete restoration and extension of the asset with a flexible occupation (Sui Generis) to include a mix of uses within Use Classes D1, A3 and B1. No. 808 would follow this precedent and is envisaged as a series of studios and hub for the visual arts.
- 2.10 The proposed development will also regenerate the area to the rear of the terrace by introducing new access, uses and activity, in place of the car parking, areas of hardstanding and the overbearing dead frontage of the back of the superstore. The tarmac and concrete will be replaced with a new pedestrianised public realm, high quality new hard and soft landscaping, complete with street furniture, lighting and seating.
- 2.11 The proposed development is part of an on-going programme of restoration and regeneration at Northumberland Terrace, and it is a unique opportunity to significantly enhance the group of highly significant historic buildings and heart of the North Tottenham Conservation Area.

3 LEGISLATION, POLICY AND GUIDANCE

3.1 Legislation

- 3.1.1 Legislation relating to listed buildings and conservation areas is contained in the Planning (Listed Buildings and Conservation Areas) Act 1990. For the purposes of this application, the relevant considerations are Sections 66 and 72 of the 1990 Act.

Section 66(1) of the Act states:

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

- 3.1.2 According to Section 72, in relation to conservation areas:

“In the exercise, with respect to any buildings or other land in a conservation area [...] special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”

- 3.3.3 The 1990 Act does not require the preservation of listed buildings or conservation areas *per se*, which is confirmed by the *South Lakeland DC v Secretary of State for the Environment and another* (1992 House of Lords appeal), i.e. legislation “*does not in terms require that a development must perform a preserving or enhancing function.*” Rather, it places a statutory duty on decision makers to ensure that the special interest of listed buildings or conservation areas is properly taken into account as material considerations when determining applications affecting their special interest, or the setting of listed buildings. Case law has established that the preservation of the setting of a listed building requires considerable importance and weight (i.e. the *Barnwell Manor* judgement) and that, generally, a decision-maker who has worked through the paragraphs of the NPPF in accordance with their terms will have complied with the statutory duty set out in the 1990 Act (i.e. the judgement in *Jones v Mordue & Others* [2015] EWCA Civ 1243).
- 3.3.4 Case law has established that a decision maker can, in heritage terms, give great weight not only to harm to heritage assets, but also heritage-specific benefits¹ such as, in this case, restoration of the listed buildings, the removal/replacement of unsympathetic additions, or improvements to their setting.

¹ *R (Safe Rottingdean Ltd v Brighton and Hove CC* [2019] EWHC 2632 (Admin) at Ground 2 per Sir Ouseley [at 92] “The harm was less than substantial [...] it had to be weighed against the enhancement [...] to provide the benefits to the listed building and to the Conservation Area. Without that regrettable but less than substantial harm, the greater overall heritage benefits, to which greater significant weight should be given applying the statutory provisions, would not be achieved.” Similarly [at 99] “Great weight, under the Framework, had to be given to the conservation and enhancement of the listed building, and its setting; and the preservation and enhancement of the Conservation Area, and its setting. It was; the benefits to each were very significant. They were far more significant than the harm.” This judgment is reflected in *City and Country Bramshill Ltd v SSHCLG* [2019] EWHC 3437 (Admin) at Ground 3(d).

3.2 The National Planning Policy Framework

- 3.2.1 Section 16 of the NPPF deals with conserving and enhancing the historic environment, in paragraphs 184 to 202. The NPPF places much emphasis on heritage ‘significance’, which it defines in Annex 2 as:

“The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”

- 3.2.2 The setting of a heritage asset is defined in Annex 2 of the NPPF as:

“The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.”

- 3.2.3 Paragraph 184 of the NPPF states that heritage assets range from sites and buildings of local historic value to those of the highest significance. It goes on to state that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.
- 3.2.4 According to paragraph 189, local planning authorities should require applicants to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.
- 3.2.5 Paragraph 190 requires a similar approach from local authorities, who should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.
- 3.2.6 According to paragraph 192, a number of considerations should be taken into account in determining applications. The first is the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation. The second is to recognise the positive contribution that conservation of heritage assets can make. The third reiterates the well-established concept that new development can also make a positive contribution to local character and distinctiveness.
- 3.2.7 The fact that new development can contribute to local distinctiveness is relevant and important to the proposed development, which has been specifically designed to positively respond to its local context and enhance the setting of the listed buildings at Northumberland Terrace.
- 3.2.8 According to paragraph 193, which applies specifically to designated heritage assets, great weight should be given to a heritage asset’s conservation (the more important the asset, the greater the weight should be). This reflects the provisions of the 1990 Act in that it applies irrespective of whether it involves total loss, substantial harm, or less than substantial harm to significance.

- 3.2.9 Paragraph 194 states that any harm to, or loss of, the significance of a designated heritage asset should require clear and convincing justification. It then deals with substantial harm to, or total loss of significance of, different types of designated heritage assets. Paragraph 195 continues on the subject of substantial harm. Substantial harm is not relevant to the proposed development because the proposals will not cause the scale of harm that could reasonably be categorised as ‘substantial harm’ in relation to any heritage asset.
- 3.2.10 Paragraph 196, on the other hand, deals with less than substantial harm. Harm in this category should be weighed against the public benefits of the proposal. The National Planning Practice Guidance describes public benefits as *“anything that delivers economic, social or environmental progress”*. Public benefits may include heritage benefits, such as:
- sustaining or enhancing the significance of a heritage asset;
 - reducing or removing risks to a heritage asset; and
 - securing the optimum viable use of a heritage asset in support of its long-term conservation.
- 3.2.11 Public benefits do not always have to be visible or accessible to the public in order to be genuine public benefits.
- 3.2.12 According to paragraph 197, the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining applications. A balanced judgement is required, having regard to the scale of the harm or loss, and the significance of the heritage asset.
- 3.2.13 According to paragraph 200, local planning authorities should look for opportunities for new development within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

3.3 Regional Policy: The London Plan

- 3.3.1 The London Plan contains the overarching strategies and policies for the whole of the Greater London area. It recognises the *“immeasurable benefit” of London’s heritage assets to the city’s depth of character, economy, culture and quality of life*. Policy 7.8 relates to Heritage Assets and Archaeology, noting that:
- *“Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site’s archaeology”;*
 - *“Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate”;*
 - *“Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail”;*
 - *“New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset”.*
- 3.3.2 The London Plan also contains the following relevant policies:
- Policy 4.6: Support for and enhancement of arts, culture, sport and entertainment, requires decision-making to provide a cultural focus to foster more sustainable local communities;

- Policy 7.8: Heritage Assets and Archaeology supports the identification of assets to sustain and enhance their positive role in place shaping; decision-making that identifies, values, conserves, restores, re-uses and incorporates heritage assets; and requires development affecting heritage assets and their settings to conserve their significance, by being sympathetic to their form, scale, materials and architectural detail;
 - Policy 7.9: Heritage-Led Regeneration supports the use and reinforcement of heritage assets and their significant qualities to help stimulate environmental, economic and community regeneration.
- 3.3.3 The emerging London Plan policies in the Intend to Publish London Plan 2019 are at an advanced stage and can be accorded considerable weight. The Intend to Publish London Plan deals with heritage under the title *“Heritage and Culture”*.
- 3.3.4 Policy D3 requires optimising site capacity through a design-led approach. According to the policy, development must make the best use of land by following a design-led approach that optimises the capacity of sites. That includes consideration of design options to determine the most appropriate form of development that responds to a site’s context and capacity for growth.
- 3.3.5 Development proposals should enhance local context; respond to the existing character of a place; be of high quality, with architecture that pays attention to detail; and use attractive, robust materials which weather and mature well.
- 3.3.6 Policy D4 deals with delivering good design and states that the design of development proposals should be thoroughly scrutinised by borough planning, urban design, and conservation officers, utilising appropriate analytical tools. The design quality of development should be retained through to completion by, amongst others, ensuring maximum detail appropriate for the design stage is provided.
- 3.3.7 Policy HC1, entitled *“Heritage conservation and growth”* is the most relevant of the policies in Chapter 7. Parts A and B of the policy deals with strategic considerations/requirements and these are not relevant to determining planning applications.
- 3.3.8 Part C deals with development proposals affecting heritage assets, and their settings. This part of Policy HC1 requires development proposals to conserve the significance of heritage assets, by being sympathetic to the assets’ significance and appreciation within their surroundings. The policy also requires the cumulative impacts of incremental change from development on heritage assets and their settings to be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

3.4 Local Plan

London Borough of Haringey (LBH)'s Local Plan Strategic Policies 2013-2026

- 3.4.1 Key principles include the protecting and enhancing of the borough's distinctive characteristics, the historic environments' contribution to an area's sense of place; and establishing unique neighbourhoods and improving the quality and appearance of Haringey's public spaces and street scene (paragraph 1.5.5). Relevant policies are:
- Policy SP11: Design requires new development to be of the highest standard of design that respects its local context and character and historic significance, to contribute to the creation and enhancement of Haringey's sense of place and identity.
 - Policy SP12: Conservation notes that the Council shall ensure the conservation of the historic significance of Haringey's heritage assets, their setting, the wider historic environment and key views, and to use the Historic Environment as the basis for heritage-led regeneration, good design and positive change, and where possible to help increase accessibility to the historic environment.

LBH Development Management DPD

- 3.4.2 Key principles of the DPD require new development to have regard to heritage assets, Conservation Area Appraisals and Management Plans and key views:
- Key principles establish that development that conserves and enhances the significance of a heritage asset and its setting will be supported (DM9A), proposals affecting heritage assets and settings will be assessed against their significance and impact on that significance (DM9B), and the Council's assessment will have regard to significance, relevant guidance, the preservation or reinstatement of key elements, the relationship to existing uses, the viability of the asset, climate change and contribution to sustainable regeneration (DM9C).
 - Proposals affecting conservation areas will be considered and supported where they are compatible with and/or complement the special characteristics and significance of the area (DM9D), should not be intrusive and should complement the architectural style, scale, proportions, materials and details of the host building (DM9E).
 - Where proposals affect listed or locally listed buildings, the Council will seek to secure the future of listed buildings and their settings (DM9F) and protect the local distinctiveness of the Borough by sustaining and enhancing the significance of locally listed buildings (DM9G). DM9 notes that the conservation and management of the historic environment are central to the delivery of sustainable development (2.57).

Tottenham Area Action Plan (AAP) includes the High Road Corridor Area Action Plan.

- 3.4.3 Policy AAP5 deals with "*Conservation and Heritage*". According to the policy, the Council will seek to deliver growth and regeneration in Tottenham through well-managed and balanced change whilst ensuring historic environments continue to contribute to the needs of local communities. To achieve this, the Council will seek to strengthen the historic and local character of Tottenham by conserving and enhancing heritage assets, their setting, and the wider historic environment. For new developments this involves:
- a. To reflect, where available and relevant, character and heritage appraisals, statements and management plans.

- b. Identify and positively respond to the distinctive character and significance of heritage assets and their settings, whilst balancing the need to sensitively facilitate neighbourhood regeneration and renewal.
- c. Maximise opportunities for integrating heritage assets within new development and enhance connectivity between them.
- d. Put heritage assets to viable uses consistent with their conservation, including through the adaptive re-use of vacant historic buildings, reinstating street frontages and historic street patterns, wherever possible.

3.4.4 Policy AAP8 deals with “*Development along Tottenham High Rd*”, including allocated areas with frontages onto the High Road. According to this policy, development proposals will be supported where it is demonstrated that development will positively enhance the overall character and setting of the Tottenham High Road Historic Corridor.

3.4.5 The AAP allocates the application site as ‘NT7: Tottenham Hotspur Stadium’, where redevelopment is encouraged to transform the area; to provide a wider commercial and visitor destination for the area on match and non-match days. Key objectives of this transformation include:

- To ensure that new development complements and enhances the Historic Corridor and the designated and non-designated heritage assets within it, bringing vacant assets back to use as appropriate; and
- To introduce a mixture of residential, commercial, retail, education, community, leisure and hotel uses, and improved public realm across the site.

3.5 Historic England’s Historic Environment Good Practice Advice in Planning Note 3

3.5.1 Historic England’s *Historic Environment Good Practice Advice in Planning Note 3* (Second Edition), was published in December 2017 and provides information on good practice to assist in implementing historic environment policy in the NPPF and the related guidance given in the PPG.

3.5.2 The guidance sets out a stepped approach to assessing potential effects on setting, as is set out at paragraph 19:

- **Step 1:** Identify which heritage assets and their settings are affected.
- **Step 2:** Assess the degree to which these settings contribute to the significance of the heritage asset(s) or allow significance to be appreciated.
- **Step 3:** Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it.
- **Step 4:** Explore ways to maximise enhancement and avoid or minimise harm. This step was undertaken as an integral part of the design and design development, rather than as a separate follow-up exercise.
- **Step 5:** Make and document the decision and monitor outcomes. This final step of the staged approach would follow the planning decision and is not relevant to the determination of the application.

3.5.3 The assessment in this report accords with the guidance Historic England’s good practice advice on setting.

4 PLANNING HISTORY AND CONSULTATIONS

Planning History

4.1 The Council's website records Planning Applications relevant to Northumberland Terrace since 2010 as follows:

HGY/2010/1000 - Demolition and comprehensive redevelopment of a stadium (Class D2) with hotel (Class C1), retail (Class A1 and/or A2 and/or A3 and/or A4 and/or A5), museum (Class D1) offices (Class B1) and housing (Class C3); together with associated facilities. Grant Permission.

HGY/2010/1001 – Conservation Area Consent for demolition of 734-740, 742, 744a, 752a, 752b, 752c, 754-766, 768-772, 776 and 778-788, 806a, 806b High Road, N17, Paxton Hall, Paxton Road, N17, 2-6 Northumberland Park, N17 and any other buildings and structures within the curtilage of these buildings on land bordered by Northumberland Park N17 to the North, High Road N17 to the West, Park Lane N17 to the South and Worcester Avenue N17 to the East within the North Tottenham Conservation Area in conjunction with the comprehensive redevelopment of adjoining land for a stadium with hotel, retail, museum, offices and housing, together with associated facilities. Grant Permission.

HGY/2013/2037 - Non-material amendment following a grant of planning permission HGY/2011/2350 in order to vary wording of Condition 3 pertaining to the rear boundary works to the northern terrace. Grant Permission.

HGY/2015/1488. 796 High Road. Erection of a single storey extension at ground floor level to the rear of No. 796 and associated internal and external works all in connection with the use of the building for office and ancillary uses, with associated landscaping. Grant Permission.

HGY/2015/1490. 796 High Road. Listed Building Consent for erection of a single storey extension at ground floor level to the rear of No. 796 and associated internal and external works all in connection with the use of the building for office and ancillary uses, with associated landscaping. Grant permission.

HGY/2016/3310 - Land to the rear of 790-796 High Road. Erection of a four storey building (Sui Generis Use) to comprise new ticket sales offices, retail, administrative offices and other ancillary uses; demolition of rear extensions of the listed buildings Nos. 792 and 794 High Road; demolition of boundary wall to the rear of 792-796 High Road; associated hard and soft landscaping; and other ancillary works. Grant Permission. Amended by non-material amendment references HGY/2017/3108 & HGY/2018/0846.

HGY/2016/3540 - 790-796 High Road. Listed building consent for erection of a four storey building (Sui Generis Use) to comprise new ticket sales offices, retail, administrative offices and other ancillary uses; demolition of rear extensions of the listed buildings Nos. 792 and 794 High Road; demolition of boundary wall to the rear of 792-796 High Road; associated hard and soft landscaping; and other ancillary works. Grant permission.

HGY/2017/1181 – 810 – 812 High Road. Change of use, restoration and repair works and the erection of a single-storey rear extension to permit a multifunctional, flexible occupation (Sui Generis) to include a mix of uses within Use Classes D1, A3 and B1; demolition of a rear wall structure; associated hard and soft landscaping; and other ancillary works. Grant permission.

HGY/2017/1182 – 810 – 812 High Road. Listed Building Consent for change of use, restoration and repair works and the erection of a single-storey rear extension to permit a multifunctional, flexible occupation (Sui Generis) to include a mix of uses within Use Classes D1, A3 and B1; demolition of a rear wall structure; associated hard and soft landscaping; and other ancillary works. Grant permission.

HGY/2018/1398 - Land to the rear of 790-796 High Road. Approval of details pursuant to condition 29 (cycle parking) attached to planning permission HGY/2016/3310. Pending.

HGY/2019/0315 - Proposed works of repair and minor alteration to Nos. 790, 792 and 794 High Road, Tottenham, N17. Grant Permission.

Pre-Application Advice relevant to the current applications:

- 4.2 6 May 2015 – Pre-Application meeting of F3 and DP9 at LB Haringey offices with Mike Dunn of Historic England (HE) and Nairita Chakraborty (LBH Conservation Officer).
- 4.3 November 2015 – Pre-Application meeting ref PA00403156 regarding 790 – 814 High Road, with Mike Dunn of Historic England (HE) and Nairita Chakraborty (LBH Conservation Officer) at THFC. Mike Dunn responded with a letter dated 12 November 2015, with the main points being:
- The significance of the 'northern terrace' (Nos. 790-814 Tottenham High Road) terrace forms a rare unbroken continuation of significant historic buildings, the best of which are listed.
 - The front elevations survive mostly intact, and possess individual architectural value as well as historical value in how they illustrate the historic development of the High Road from around 1700 to the early 20th century.
 - The rear parts of the buildings have, for the most part, undergone substantial alterations, and there is much scope for enhancement here.
 - The idea for creating a public space behind the terrace between Northumberland Park and the podium ramp to Lillywhite House was supported.
 - There was no objection in principle to new buildings fronting the space in front of Lillywhite House.
 - The approach of removing harmful rear extensions and replacing them with more sensitively designed structures was supported in principle.
 - The unlisted Victorian terrace at Nos. 804-806 make a positive contribution to the North Tottenham Conservation Area and to the settings of adjacent listed buildings, so their removal was not supported. The principle of rear extension was supported, subject to agreeing the height and the design in order to preserve or enhance the character of the North Tottenham Conservation Area and the settings of adjacent listed buildings.
 - The use, initial design and conversion of No. 810 to a gallery/cafe space was supported in principle and there was scope for a sensitively designed single storey rear extension in the position of an earlier (since removed) structure. Further detail was required for the design of extension and interiors.
- 4.4 1 July 2016 – Pre-Application to HE and LBH ref PA00403156 regarding the new-build terrace in front of Lillywhite House, with meeting on site with Mike Dunn and Nairita Chakraborty on 5 July 2016. Mike Dunn responded by letter of 6 July 2016, confirming he supported the proposals, as follows:

“As previously set out, we welcome the approach to create a series of new buildings in front of Lillywhite House to support the restoration and reuse of the historic northern terrace. Whilst there are still matters of detail to agree, these can be conditioned and we therefore look forward now to the submission of formal applications.

The approach to restoration and rear extension is sensitive, but the final detail may need to change as more detailed study of the individual buildings is carried out.

In our view, there is great scope for revealing and enhancing the significance of the historic environment, and there are real public benefits in restoring and reusing buildings that have been empty and at risk for decades. The proposals appear to achieve this.

In that regard, any perceived harm to the listed buildings, their setting or to the character and appearance of the conservation area caused by the proposals would be outweighed by public benefits in accordance with paragraph 134 of the NPPF.

Recommendation

We look forward to submission of the applications and further information about the detailed treatment of the listed buildings. Based on the information presented thusfar, Historic England would be able to authorise the applications or direct approval with conditions.”

- 4.5 November 2019 – Pre Application documents were sent to LBH. Michael Dunn (HE) responded by email 29 November 2019, confirming Historic England had supported the principle of the proposals since 2016. He repeated his advice and recommendation as his letter of 6 July 2016 above and confirmed the latest submission was in line with previous discussions, and that he would defer to LBH regarding detail.

5 OVERVIEWS OF HERITAGE ASSETS AND DESIGNATIONS

5.1 Overview

- 5.1.1 Northumberland Terrace is located on the eastern side of Tottenham High Road, between the new Tottenham Hotspur stadium to the south, and Northumberland Park to the north.
- 5.1.2 The majority of Northumberland Terrace comprises Northumberland Row (Nos. 792-802), which was constructed in the early 1740s by Hugh Smithson (later Percy), Duke of Northumberland, from which the name “Percy House” (No. 796) is derived. A pair of earlier semi-detached houses (Nos. 808-812 High Road) are located just to the north of these. They were constructed in circa 1715 by his predecessor, Sir Hugh Smithson.
- 5.1.3 Northumberland Terrace also includes Dial House, No. 790 High Road, which dates from the late 17th century and 18th century.
- 5.1.4 The 18th century groups are joined by four mid-19th century buildings and a small section of 20th century replacement/infill that straddles the carriageway to the rear of the site.
- 5.1.5 Most of the buildings have been extended to the rear, where their gardens have been truncated, first by encroaching post-war industrial development and activities, and more recently by the large Sainsbury’s superstore. Aside from a small area at the back of Nos. 810-12 (Holly House), this land has lost all of the former garden boundaries/features and is now a car parking/service area covered in hard standing and accessed through the carriageway on the High Road.

Statutory Listed Buildings

5.2 Grade II* Listed Buildings

Dial House, Percy House (No. 796), Forecourt Gates and Railings to Percy House, and Nos. 808-812 are grade II* listed buildings. They were listed on 22 July 1949 and the descriptive text from their list descriptions is quoted below:

5.2.1 Dial House (No. 790)

“Late C17 house of 3 storeys, 5 windows. High pitched hipped tiled roof with end chimneys built out from ridge. Sundial on the southern chimney above eaves level, with inscription not legible and date 1691. Coved stuccoed eaves cornice. Replaced plain sash windows in flush box frames under segmental brick arches. Dark red brick. Stuccoed 2nd and 1st floor bands, the latter stepped up over central doorcase of attached rusticated columns, with medallions and friezes above, and mutuled side cornices and open pediment. 2 side flights of 3 stone steps to door terrace with cast iron railing. Nos 790 to 802 (even) and walls and railing to No 796 form a group.”

5.2.2 Percy House (No. 796):

“Mid C18 house of 3 storeys and basement, 5 windows. Brown brick with red brick dressings, including gauged flat window arches, flat floor string and moulded

parapet cornice. Recessed replaced sash windows. Handsome Doric doorcase with frieze of triglyphs and metope, and mutilated cornice and pediment. Nos 790 to 802 (even) and walls and railing to No 796 form a group."

5.2.3 The forecourt walls and railings to the front of Percy House:

"Early C18 or late C17 brown brick walls at either side of forecourt; and similar but lower walls in front supporting plain wrought iron railings. At outer angles tall brick piers. At centre a pair of taller rusticated stone piers with cornices and ball finials. Scrolled abutments to piers. Ornamental wrought iron gate with side panels and overthrow."

5.2.4 Holly House, (Nos. 808 – 810):

"Early C18 pair, each 3 storeys and basement, 3 windows; with 2 storey one window side extensions. Handsome "Queen Anne" facade. Half hipped tiled roof. Brown brick front with red brick dressings and stone coped parapet, some brickwork replaced. Gauged segmental brick arches with triple keystones to C19 sash windows, some with glazing bars. Brick moulded and dentilled parapet cornice. Central chimney with red brick quoins to deeply rebated angles. No 808 has flushed door, with patterned radial fanlight, and cornice hood on brackets over narrow panelled pilasters. No 810 has door of 6 fielded panels with plain rectangular fanlight under similar hood. Small modern shop projects in front."

5.3 Grade II Listed Buildings

The rest of Northumberland Row, comprising Nos. 792, 794, 798, 800 and 802 were listed grade II on 22 July 1949 and the descriptive text from their list descriptions are quoted below:

5.3.1 No. 792 High Road:

Early C19 front to probably older house. 3 storeys and basement, 5 windows. Stock brick with stone coped parapet above stone cornice with brick dentils. Partly concealed high pitched hipped tiled, roof. Gauged flat brick arches to replaced recessed sash windows. Door of 6 fielded panels with cornice head, patterned radial fanlight and flanking pilasters. Nos 790 to 802 (even) and walls and railing to No 796 form a group.

5.3.2 No. 794 High Road:

Mid C18 house of 3 storeys and basement, 5 windows. Brown brick with red brick dressings, including gauged flat window arches, Tat floor string and moulded parapet cornice. Recessed replaced sash windows. Handsome Doric doorcase with frieze of triglyphs and metope, and mutilated cornice and pediment. Nos 790 to 802 (even) and walls and railing to No 796 form a group.

5.3.3 Nos. 798, 800 and 802 High Road:

Mid C18 terrace of 3 storeys and basement. Each house 5 windows. Brown brick with red brick dressings including gauged flat window arches, 1st floor string and parapet cornice. The 2 left bays of No 798 have been rebuilt above carriageway and the 2 right bays of No 800 have lost cornice. Sash windows with glazing bars, some replaced. No 798 has door of 6 fielded panels, with plain rectangular fanlight, in modern Doric doorcase of flat pilasters and pediment. No 800 has modern door with entablature surround. No 802 has modern door in eared architrave under pedimented hood on brackets. Nos 790 to 802 (even) and walls and railing to No 796 form a group.

5.4 Group Value

As is categorically stated in each of the list entries, the listed buildings at Nos 790 to 802 form a group. This group value is an important aspect of their significance, and together they make up a prominent and historically significant part of the North Tottenham Conservation Area.

The group of listed buildings is complemented by a late 19th century terrace (Nos. 804-806 High Road) and a mid-19th century former bank (814), which are identified as buildings that contribute positively to the Conservation Area.

5.5 Conservation Area

5.5.1 North Tottenham Conservation Area

The conservation area was first designated on 28/03/1972, comprising the area around the junctions of White Hart Lane and Northumberland Park and the High Road. The subsequent boundary changes have retained this historic core, which includes Northumberland Terrace.

5.5.2 The North Tottenham Conservation Area Appraisal and Management Plan (CAAMP)

The CAAMP summarises the Special Interest of the North Tottenham Conservation Area in paragraph 1.2.1 as:

Tottenham High Road Conservation Area is notable for preserving, until very recently, an almost intact 19th century townscape incorporating notable surviving examples of earlier periods, while its hinterland (the areas immediately to the east and west) has changed dramatically.

As noted above, the listed building group is complemented within the North Tottenham Conservation Area by a late 19th century terrace (Nos. 804-806 High Road) and a mid-19th century former bank (814), which are identified as buildings that contribute positively to the conservation area.

Non-Designated Heritage Assets

5.6 Locally Listed buildings

5.6.1 The London Borough of Haringey's Local List identifies buildings and structures of architectural or historic interest which make a valuable contribution to the character of an

area, but do not qualify for inclusion on the statutory list. The council seeks to ensure that their special character is protected and enhanced.

5.6.2 The Local List contains the following entry:

“(High Road East side)

- *No. 814 (former Barclay’s Bank)”*

The building was included in the Local list as part of the UDP Review of 27 January 1997.

5.7 Archaeology

5.7.1 The North Tottenham - Conservation Area Appraisal and Management Plan notes at paragraph 1.4.15:

“Roman features and artefacts have been recovered in the vicinity of the High Road, which was also flanked by a substantial medieval settlement with possible Saxon origins. Three Areas of Archaeological Importance (AAIs) have been designated on the High Road: from the Borough boundary to Moselle Place is the ‘Roman Road and Medieval Settlement’ AAI; from Lansdowne Road to Scotland Green is the ‘Saxon Settlement and Medieval Manor House’ AAI; and from Chesnut Road south to Talbot Close is the ‘Historic Core of Tottenham’ AAI.”

5.7.2 The Archaeology Data Service was accessed on 21 January 2020 and lists 5 Archaeological Priority Sites within the locality of Northern Terrace, as follows:

5.7.3 HIGH RD (E SIDE OF)

Description: *BRICK & STONE MANSION OF HENRY VIII OR MORE PROBABLY GEORGE HYNNINGHAM (ROBINSON). HYNNINGHAMS RECORDED IN TOTTENHAM FROM Medieval Status: Archaeological Priority Area - APA [01/07/06]*

5.7.4 796 HIGH RD TOTTENHAM

Description: *4-5FT CANNON DUG UP GARDEN OF PERCY HO(USE) NORTHUMBERLAND ROW PRE 1913 (FISK)*
Status: *Archaeological Priority Area - APA [01/07/06]*

5.7.5 WHITE HART LA (NW OF JUNCTION WITH)

Description: *1620 KNOWN AS 'THE HORNS'. HOUSE WITH YARD, COACH-HOUSES, STABLES ETC. DEMOLISHED IN BITS 1824 ON.*
Status: *Archaeological Priority Area - APA [01/07/06]*

5.7.6 HIGH RD (EAST SIDE NEAR WHITE HART LANE)

Description: *THERE WAS A FARMSTEAD ATTACHED TO THE REAR OF THE LAMB INN (ROBINSON)*
Status: *Archaeological Priority Area - APA [01/07/06]*

5.7.7 WHITE HART LA (SOUTH SIDE JUNCTION WITH TOTTENHAM HIGH RD)

Description: CROOKS FARM ON 1619 MAP OF TOTTENHAM. C15TH FARM. LATER CALLED 'WHITE HALL'(ROBINSON). C1790 CONVERTED TO TANNERY FOR SHORT TIME. MID 19th century BRICKWORK COVERED WITH CEMENT
Status: Archaeological Priority Area - APA [01/07/06]

5.8 Greater London Heritage Environment Record

- 5.8.1 The Heritage Gateway GLHER identifies 26 entries within 100 metres of Northumberland Terrace.
- 5.8.2 These comprise listed buildings and archaeological finds as noted above and Archaeological Priority Areas.
- 5.8.3 There is no other record listed in addition to those identified above.

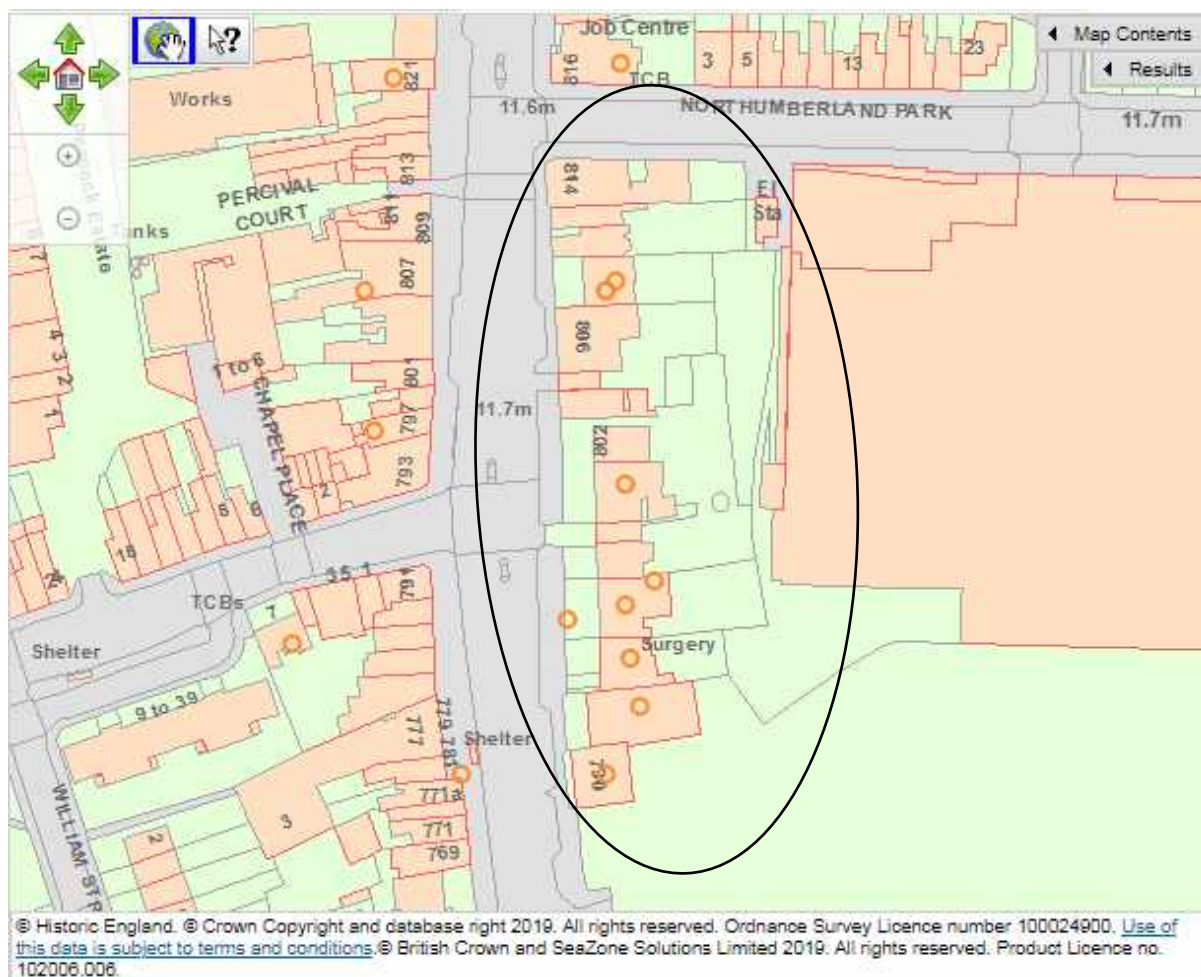


Figure 1 – Greater London HER entries reproduced from Heritage Gateway on 21 January 2020.
 Northumberland Terrace is circled for identification.

The Archaeological Priority Areas are identified and plotted within the adjacent Stadium Site.

6 HERITAGE ASSETS AND THEIR SIGNIFICANCE – UNDERSTANDING FORM AND HISTORY

6.1 Evolution of the Site

- 6.1.1 Maps and photographs within this section of the report are courtesy of Haringey Archive and Museum Service, Bruce Castle Museum, Lordship Lane, Tottenham, N17 8NU. This following section is complemented by the specific consideration of the area to the rear of Northumberland Terrace at Section 13.4 of this report.

6.1 Early History

- 6.2.1 The High Road, Tottenham, started life as Ermine Street, the Roman road from London to Lincoln and York. A small settlement was recorded in the area in the 1086 Domesday survey and a manor house was recorded in 1254, near the site of Bruce Castle. The High Road (known historically as Tottenham Street) was an important route in and out of London to the north. The settlement developed linearly, with inns along each side to serve travellers and the village centre was marked by the adjacent Green and the High Cross, commemorating the medieval wayside cross that stood there.
- 6.2.2 By the 16th century Tottenham was a favoured rural retreat for city merchants, with several mansions along the High Road, such as the Black House, on the site of Northumberland Terrace, and Sir Abraham Reynardson's House on the Green. Tottenham became an attractive place of residence for wealthy Londoners².

6.2 The 17th Century

- 6.3.1 The earliest sourced map of the area is Thomas Clay's map of Tottenham (1619) for the Earl of Dorset, at that time the owner of Tottenham Manor (see Figure 2 – note the map is orientated with south at the top). The map shows the High Road with intermittent buildings along its frontage and others set back within enclosed grounds. Farmland or private grounds bordered much of the road and the main east-west thoroughfares linking Tottenham with Hornsey and Wood Green were established, including White Hart Lane, which is shown as a winding country lane.
- 6.3.2 The earliest structure at Northumberland Terrace is recorded at the rear of Dial House, and may be incorporated within its structure. This is an unnamed house to the South of Ridleys, indicated on the 1619 Dorset map. It is part of a group of houses indicated in a vernacular style typical of the 16th century or 17th century, located in the position of the current terrace.
- 6.3.3 The curved southern boundary to Ridleys is very distinctive. It locates the group over time, as it is a recurring feature that can be seen on all subsequent maps of the terrace, until it was removed in the 20th century. Fisk reported the original wall and its old gateway to still exist, albeit in a derelict condition in 1921.³ It is probable that all other remains of the Ridleys group were destroyed in the subsequent building of the basements and rear extensions.

² Victoria County History Middlesex Volume 5. 1976 pp314-317.

³ Fred Fisk *History of Tottenham* 2nd Ed 1923.

- 6.3.4 Land immediately behind the group is annotated as belonging to Bennetts. They were farmers and had a main house at Stamford Hill. There are 18th century memorials to the family in the Parish Church.
- 6.3.5 Ridleys was later known as The Black House and was owned by the Henningham family.⁴ It was reportedly built of brick and stone, and Bedwell, writing the first history of Tottenham in 1631, described it as 'sumptuous'.⁵ It was one of a group of large houses in the village from the 16th century, most of which were leased to wealthy Londoners. Bedwell reported that The Black House boasted an inscription in a bedroom, recording that Henry VIII stayed there as George Henningham's guest. George Henningham was part of the Royal Court and a cousin of Anne Boleyn. After he died in 1536, the house was sold to a merchant friend, Gerard Gore, Alderman of London and Member of Parliament.⁶
- 6.3.6 Gerard's son, William Gore, the owner at the time of the Dorset Map, was also a member of the Merchant Taylor's Company, Alderman of the City of London and Member of Parliament. He died in 1622 and in 1625 his wealthy widow Joan Lee married John Coke, Secretary of State and Navy Commissioner. John Coke was chief adviser to Charles I during his dissolution of Parliament, and suffered politically as a result when Parliament was returned. He used the Black House as his main retreat and he died there intestate in 1644.
- 6.3.7 Dial House was updated and extended in the late 17th century, when a symmetrical rectangular classical brick range was built in front of it on the roadside. This frontage block contains a prominent sundial on its gable, dated 1691, which is a date consistent with the style of the building. The reconstruction is attributed to Miles Trulock, a soap manufacturer. The Trulock family owned the building until the 1830s⁷.

⁴ William Robinson *The History and Antiquities of the Parish of Tottenham*, Volume 2, 1840.

⁵ William Bedwell, *Brief Description of the History and Antiquities of the Parish of Tottenham High Crosse* 1631.

⁶ www.historyofparliamentonline.org. Volumes 1604-1629 (Gerard Gore, William Gore & John Coke).

⁷ Local website www.singernet.info/tottenham/historictott.asp



Figure 2: Thomas Clay map 1619 for the Earl of Dorset (Map is upside down – north is at the bottom) Ridleys group and other development along the eastern side of the High Road, with the River Moselle limiting development on the left.

6.3 The 18th Century

- 6.4.1 The majority of Northumberland Terrace was built in phases in the 18th century, during the Smithson family's ownership.
- 6.4.2 The Black House and its estate was later bought by Sir Hugh Smithson (c.1661-1740)⁸, a wealthy merchant and Tory member of parliament for Middlesex. The hearth tax records note his house was one of the two largest in the village, with 22 hearths.⁹ Sir Hugh Smithson was responsible for the building of Nos. 808, 810 and 812 High Road, which date from circa 1715. He was a wealthy City merchant and built up ownership of much of the village, using these properties as his electoral base as Member of Parliament for Tottenham.¹⁰ He was well thought of locally and Bedwell dedicated his enlarged reprint of the *Brief Description* to Smithson in 1718.
- 6.4.3 Sir Hugh Smithson died on 4th September 1740 and the estate is passed to his cousin, also named Hugh Smithson (1715-1786), whom had recently married Lady Elizabeth Seymour, daughter of the 7th Duke of Somerset and Earl of Northumberland in July 1740; and was responsible for the construction of the remainder of the Northumberland Row. It is worth noting that, originally, each plot on the terrace was the same width, 5 bays as Percy House.
- 6.4.4 The Black House/Ridley's (on the site of present-day Nos. 802-806 High Road) was demolished in 1743¹¹ to extend the terrace. Local histories record that the carved timbers from the Black House were reused in the building of the new terrace, which was corroborated during the repair works at Percy House (2015-2017).
- 6.4.5 In 1744, Lady Elizabeth Seymour became heir to the vast Percy Estates, following the death of her brother, Lord Beauchamp. Her Grandfather, the 6th Duke of Somerset, disliked Smithson and petitioned that he, Somerset, should hold the title Earl of Northumberland. After the death of the 6th Duke of Somerset in 1748, Hugh Smithson applied to the King for the Earldom of Northumberland for himself and his male heirs. This was granted and in 1750 he took the name of Percy in lieu of Smithson, becoming Hugh Percy, the 1st Duke of Northumberland.
- 6.4.6 Sir Hugh Smithson II (later the Duke of Northumberland) had a lifelong interest in the classics and in Art and Architecture, which he put into practice at a young age. Along with his wife, Elizabeth, and her vast fortunes, they were able together to revitalise the properties they had inherited and became renowned patrons of art and architecture¹². Elizabeth Seymour was also a descendant of Hugh 'Hotspur' Percy (1364 – 1403), after whom Tottenham Hotspurs Football Club was named.
- 6.4.7 In 1752 Robert Plimpton is recorded as 'building the terrace' 'on the site of the Duke of Northumberland's Black House'¹³. This is consistent with the date of a remodelling of Percy House and the construction of the rest of the Row, with simpler mouldings than the first

⁸ www.historyofparliamentonline.org. Volumes 1715-1754

⁹ Victoria County History Middlesex Volume 5. 1976 pp314-317.

¹⁰ www.historyofparliamentonline.org. Volumes 1690-1715 & 1715-1754 (Hugh Smithson (i))

¹¹ HG Oldfield & RR Dyson *History & Antiquities of the Parish of Tottenham High Cross*. 1790. Pp17.

¹² S. Bracken, A. M. Gáldy & A. Turpin (eds), 'The *Musaeum* of the first Duchess of Northumberland (1716-1776) at Northumberland House in London'.

¹³ Local websites re Plimpton www.edithstreets.blogspot.co.uk and www.singernet.info/tottenham/historictott.asp

phase of Percy House. Plimpton was a local timber merchant and the remodelling involved an extensive amount of panelling. The Percy family still owned the buildings as can be seen from the Wyburd Map (Figure 3) and Alnwick Castle records¹⁴).

- 6.4.8 The Wyburd Map shows that by 1798, Northumberland Terrace was built up and was part of an extensive Georgian development of the centre of Tottenham. On the west side of the street, opposite the terrace, housing was more sporadic because of the presence of the Moselle River. Behind the line of housing were gardens, and then orchards, fields and marshland leading down to the River Lea.



Figure 3: 1798 Wyburd Map extract. The current terrace ran from No. 140 in the south to No. 150 in the north. The accompanying list of properties records that, other than No. 140 (Dial House), the properties were in the ownership of the Duke of Northumberland and were tenanted. The first Duke had died in 1786 and this was his son, Hugh Percy, 2nd Duke of Northumberland (1742-1814).

- 6.4.9 The buildings on the application site were part of the rows of merchant developments referred to by Daniel Defoe in Tottenham in 1755¹⁵. In his view they were 'unequalled in their degree, ... generally belonging to the middle sort of mankind, grown wealthy by trade, and who still taste of London', and he commented on the wealth of the owners, who divided their time between the City and the country.

¹⁴ Alnwick MSS, Colin Shrimpton *Tottenham and the Percys 1660-1842*. 1999.

¹⁵ Daniel Defoe *Tours through England and Wales*. Pub 1724 & 1755.

6.4 The 19th century

6.5.1 Tottenham's population doubled in size between 1811 and 1851 and this led to a substantial expansion of the village.¹⁶ The Percy estate relinquished its ownership of housing in Tottenham; by 1836, the then owner, Henry Percy, the 3rd Duke of Northumberland, had sold all the lands he owned in the village.¹⁷

6.4.2 1844 Tithe Map

The 1844 Tithe Map records the new owner of Northumberland Terrace was Charles Ansell, the occupant of No. 800 (486 and garden 487 on the map).

6.5.3 During the early 19th century, part of the Georgian group had been lost. No. 792 (478 on the map) had been reconstructed to a narrow footprint, set forward of the rest of the terrace, and there was a gap north of No. 802. In the place of the current shops at Nos. 804-806 there were 'Four Cottages'. The smaller size of the replacement cottages were characteristic of the lower status of the area by this time, and the increased intensity of development.

6.5.4 The larger gardens of Percy House and No. 800 show they were of the highest status and the most desirable of the group. Other than the gardens of Nos. 808 and 810 (Nos. 492-495 on the map), the boundaries did not follow the normal equal subdivisions characteristic of Georgian terraces, being instead based on the uneven boundaries of the pre-Georgian settlement.

6.5.5 The map sequence shows that the 19th century houses and shops along the eastern side of the High Road were built in front of the earlier buildings.

¹⁶ Victoria County History Middlesex Volume 5. 1976 p317.

¹⁷ Alnwick MSS, Colin Shrimpton *Tottenham and the Percys 1660-1842*. 1999.

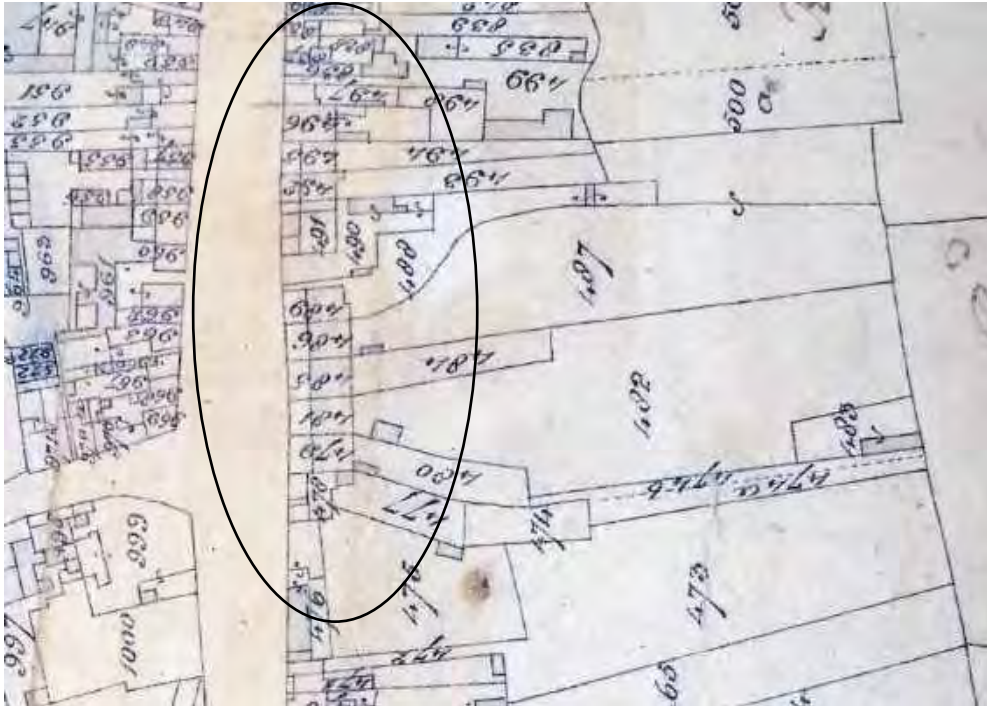


Figure 4: Tithe Map 1844

6.4.6 1864 and 1873 Ordnance Survey map

By the date of the 1st Edition Ordnance Survey map of 1864, the buildings immediately north of the Georgian group had been demolished to form Northumberland Park Road, leading east from the High Road.

6.5.7 As part of the creation of Northumberland Park Road, the distinctive corner building, No. 814, was built for the National and Provincial Bank. Once established, the primary buildings and curtilages of 1844 remained, for the next 50 years.

6.5.8 The garden to No. 800 has paths leading from the street and contains a 'fountain'. These fountains were a characteristic of late 18th century/early 19th century Tottenham, bored down to an aquifer below the village and giving good, clean water.

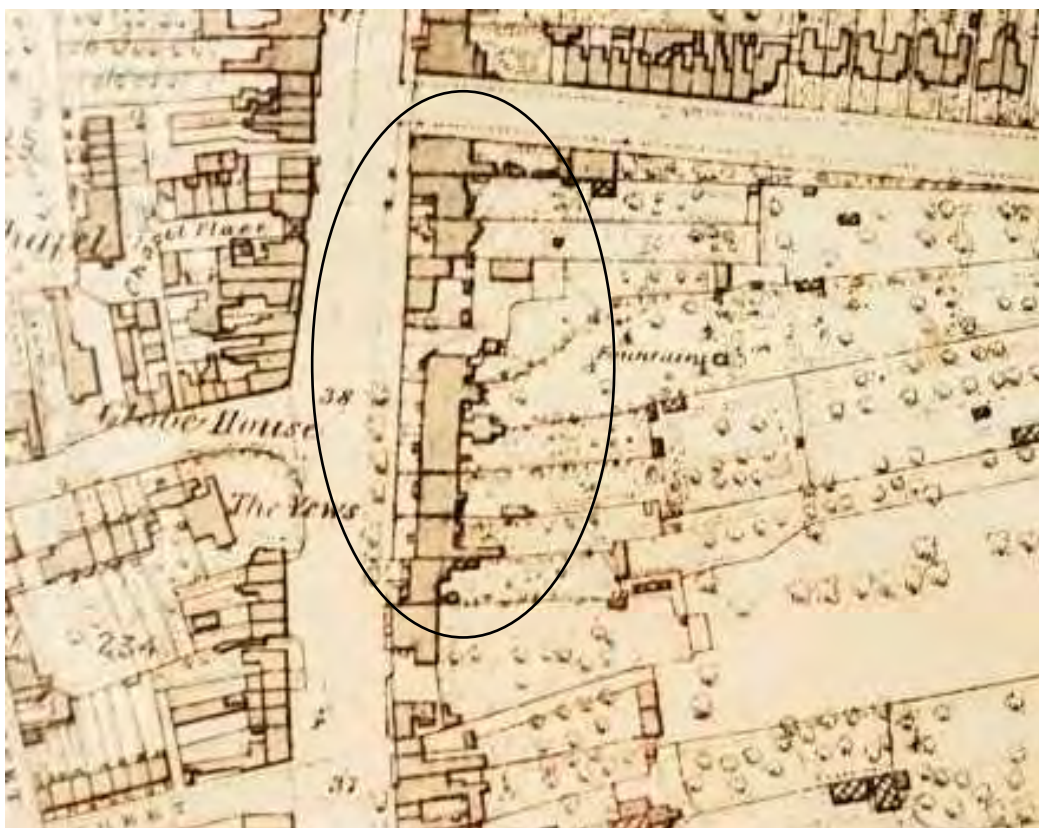


Figure 5: 1864 Ordnance Survey Map

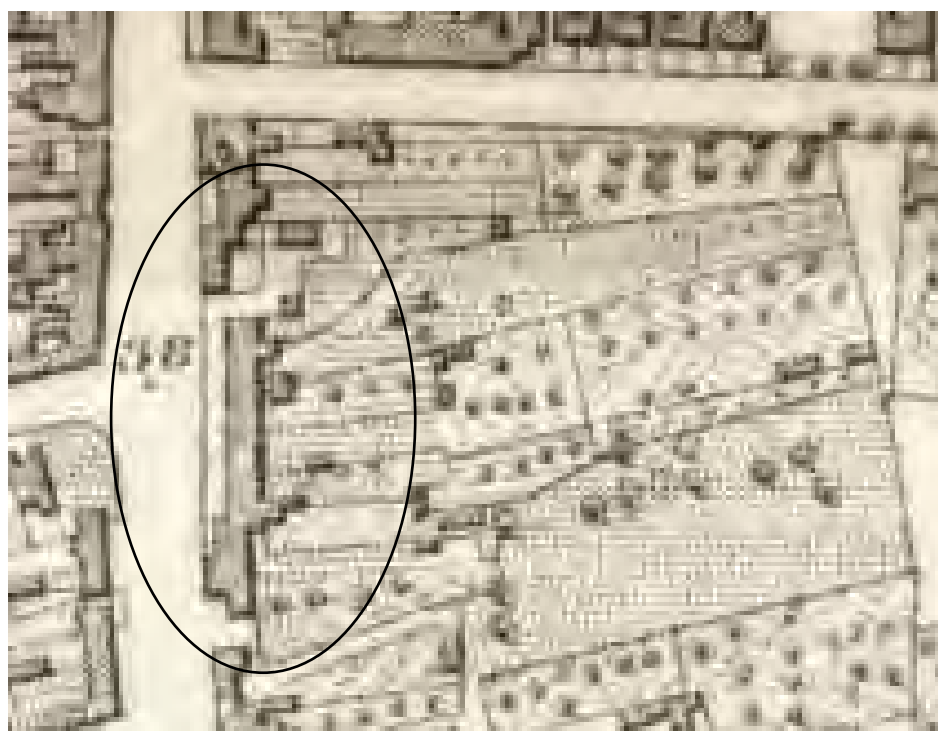


Figure 6 - 1873 Ordnance Survey Map

- 6.5.9 Other than the loss of a small outbuilding and enclosure in the garden of No. 810, the 1873 OS Map shows the houses and gardens as before.

6.4.10 1896 Ordnance Survey map

The shops at Nos. 804-806 were originally built as a courtyard. Nos. 810/812 had been subdivided and extended with shops to the front. The Trade Directories of the period reflect the changes to the area. Throughout the late 19th century and first half of the 20th century, the large Georgian houses of Northumberland Row were still occupied by relatively wealthy professionals. These included a justice of the peace, a solicitor, an engineer and a physician and surgeon.

- 6.5.11 As the 20th century progressed, the wealthier residents moved out, but the buildings remained in long-term professional business uses, which have remained a distinctive part of the social character of the terrace until more recently. By the late 19th century, the earlier Georgian buildings of 808-810 had begun to develop as shops, with 810 becoming the home and workshop of an early photographer. The extension provided a printing works, associated with the photography business, and then a stationer's shop was added. No. 814 was rebuilt as the London and Provincial Bank, partly occupying No. 812 as well. Nos. 804-806, the 19th century row of smaller properties, housed a pharmacist and a house furnisher¹⁸.

Tram lines were also installed, running along the High Road.



Figure 7 - 1896 Ordnance Survey Map

6.5 The 20th century

- 6.6.1 The 1920 map shows a more industrial character, in association with the new railway and changes to the area. Industry had begun to infill the fields and gardens to the south. Later Trade Directories record the arrival of major industries to Tottenham in the 20th century.

¹⁸ Kelly's Directories of Tottenham and Edmonton 1900 – 1955. Bruce Castle Archive.

The maps show the spread of industries across the marshlands and back gardens of the High Road. This was a period of substantial change to Northumberland Terrace and its setting.

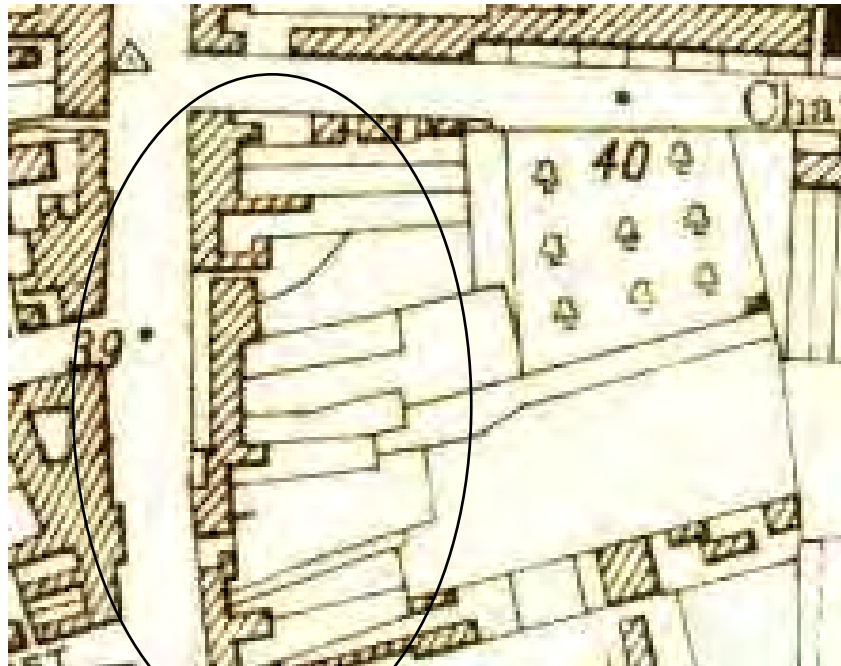


Figure 8: Ordnance Survey Map 1920

By 1935, the gardens had been surrounded by a Precision Machinery Manufactory and the first buildings of Wingate Trading Estate. Several rear extensions had been built along the terrace in an ad-hoc manner.

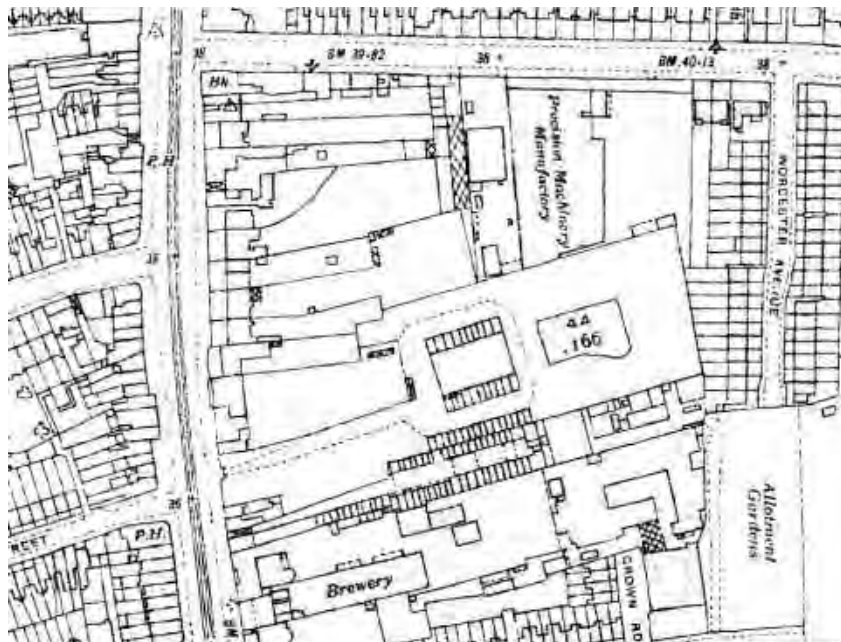


Figure 9: Ordnance Survey Map 1936 (Surveyed 1935). Matches 1933 map.

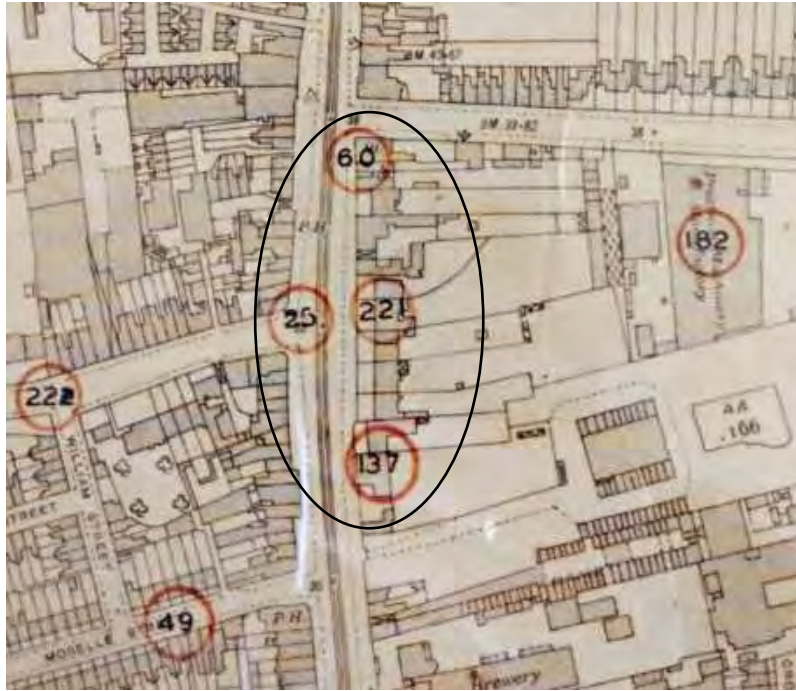


Figure 10: Tottenham Bomb Map.

- 6.6.2 The Bomb map and accompanying text describes the damage which resulted from bombing raids of September 1940. High explosive bombs at position 25 and 221 caused extensive damage to shop frontages, services and the road. Other bombs were unexploded or caused less extensive damage.
- 6.6.3 By 1955, the Engineering Works and Wingate Trading Estate had enveloped the southern and rear of the Terrace and extended into the gardens. The curved boundary line of the former Ridley's/ Black House remains visible behind No. 802 High Road.

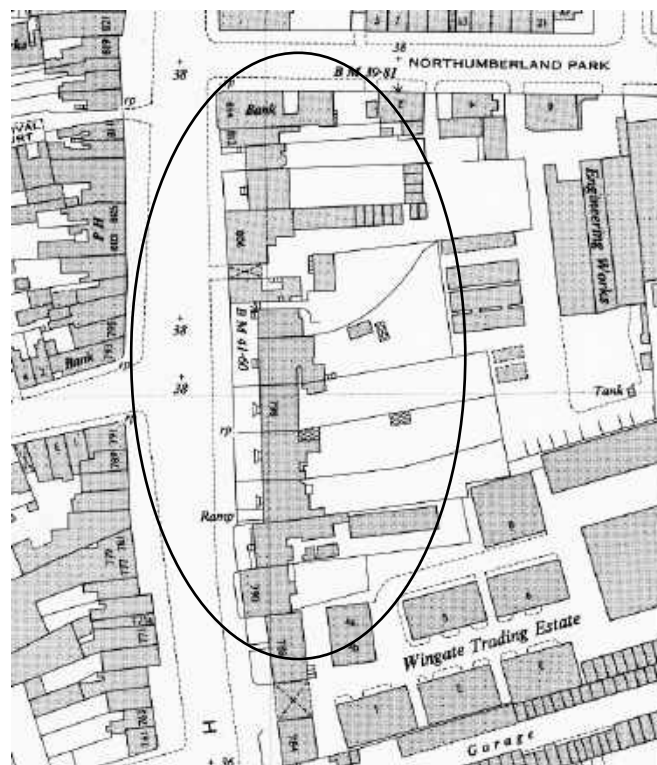


Figure 11 - 1955 Ordnance Survey Map

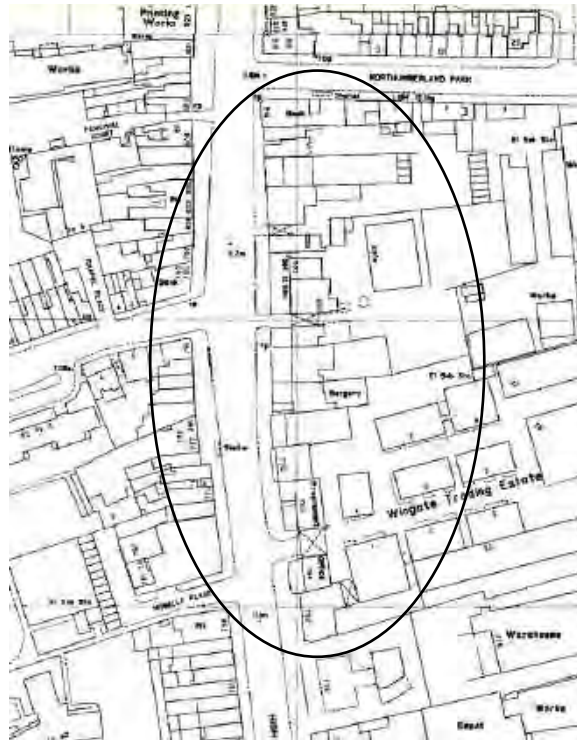


Figure 12 - 1984 Ordnance Survey Map

- 6.6.4 By 2000, the alterations to the rear yards to provide a car park had removed the boundaries within the centre of the terrace. The southern and eastern boundaries were removed as part of the extension of the Industrial Estate, and then altered further to construct Sainsbury's. None of the gardens now reflect their 18th century extents.
- 6.6.5 The setting assessment at Section 16 considers the changes and evolution of the area behind Northumberland Terrace in more detail, with reference to historic aerial photos and satellite



Figure 13 – Current Google Aerial Photograph

- 6.6.6 In contrast to the rapid changes to their settings, the building footprints appeared relatively unchanged throughout much of the 20th century. Their rear elevations and interiors were altered to reflect the changes from residential to office use, and more recently when subdivided into residential flats, but the long tenancies over much of their lives has preserved some of the historic features.
- 6.6.7 The forward extensions of the late 19th century and 20th century and numerous changes to the road edges have resulted in significant changes to the front boundaries. The following photographs show that the railings were lost (probably as a result of wartime initiatives to reuse iron), and many of the front gardens, steps and paths were replaced in concrete.

- 6.6.8 The 19th century shops no longer have their original shopfronts, but the original painted timber fascias, consoles and entablatures appear to survive around the later shopfronts and below modern signage. Some of the 19th century decorative render detailing also remains between the shopfronts.

6.6 Historic Photographs

Photographs within this section of the report are courtesy of Haringey Archive and Museum Service, Bruce Castle Museum, Lordship Lane, Tottenham, N17 8NU.



Figure 14 - 1880-1885 Photograph of frontages of Nos. 792-800 High Road. Note that No.794 and 798 have matching aedicules (symmetrical each side of Percy House) & original door surround to No.792



Figure 15 - This image shows the rear garden and elevation of 790 High Road (Dial House) in 1906, when it was known as 'Dr Thompson's House Dial'.



Figure 16 - High Road looking south, 1907. No.814 High Road visible left, in use as a bank, with the rest of Northumberland Terrace beyond and 790 (Dial House) in the distance.



Figure 17 - May 1939 of 790-800 High Road – note that the boundary walls of No. 794-803 are all the same height as No. 796 (Percy House) and Nos. 794 and 798 are symmetrical, each side of Percy House.



Figure 18 - 790 High Road (Dial House) in 1939 (left) and 1947 (right) – showing railings in situ before World War II and then removed as part of the war efforts.



Figure 19 - 796 - 802 High Road, c.1950 – note the two storey section of No.798 (now part of No.800) - the width of No.798 is the same as all of the other plots (each plot '5 bays' width) and the boundary walls of Nos. 794 & 798 are symmetrical, each side of Percy House.



Figure 20 - Frontages of Nos. 796-814 High Road 1950



Figure 21 - 790 (Dial House) to 802 High Road in 1952.



Figure 22 - Aerial View, 1961.



Figure 23 – Nos. 794-796 (thought to be c.1977 due to windows boarded on No.792)



Figure 24 - 798-802 – c.1960 showing 800-802 under refurbishment, prior to No.798 2 storey extension being sold to No.800 and demolished to provide a raised bridge over the car access.



Figure 25 - 796-800 (Jatko House), 1980 after No.800 extended and car access created (on land formerly part of No.798)



Figure 26 - 798-802 High Road (including Gibson House and Jatko House) c.1980



Figure 27 – 808-812 High Road, 1980. Two retail units occupy the front forecourt of 810-812 High Road.



Figure 28 - 806-814 High Road, 1980.

6.7 Visual Assessment

6.8.1 Detailed analysis of the buildings shows:

- Phases - Northumberland Row was built in phases and initially comprised two symmetrical detached 18th century blocks, which were joined by later development.
- Interconnections - The 18th century buildings have been used, altered and interconnected in different ways over time to provide a variety of units that differ from their current divisions.
- Reuse of Tudor timbers - The reference in early published local histories to architectural elements from the demolished Black House having been reused in the Row, has some evidence.

6.8.2 Phases

The Northern Block comprised No. 802 and the northern element of No. 800, forming a symmetrical pair. This is indicated by the cornice and a straight vertical mortar joint and set-back on upper floors between this symmetrical block and the southern two bays of No. 800. The internal construction is also different and there are some indications that, like Nos. 808 and 810, the attached building may have been a coach house / ancillary building.

6.8.3 The southern two bays of No.794 have a different language to the rest of the property, with no historic connections between the spaces, other than through the Victorian extension at the rear. Tuck pointing to internal walls of the rear Victorian extension show that there was not originally any structure in this position. The southern two bays were infilled slightly later (within 20-30 years as the 1798 map shows a continuous terrace). They have a separate roof

structure, and further opening up during the works may identify a more precise date when they were connected to the rest of Nos. 792 and 794.

6.8.4 The rest of the Southern Block comprises three buildings, Nos. 794, 796 and 798. They are symmetrically centred on No. 796 (Percy House), which projects forward slightly.

6.8.5 The historic photographs show they were joined by a smaller later block which was rebuilt in the late 20th century to align with the rest of the terrace and to form the current archway.

Photographs:



Figure 29 – Northern Block (Nos. 802 – 800)



Figure 30 – Southern Block (Nos. 798, 796 & 794)

6.8.6 Interconnections

There is evidence that there were lateral connections between the buildings in the row.

6.8.9 The current layout of Nos. 800 and 802 involves lateral interconnection between the two properties on all floors.

6.8.10 No. 798 has variations and outlines in the wall finishes in the entrance hall and at the first floor that indicate blocked doorways that connected it to the former building occupying the archway. Part of the rear wall near the staircase has been rebuilt in blockwork between this and the rear extension. There are similar indications of former openings between the hallway of No. 800 and the rooms to its north.

Figure 31 - A previous opening from No. 798 with lintol visible within the vehicle arch.



6.8.11 Black House reuse

The early histories (Robinson and Couchman) describe the reuse of elements from the demolished 16th century Black House within the Row. Reused elements of the correct period were used at Percy House and there is some evidence elsewhere within Northumberland Row, including a panelled wall at No. 798. It is likely that reference to reuse within the remaining roofs of the Row may not be confirmed as the roofs, where accessible are 20th century.



Figure 32 – Section of 16th century carved vergeboard found in the roof of Percy House



Figure 33 – Reused bridging beam with dovetail joint found in the roof of Percy House

Figure 34 – Section of 16th century scratch-moulded panelling at No. 798 High Road



6.8 Current Site

6.9.1 Building use:

Originally the entire row of 17th and 18th century buildings were built as substantial houses with generous gardens.

6.9.2 The 19th century buildings, Nos. 804-806 and 814, were constructed as terraced shops with residential units above, taking advantage of the increased commercialisation of the area due to the introduction of trams along the High Road.

6.9.3 The commercial uses of the rest of the row evolved from the professions of the occupants from the mid-19th century onwards. The Kelly's Directory of 1912 – 1913 describes residents as engineer, physicians, surgeons, a justice of the peace and a solicitor. The professional business uses, originally based in part of the family home, evolved into professional office uses of whole buildings.

6.9.4 The buildings have mostly remained in professional office use, most recently by doctors, dentist, accountancy firms and solicitors, although many of the buildings are now subdivided and in multiple occupancy, which has fragmented their plan form and made their management and maintenance more complex.

6.9.5 Current uses are:

- a. 798-802 High Road - offices
- b. 808 High Road – multiple occupancy residential and offices

6.9.6 High street frontage and land to rear:

The land at the rear is mostly used for vehicular and pedestrian access, hardstanding and car parking. It also provides service areas associated with the offices. There is a small garden behind 808.

6.9.7 The 19th century buildings are set on the pavement edge, but where the terrace is set back, the frontage comprises walled enclosures with predominately utilitarian hard paving used in conjunction with the offices and flats. On the road and pavement edge, the walls incorporate metal railings as part of the streetscape.

6.9.8 The immediate stretch of High Road which the buildings forming this application face is typical of the street – a wide, two way, busy road with a mix of commercial unit types at ground and some residential above, and relatively low rise. The exceptional nature of the Northumberland Terrace buildings themselves, given their historic appearance and significance, forms a unique streetscape which is generally in a fair state of repair, with Percy House standing out as the only restored example. However, this is in stark contrast to the area behind the terrace. In longer views from the west, the top of Lillywhite House can be seen as a contrasting modern form behind the historic buildings on the High Road, as can the new stadium in views from the north.

6.9.9 Accessed via Paxton Place to the south, two carriageways off the High Road, and a narrow alleyway to the north from Northumberland Park, the former rear gardens of the historic properties have been gradually eroded, both through extensions to the rears of the historic terrace itself, and via light industrial development extending from east to west (see Section 13.4 for more detail) – this has seriously affected the land to the rear and the rear elevations

of the terrace and removed all but one of the garden boundaries. The space is defined to the east by the looming blank back elevation of the Sainsbury's superstore, with an undercroft car park at ground level.

- 6.9.10 This area is now a particularly harsh and unpleasant space as it has no meaningful or beneficial use, other than serving as an informal car parking area, and has little passive surveillance. Combined with the fragmented and neglected physical appearance of the area, these combine to have an acutely negative impact on the quality and character of the setting of the historic terrace, and this part of the North Tottenham Conservation Area. The area is maintained and managed by the applicant but it has the feel of a neglected, leftover piece of land in need of investment to do justice to the conservation area and the setting of the high quality historic buildings on the High Road. This land reflects the wider social and economic challenges facing the conservation area, which has seen a decline through historic cycles of disinvestment. However, as elsewhere in the conservation area where neglect has occurred, it also equally presents an opportunity where a well-considered regeneration proposal could beneficially transform the nature of this land and its relationship with the listed buildings and the conservation area.
- 6.9.11 The rear elevations of the buildings are disfigured or obscured by poor quality extensions. All the buildings in the terrace have had at least a single storey addition, with most displaying a two or three storey structure, designed with little regard for the host property. These projections not only obscure the immediate rear facade of the building which they directly relate to, but also prevent longer views of the rear of the terrace.
- 6.9.12 Apart from the reduced garden of No. 808, the area is finished in concrete hardstanding, laid out in a piecemeal fashion, with no reference or regard to the historic context or the importance of the historic buildings. This nondescript ground plane is used as car parking and sits between the rear of the terrace and the new superstore/Lilywhite House building. The elevation to this new structure is uniform and windowless where it faces the historic terrace, and, combined with the negative features of the space, the lack of passive surveillance results in much crime and antisocial behaviour behind the terrace.
- 6.9.13 This hinterland, adjacent to the buildings forming this application, abuts Northumberland Park to the north and the new Paxton Place to the south. However, Paxton Place with its considered public realm, contemporary architecture, and restored elevations to the historic terrace is in contrast to the area to the north and offers a welcoming, high quality, example of how the area behind the high street context could be positively enhanced in a contemporary way that nevertheless complements the historic terrace.

6.9.14 Recent development of the terrace by THFC:

6.9.15 No. 796 Percy House

Percy House, previously on the 'Buildings at Risk' register, has now been converted from its previous use as offices into the Tottenham Hotspur Foundation Trust.

- 6.9.16 As the most complete of the 1740s houses in the terrace, and the only building from this phase listed at Grade II*, Percy House contains numerous historic details now lost or fragmentary in the rest of the row. Details used at Percy House are therefore referred to as part of the proposals for reinstatement and evidence-based enhancements in the current phase. The small scale extension at Percy House also provides a more sympathetic form of

extension than the previous ad-hoc extensions of the 20th century, so this intervention was also used to inform the scale and general form of proposed replacement extensions, in order to improve and unify the appearance of the group. No further work to Percy House is being proposed as part of the current applications.

6.9.17 No. 810-812 High Road

810-812 High Road has Planning and Listed Building consent for conversion and extension, and therefore no further work is proposed as part of the current applications.

6.9.18 No. 790-794 High Road

Consented external repairs and enhancements to these listed buildings have been partially completed and the works continue.

7 OVERARCHING PRINCIPLES AND APPROACH

- 7.1 The location of Northumberland Terrace at the northern entrance to the THFC's new Stadium, is key to the enhancement and regeneration of this part of the North Tottenham Conservation Area.
- 7.2 The overarching intention for the scheme is that Northumberland Terrace will be restored and play a key role in the wider regeneration of the area, and that the proposed Creative Quarter will act as an exemplar of high quality place-making and a positive response to a challenging site and a sensitive heritage context.
- 7.3 The proposed Creative Quarter incorporates changes of use and proposals for the buildings as summarised below:
- No. 798 – refurbishment, alterations and replacement rear extension.
 - No. 800 – 802 – refurbishment, alterations and replacement rear extension.
 - 804-806 – refurbishment, alterations and replacement rear extension.
 - 808 – external restoration and replacement rear extension.
 - Plot behind 814 – replacement building.
 - Land behind Northumberland Row – new building and alteration to existing structures and public realm.
- 7.4 The Creative Quarter will also include regeneration proposals for Nos. 790 – 794, but which are not part of the current application. For the purposes of the current application, Nos. 790-794 are included as part of the assessment of setting.
- 7.5 The primary conservation aim is to provide a unified approach to the regeneration of the Northumberland Terrace group, to continue the restoration work already successfully carried out by THFC to Percy House and its entrance gateway, and to Nos. 792 and 794, together with the landscape enhancements and development already carried out at the rear of Nos. 790-796.
- 7.6 The Club has now acquired the remainder of the Terrace, which has enabled it to provide a co-ordinated and holistic design scheme for the whole group, with a view to turning this area into an exemplar of regeneration along the Tottenham High Road Historic Corridor.
- 7.7 The proposed development is seen as a key part of the on-going programme of restoration and regeneration at Northumberland Terrace, and it is a unique opportunity to significantly enhance the group of highly significant historic buildings and heart of the conservation area.
- 7.8 The proposed repairs, methodology and architectural principles for the redevelopment of the rest of Northumberland Terrace buildings follow the established principles of conservation, design and informed restoration already carried out at Percy House. These proposals are to improve the character, appearance, longevity and viability of this important group of historic buildings, put the buildings to sympathetic and compatible new uses, and reinstate significant lost historic design elements that enhance the character and understanding of the buildings and area.
- 7.9 The new buildings, extensions and alterations are to follow a co-ordinated theme of design and materials, bringing coherence and high quality design, to replace the previous ad-hoc range of poor quality extensions, structures and surfaces.

- 7.10 The transformation of the land behind the whole of the terrace, from Northumberland Park to the stadium, is to provide a new high quality pedestrianised public realm, with new access, uses and activity, in place of the car parking, areas of hardstanding and the overbearing dead frontage of the back of the superstore. Key principles are to provide a sense of space and coherence, high quality defined spaces for circulation, seating (informal and cafe) and less formal transitional spaces, with integrally incorporated seating, access ramps, lighting, and soft landscaping.
- 7.11 These principles are essentially to sympathetically put the buildings and land behind them into beneficial viable uses, consistent with the regeneration ambitions of London Borough of Haringey and the aspirations of THFC, to build on the success of the restoration of Percy House, and to create a vibrant new quarter that is commensurate with the importance of Northumberland Terrace.
- 7.12 The proposals are described in more detail in Section 10 onwards.

8 STATEMENT OF SIGNIFICANCE

This statement assesses the significance of the Northumberland Terrace group, Nos. 790 to 814 and the courtyard, in accordance with the English Heritage policy documents, *Conservation Principles, Policies & Guidance* and *Guidance for the Sustainable Management of the Historic Environment (2008)* and the more recent HE guidance in *Statement of Heritage Significance: Analysing Significance in Heritage Assets Historic England Advice Note 12 (2019)*.

This assessment for the group is to be read in conjunction with sections 10 to 17 below which set out the levels of significance for each of the individual buildings within the Terrace.

The Values of Significance described in Conservation Principles are as follows:

- Evidential Value
- Historical Value
- Aesthetic Value
- Communal Value

The properties demonstrate these values in the following ways:

8.1 Evidential Value:

“the potential of a place to yield evidence about past human activity”

- Nos. 790 to 814 are a rare continuous group of historic buildings in Tottenham.
- The group includes some of the most complete examples of mid-18th century Georgian houses in the High Road.
- The location and grouping provides evidence of the growth of Tottenham along Ermine Street and within the village centre during the 18th century.
- The architecture, design and detail provide evidence of the 18th century development of houses around London, built by wealthy City merchants.
- The later buildings provide evidence of the evolution of the buildings typical of the locality.

8.2 Historical Value:

“the ways in which past people, events and aspects of life can be connected through a place to the present”

- The group is part of the Georgian development of London outside the City.
- It demonstrates the development of Tottenham, evolving from countryside to an urban environment.
- It has historic associations with the Percy and Smithson families, who had significant roles in local and national government, trade, art and architecture, and the development of London.
- Percy House and Northumberland Row provides the link between the Percy family who developed the 18th century terrace, and Henry Percy, after whom the THFC was named.

8.3 Aesthetic Value

“the ways in which people draw sensory and intellectual stimulation from a place.”

- The Georgian and Victorian buildings form a positive and prominent visual landmark in the street scene and North Tottenham Conservation Area.
- The harmony, symmetry, balance and consistency of the Georgian terrace and the early Georgian pair of houses contribute highly to the character of the area.
- The symmetry, design and detailing of the Victorian buildings are of interest and complement the character of the area.

8.4 Communal Value

“associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence”.

- The Georgian and Victorian buildings of Tottenham provide an important and significant group at the core of the community.
- The terrace forms a prominent group and landmark in the street scene and North Tottenham Conservation Area, contributing positively to the sense of distinctiveness of this locality.
- The proximity and historic links with the Tottenham Football Club contribute to the identity of the locality.

8.5 Assessment of value for Northern Terrace

8.5.1 The extent of value is assessed using six criteria:

- The quality and extent of survival of historic fabric.
- The extent to which the fabric contributes to understanding of history of place and occupants.
- The originality of the design and the contribution of features to that design.
- Associations with history, people or events.
- Contribution towards landmark qualities and public appreciation.

8.5.2 The Terrace demonstrates these values in the following ways:

- There is a very good extent of survival of the original form, massing, scale, symmetry, details and materials, and the surviving fabric is of a high quality. At the rear, the extent of survival is significantly less.
- The fabric contributes significantly to the understanding of the C18 and C19 growth of the area; the architectural styles, details and materials characteristic of the period; and the social and commercial uses over time.
- The original design is readily discernible despite later changes, where key original features such as doors and doorcases, windows, cornices, steps, railings and mouldings contribute significantly to that design.

- The group has associations with the Percy family, the social events of the C19 and C20, local professionals and tradespeople, and connections with the THFC that provide added interest.
- The Terrace is a significant landmark within the locality and the Conservation Area, because of its historic and architectural appearance, scale, massing, continuity and key position in the High Road.

8.5.3 The level of value is assessed using five criteria: high, medium, low, neutral, and negative.

- High – the element is critical to understanding of significance.
- Medium – the element is important to understanding of significance.
- Low – the element makes some limited contribution to understanding of significance.
- Neutral – the element is not negative, and could be enhanced to make a positive impact of the understanding of significance.
- Negative – the element is harmful or intrusive and detracts from the understanding of significance.

8.5.4 The Terrace demonstrates these levels as follows:

- High - The form, massing, architectural design and original fabric of the terrace (described above) is critical to the understanding of significance.
- Medium – The C19 commercial buildings provide an important element in the understanding of the development of the terrace and locality. Original architectural elements which are in poor condition provide some understanding of character and design.
- Low – The replacement elements, such as windows, doors, entrance steps, mouldings, brickwork and joinery contribute towards the understanding, architectural rhythm and appearance of the terrace as a whole. Later changes, such as the early C20 replacement doorcase to Number 800, have some low level design interest in their own right.
- Neutral – C20 changes, including windows, doors, garden walls, and railings can be enhanced to improve the appearance and understanding of the group.
- Negative – C20 changes, especially on the rear of the terrace, such as extensions, fire escape, fire doors and poorly considered services detract from the appearance and architectural quality of the Terrace.

8.5.5 The individual buildings and elements are assessed in Chapter 9 – 12 and setting in Chapter 13 below.

9 IMPACT ASSESSMENT METHODOLOGY:

The following sections analyse the significance of each building within the application site in turn, as well as the extent and impact of the detailed proposals; and are to be read in conjunction with the Areas of Significance Plans, and the proposals drawings.

9.1 Heritage Significance

The level of significance is assessed using five criteria: high, medium, low, neutral, and negative.

- **High** – the element/fabric is critical to understanding of significance. The complete areas of original fabric and design are assessed as being of High significance.
- **Medium** – the element is important to understanding of significance. The areas of later Nineteenth century changes and incomplete original fabric are assessed as being of Medium significance.
- **Low** – the element/fabric makes a limited contribution to understanding of significance. Extensively damaged 19th century fabric and areas of modern fabric reinstated in a complementary historic style are generally assessed as being of Low significance.
- **Neutral** – the element/fabric is neither negative/intrusive, nor does it positively reveal or enhance significance. Less sympathetic modern additions, replacements and changes are generally assessed as being of Neutral significance.
- **Negative** – the element/fabric is harmful or intrusive and detracts from the significance of the building.

9.2 Effect

The effect is assessed as positive (beneficial), negative (harm) or negligible, using four levels: high, medium, low, and negligible.

- **High** – Substantial change. If harmful, such as substantial or full loss of fabric or setting, the effect is equivalent to NPPF 195.
It does not apply to this application, where the significance of the heritage assets and their fabric and settings are not lost.
- **Medium** – Significant less than substantial change would affect how the heritage asset is perceived or understood. If harmful, it is equivalent to NPPF 196.
- **Low** – Some change to its fabric or setting that would provide a detectable difference to its understanding or context. If harmful, it would equate to a low level of less than substantial harm under NPPF 196.
- **Negligible** – changes that do not affect significance. In NPPF terms there is neutral i.e. zero harm.

9.3 Impact

The impact is assessed as positive (beneficial), preserve (no harm) or adverse (harmful). Where harmful, the level is categorised as substantial harm, total loss or less than substantial harm, in accordance with NPPF 193-196.

- **Beneficial** – changes that enhance or better reveal the significance of the heritage asset.

- **Preserve** – changes that cause no harm to the significance of the heritage asset.
- **Adverse** – changes that harm the significance of the heritage asset.

9.4 Summary of Heritage Significance:

- The 18th century Front Ranges have High significance and the C19 Front Ranges have Medium significance.
- The interiors have High - Low significance, based on the limited extent of survival of the historic fabric and architectural features. No work is proposed as part of this application.
- The rear extensions have Medium - Negative significance. Two small bay windows and a small C19 rear extension are of Medium significance. The other rear extensions are more modern or substantially rebuilt and have Low – Negative significance. They provide limited evidence of the C20 industrial economic basis of the area, but obscure the rear elevations of the historic buildings.
- The setting has Low - Negative significance. The proximity of the unfriendly High Road, the loss of historic boundaries, and the replacement of gardens with car parks in particular have a negative impact.

9.5 Summary of Condition:

9.5.1 The condition of the fabric contributes towards its significance.

9.5.2 A summary of condition, and further specific comment on individual elements of fabric, has been included below, and within the following tables of analysis, in response to requests made by the conservation officer during the pre-application process. These are consistent with the level of information provided in the previous applications for works to the Terrace.

- The Front Ranges of occupied buildings are in variable condition. 796 has recently been restored by the Applicant. The last unoccupied building is 810, which is weathertight but not capable of occupation without significant investment. Planning and Listed Building permission has recently been obtained for its reuse by the Applicant. Most buildings have been repointed and re-roofed unsympathetically, and poor quality repairs have been carried out.
- The Rear Ranges of restored buildings (790, 796 and 808) are in good condition. The other rear elements have been poorly repaired and patched for many years and are in Fair condition.
- External structures and surfaces are in Fair condition. Garden walls have generally been replaced and the historic walls that remain are in poor condition, due to structural and weather damage. The rear fences date from the construction of Lillywhite House and are in good condition. Temporary fences within the properties are of poor quality and condition. The frontages, other than the restored buildings, are poor quality and in poor condition.

10 NO.798 HIGH ROAD (JATKO HOUSE)



Figure 35: 798 High Road (Jatko House) – 1948 RCHM and 2016

10.1 Summary

- 10.1.1 No. 798 was built at the same time as No. 794, providing symmetrical bookends either side of No. 796 (Percy House). The 1880 photograph shows the properties with matching aedicules and the 1939 photos shows that the properties had matching railings and gate posts, enforcing the symmetry each side of Percy House. All plots along the terrace were of equal width (5 bays).
- 10.1.2 Joints and fragmentary pennystuck brickwork indicate that the outer flank walls of Nos. 794 and 798 were originally exposed, and therefore this was a separate architectural block of 3 properties, with a narrow portion of land on each side.
- 10.1.3 Map evidence shows the flank extensions predated 1818, and the brickwork and style of the remaining flank extension at No. 794 indicates similarity with the bricks and construction of the main block. As the Terrace was in the same ownership until mid-19th century, these extensions may be contemporary with the 1750s alterations of Percy House.
- 10.1.4 Unlike No. 794, the flank extension to No. 798 was 2 storeys and had a butterfly roof that was largely concealed by a parapet. This is shown most clearly on the RCHM 1949 photograph, reproduced above left. This photo also shows that the railings had been removed, probably as part of the wartime effort.
- 10.1.5 In c.1960, the adjacent properties at Nos. 800-802 High Road were renovated and a portion of the plot to No. 798 was sold off. The two storey extension was demolished and replaced with an infill at first and second floor, spanning over a vehicular access. The boundary of No. 798 was moved to align with this.

10.1.6 Outlines within the plasterwork indicate that the rooms within the flank extension were originally accessed from No. 798. The infill building is now accessed from No. 800.



Figure 36: No.798 High Road in 1950 (left) and 1980 (right) showing change of ownership boundary, boundary treatments and the demolition of the two storey extension to make way for vehicular access route.

10.2 Heritage Significance Plans for No. 798

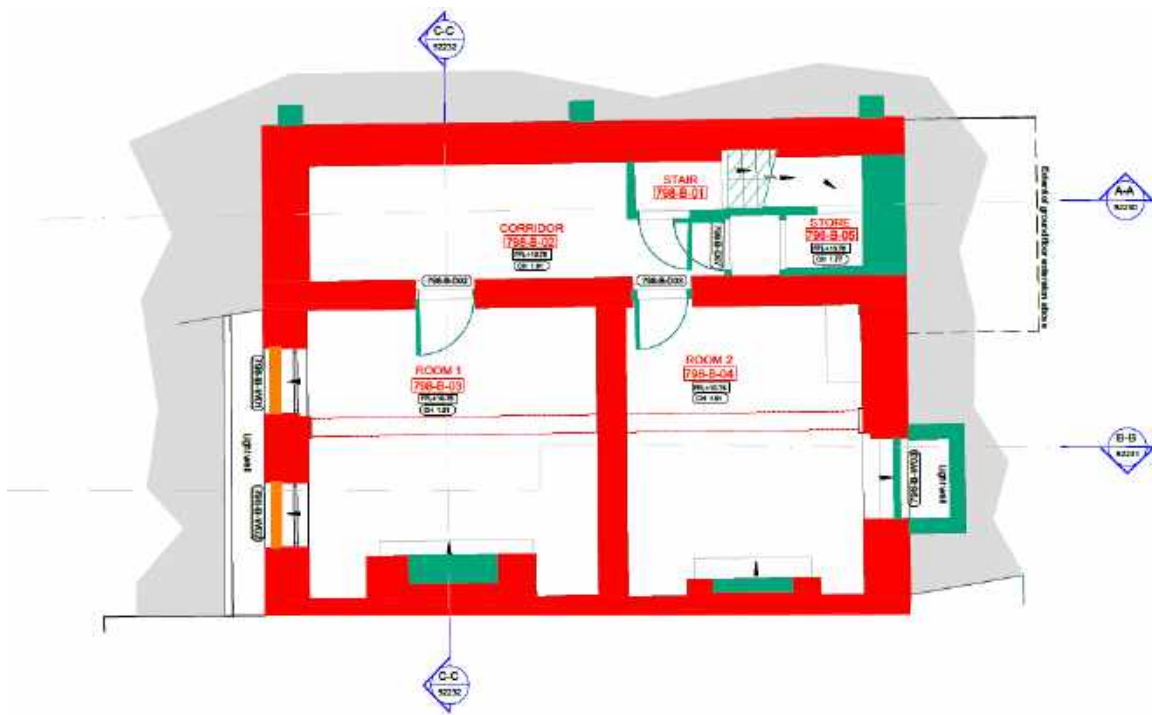


Figure 37: Basement Floor Plan - Heritage Significance



Figure 38: Ground Floor Plan - Heritage Significance

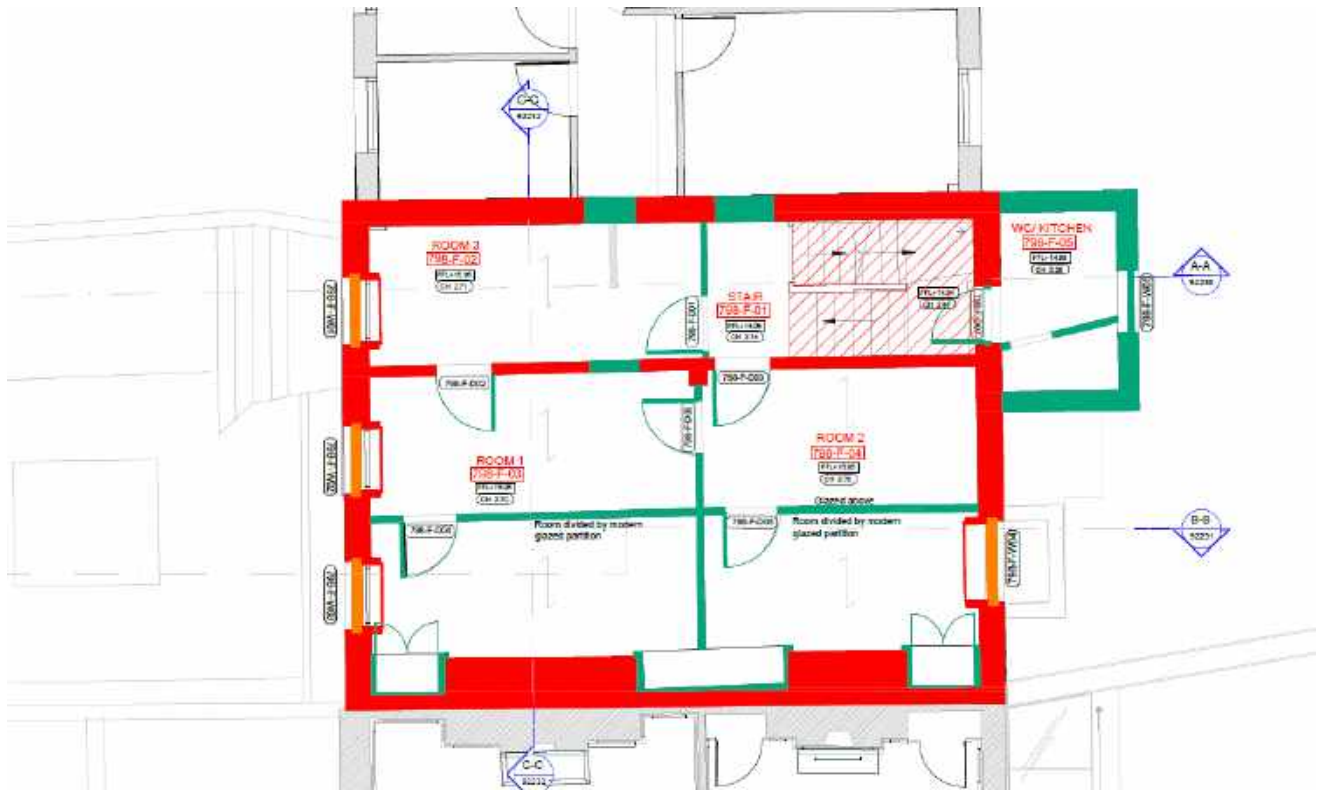


Figure 39: First Floor Plan - Heritage Significance

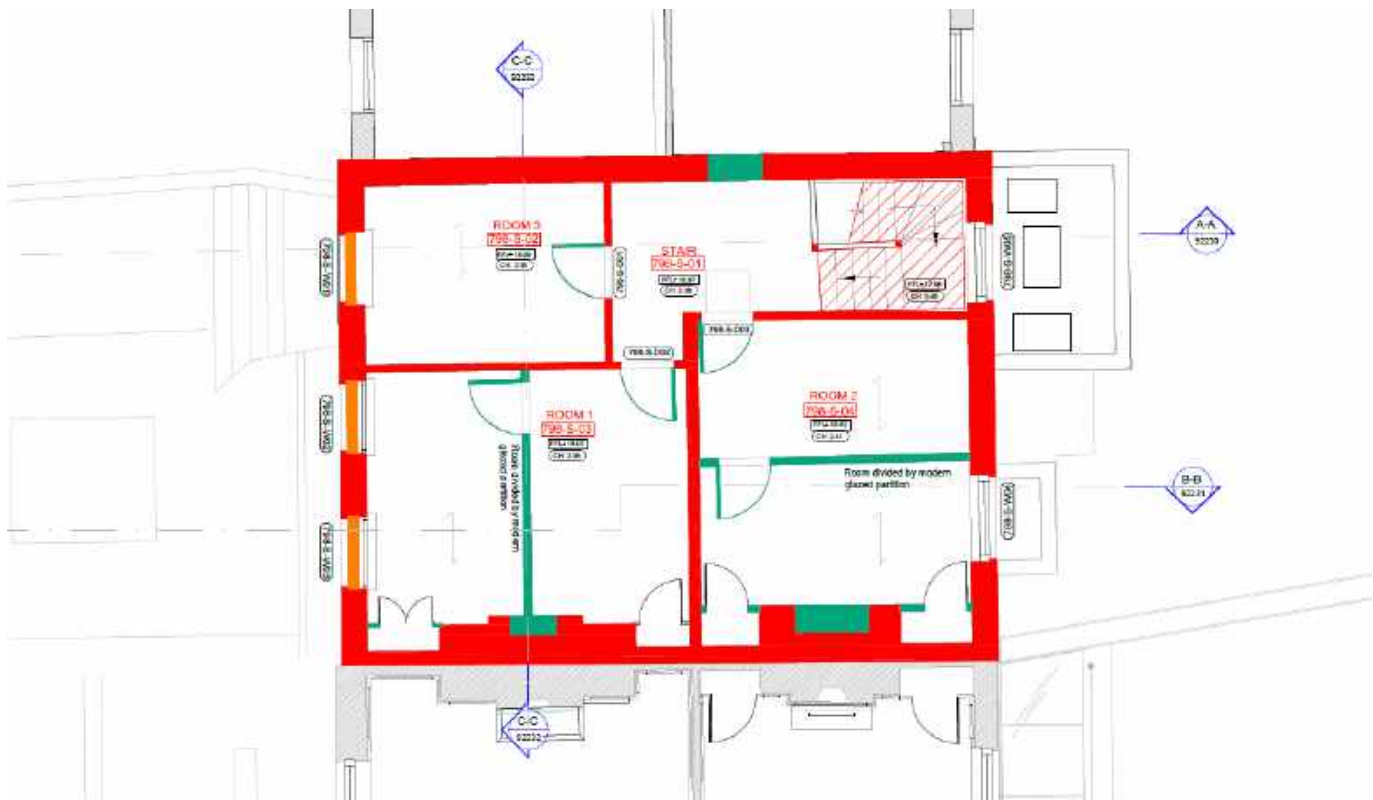


Figure 40: Second Floor Plan - Heritage Significance

10.3 The significance of No. 798:

10.3.1 Archaeological interest

- The listed building does not derive its significance from archaeological interest.

10.3.2 Architectural and artistic interest

- The house is part of the 18th century Northumberland Row, where it plays an important role on the High Road, and it has group value with the buildings to the north/south.
- Its exterior and proportions provide evidence of a high quality Georgian house.
- The exterior retains a good Georgian plan form, proportions and details of interest including an aediculed door, sash windows and good moulded brick detailing.
- The interior retains an identifiable original structure and room layout, despite later subdivision.
- Examples of original 18th century details remain, including panelling, window boxes and surrounds, and fragmentary skirtings.

10.3.3 Historic Interest

- The building is part of the historic Percy estate in Tottenham, which was developed by Hugh Smithson, the first Duke of Northumberland.
- The layout/plan form of the building, 18th century elements and evidence of evolution are of historic interest.
- There is reused 16th century moulded panelling in First Floor Room 3, which may be from the Black House and this is a significant feature.
- Subject to further investigation of 20th century casings and blocking up, we assume there may be an original 18th century staircase, structural elements, and survivals within fireplaces.

10.4 Current and proposed use

10.4.1 The current use of the building is that of an office in multiple occupancy. It was originally constructed as a house, which evolved into the home and office of a Quantity Surveyor by the 1911 Census, and then into an office.

10.4.2 The property is to be used as a creative work space, for example, as the office for an artist management company, supporting the potential music studio development at No. 800 High Road.

10.4.3 This relatively low-intensity use is compatible with the significance of the building, as the cellular layout, and relatively small rooms, are compatible with such a small to medium sized business. There would be no need for particularly large or open plan spaces, and the character of the house appeals to the creative industries, therefore any potential harm resulting from a less suited use can be avoided.

10.4.4 In discussions with potential tenants, the restored interiors, and exteriors, of the heritage projects completed by the client, are seen as places which would greatly encourage creative work. Consequently this building use is largely dependent on its rehabilitation and so the use and development form a positive synergy which could secure the long term future of the property and its ongoing care and protection.

10.4.5 The proposed use of the building would be an improvement on the current multiple occupancy office use.

10.5 Schedule of Significance, Effect and Impact for No. 798

10.5.1 External Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
FRONTAGE    				
Front Boundary wall	Negative – c.1960 – lower level than original, which was same height as No.794-796 and reduced width, so plot no longer visually equal to the rest of the terrace.	Poor – failed mortar, loose bricks, cracks, some discolouration from moisture, algae and vegetation	Replace modern wall with new wall to match original height of early photographs (to match Nos. 794-796)	Low Beneficial
Railings and gates to front boundary wall	Neutral – installed since 1984	Good	Replace modern railings and gate with a design to match historic photographs and original boundary wall height	Low Beneficial
Steps to front boundary wall	Neutral – c.1960	Fair	Replace modern steps with new stone, to match historic photographs of boundary treatments	Low Beneficial

Landscaping to front forecourt	Negative – c.1960 concrete pavers Low – soft landscaping	Fair – weeds and algae staining. Good – soft landscaping well maintained	Replace modern concrete with stone pavers and refresh soft landscaping.	Low Beneficial
Steps to front door	Neutral – c.1960 concrete	Fair – some algae staining	Replace concrete steps with stone, to match original design	Low Beneficial
Lightwell	Low – modern cementitious render to walls.	Poor – vegetation, green stains from damp	Remove modern cementitious render and investigate condition of brickwork behind. Carry out like-for-like conservation brick repairs as required and re-render in lime.	Low Beneficial
Front Door and fan light	Low – Front door modern but design as 1880 photograph Negative – c.1960 single pane wired glass to fan light (original was 2 pane)	Good	Replace modern fan light with mid C18 style and replace modern square door stops to match historic beaded stop. Retain door and redecorate.	Low Beneficial
Door surround/ pilasters	High – as per 1880 photograph, assume original	Fair – generally good, but plinths require repair and southern face of southern pillar in poor condition	Repair with like-for-like scarf timber, where rotted or damaged. Replace lead to pediment roof in Code 5 lead with lead flashings	Preserve
Brickwork to front (west) facade	High – mid C18	Fair – a few patches of poor cementitious previous repairs	Reinstate missing/ defective brickwork and previous poor repairs. Repoint elevation in lime mortar (as No.796 Percy House)	Beneficial
Brick flat arches to windows on front (west) façade	High – mid C18	Fair	Remove paint from basement window head and assess condition. Carry out conservation like-for-like repairs generally. Piece in missing brick where practical and carry out	Low Beneficial

			localised pinning, lime mortar infill and weathering as necessary. Finish with tuck pointing (to match No.796 Percy House)	
Windows to front façade	Medium – c.1900	Good	Remove inset fan and re-glaze. Carry out minimal like-for-like timber scarf repairs to bottom rails, stiles, box frames and cills, where rotted.	Low Beneficial
Brick cornice to front (west) facade	High – mid C18	Poor	Carry out conservation like-for-like repair. Replace defective lead flashing and piece in missing brick where practical and carry out localised pinning, brick dust resin repairs, lime mortar infill and weathering as necessary and finish with tuck pointing (to match No.796 Percy House)	Beneficial
Brick detailed band to front (west) facade	High – mid C18	Good	Minor like-for-like repairs where required, following removal of redundant cabling. Tuck pointing to finish.	Low Beneficial
Coping to front (west) facade	Negative – modern concrete	Poor. Open joints.	Replace concrete copings with stone, to match No.796 Percy House	Low Beneficial
Dual pitched roof	Medium – roof structure rebuilt C20, with machine made clay tiles	Good - tiled finish. Poor - valleys (asphalt)	Take up asphalt, repair timber substrate, install lead valleys, to match No.796 Percy House. Allow to install Air conditioning units between the roof pitches, so they are hidden compared to their current positions on flat roofs. The supports, bases and units are to be removable and located so to allow for ease of maintenance.	Low Beneficial

			Allow for the construction of a dormer to match the dormer at Percy House, in order to improve access to the roof. This will only affect modern roof structure. Allow for the construction of a dormer to match the	
Chimneys	Medium – rebuilt	Good.	Allow to use for ventilation.	Preserve
Rear parapet copings	Negative – modern concrete	Poor	Replace concrete copings with stone, to match No.796 Percy House	Low Beneficial
Brickwork to rear elevation (east)	High – mid C18 Neutral – 2 storey C20 extension Negative – yellow brickwork to parapet from previous repair does not match original brickwork below – negative impact on rear façade	Good	Allow to make good like-for-like where brickwork damaged and to tint in previous repair to match colour and texture of original brickwork.	Low Beneficial
Windows to rear elevation (east)	Medium – c1900 main building Neutral – C20 extension and GF enlarged upvc window	Fair	Allow to carry out minimal like-for-like repairs where defective. Allow to alter enlarged GF opening for access.	Preserve
Rainwater goods	Negative – Plastic or c.1960 cast iron, when modified to suit vehicular access route	Good	Allow to replace defective and upvc rainwater goods with cast iron to match Percy House.	Low Beneficial
Landscaping to rear	Negative – no features of original garden remain. Temporary hard landscaping.	Good		See setting assessment.
Air conditioning units, TV	Negative – late C20/ early C21	Good	Remove all unsympathetic, redundant fixtures and	Low Beneficial

aerial, flues and other modern fixtures			make good fabric with like-for-like conservation repairs.	
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Toilet Extension				
Toilet extension	Negative (C20) 	Fair	Replace extension Upgrading the facilities to avoid intrusion into the historic building, with high quality new structure.	Low Beneficial

10.5.2 Alterations to the existing extension and description of the proposed intervention:

- 10.5.2.1 The existing two storey, modern, toilet extension, with its numerous elements of exposed rooftop plant, is proposed for replacement with a rationalised, single storey volume to better reveal the rear elevation and improve the appearance of the building. The new extension accommodates an accessible entrance and WC, and level access from the small extension to the host property is achieved by lowering the adjacent window cill to form a door – the window itself is a modern replacement and has lost its surround and shutters/shutter boxes (refer to the following tabular analysis, Ground Floor, Room 2).
- 10.5.2.2 The intervention would result in some minor change to the existing fabric, and understanding of it, but would constitute less than substantial harm and allows the facilities to be sited outside of the existing footprint, where integrating them would result in a greater loss of original fabric by virtue of the size of space required. The existing WC access from the hall is closed-up but in an easily reversible fashion, and the proposed plan shows this historic door location would remain legible by way of the infill being slightly recessed. The existing WC door is modern.
- 10.5.2.3 Externally, the extension is simple in form, single storey and set in from its host volume as a subservient mass. Closed brick flanks and a short run of wall accommodate the accessible WC while a significant proportion of the proposed extension elevation is glazed allowing the existing rear façade to be seen through it. The flank wall to the south runs parallel to that of Percy House, matching the historic boundary line.
- 10.5.2.4 The glazing marks the new rear entrance to the property and presents a lightweight, minimal, architecture that does not compete with or detract from the heritage asset. It also links the building with the landscape and the proposed terrace then mediates between the ground floor level and street level to allow for step free access. The terrace is planted to further break down the scale of the extension against the existing rear elevations.

10.5.2.5 The proposed extension is designed as a small pavilion in the landscape, as a simple brick and glass volume. The horizontal line of the roof is manifest to emphasise the minimal height of the extension and lead the eye down the terrace to better reveal the elevation above and respond to the ribbon like quality of the linear building opposite. As with the linear building, brickwork is the primary construction material – a double header courses mark the roof profile and panels of bricks angled at 45 degrees in offset courses provide texture and break up the scale of the solid walls. The solidity of the brickwork contrasts with the lightness of the glazing.

10.5.2.6 In conclusion, the proposed replacement extension to the listed building at No. 798 would be beneficial in terms of better revealing and enhancing the character and significance of the heritage asset.

10.5.2.7 Further analysis of the intervention and its impact on setting can be found in section 15.2.



Figure 41: No.798 Existing and Proposed Rear Elevations

10.5.3 Internal Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
BASEMENT				
Basement Room 1 (Front)				
				
Walls	Medium (altered, modern plaster, modern brick pier below beam end)	Fair – Good	Redecorate like-for-like. Investigate bearing of bridging beam. Allow to apply structural plate to conservation structural engineer detail, so brick pier can be removed. Allow to install timber framed partitioning as shown on plans, to be reversible.	Preserve/ Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to remove modern sheet finish –& install new carpet floor finish. Retain concrete as is, or renew as a breathable floor subject to	Preserve

			investigation and scheme agreed with LPA.	
Doors and linings	Negative – late C20 half glazed door & frame.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in extended openings	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Low / Medium Blocked (or unheated room).	Good	Investigate. If found to be blocked former fireplace, allow to repair like-for-like and re-open with simple painted timber surround in C18 style to match Percy House.	Low Beneficial
Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove shelves. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve

Basement Room 2 (Rear)



Walls	Medium (altered, modern plaster, brick piers)	Fair – Good	Redecorate like-for-like. Investigate bearing of bridging beam. Allow to apply structural plate to conservation structural engineer detail, so brick pier can be removed. Allow to install timber framed partitioning and WC Plant Rooms as shown on plans.	Preserve
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to remove modern sheet finish & install new carpet floor finish. Retain concrete as is, or renew as a breathable floor subject to investigation and scheme agreed with LPA.	Preserve
Doors and linings	Neutral – late C20	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial

Windows	Medium – c1900 ovolo sashes in extended openings	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Neutral - Blocked (or unheated room).	Good	Investigate. If found to be blocked former fireplace, allow to repair like-for-like and re-open with simple painted timber surround TBC.	Low Beneficial
Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove shelves. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve

Basement Room 3 (Front Lobby)



Walls	Medium (altered, modern plaster, brick piers)	Fair – Good	Redecorate like-for-like. Investigate junction of piers with bridging beam. Allow to plate end to conservation structural engineer detail, so piers can be removed.	Low Beneficial
Ceiling	Low. Painted board finish / Modern beam	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to remove modern sheet finish & install new carpet floor finish. Retain concrete as is, or renew as a breathable floor subject to investigation and scheme agreed with LPA.	Preserve
Doors and linings	Neutral – late C20	Good	Allow to replace with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial

Windows	No window		N/A	N/A
Fireplace	No fireplace		N/A	N/A
Cupboards (shelves)	Neutral – late C20	Fair	Remove C20 fixtures and repair adjoining surfaces like-for-like.	Low Beneficial
Basement Stair 				
Walls	Medium flank wall (altered) Neutral rear wall (concrete block)	Good	Allow to plaster blockwork, provide timber cupboard & replace modern pipework.	Preserve
Ceiling	Low. Painted board finish	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	(As part of adjacent ceiling) Preserve
Floor	Neutral – late C20 concrete	Good	Allow to remove modern sheet finish & install new carpet floor finish. Retain concrete as is, or renew as a breathable floor subject to investigation and scheme agreed with LPA.	Preserve
Stair	Neutral – late C20	Good	Allow to retain, refurbish, redecorate, carpet and replace nosing strip	Preserve

GROUND FLOOR

Ground Floor Hall and Stair



Walls	Medium (altered, woodchip) Negative Inserted C20 fire partitions	Fair – Good	Retain and redecorate like-for-like. Allow to remove C20 FR partitions and upgrade FR using intumescent finishes like Percy House.	Preserve Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve
Stair	Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Negative – late C20 fire doors Architrave to front room door late C20 on early C20 panel.	Good	Allow to replace with two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	Low Beneficial
Windows	None			
Fireplace	None			
Cupboards	None			

Ground Floor Room 1 (Front)



Walls	Medium (altered, C20 plasterboard)	Fair – Good	Retain and redecorate like-for-like.	Preserve
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve
Doors and linings	Neutral – late C20 Flush doors and sliding door	Fair	Allow to replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes. Shutters / boxes removed and apron and architraves poorly adjusted.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing. Allow to reinstate window boxes and vertical shutters to match No. 794.	Low Beneficial Beneficial
Fireplace	Neutral - Blocked	Fair	Allow to repair like-for-like and re-open with painted timber surround (allow to match Percy House).	Low Beneficial
Cupboards	Neutral - C20 shelving	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

Ground Floor Room 2 (Rear).



Walls	Medium (altered, C20 plasterboard) C20 skirtings.	Fair – Good	Retain and redecorate like-for-like. Renew skirtings to match C18 elsewhere.	Low Beneficial
Ceiling	Medium. Painted board finish / original structure. C20 coving.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like, replace cornice to match C18 similar to Percy House and redecorate.	Low Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve
Doors and linings	Neutral – late C20 Flush doors and sliding door	Fair	Allow to replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Window	Low – Upvc sash. Shutter box and surround removed and apron set back into opening.	Fair	Allow to replace with two panel door, linings and architrave to match historic template of Percy doors. Take out C20 apron and outer brick face below window and convert opening to doorway for access.	Low Adverse
Fireplace	Neutral - Blocked	Fair	Allow to repair like-for-like and re-open with painted timber surround (allow to match Percy House).	Low Beneficial
Cupboards	Neutral – late C20	Good	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

FIRST FLOOR

First Floor Stairs



Walls	Medium (altered, modern & historic plaster)	Good	Allow to remove C20 fire partitions. Redecorate like-for-like. Allow intumescent FR finish if required.	Low Beneficial
Ceiling	Medium. Painted board and plaster finish / original structure	Fair – some staining from roof leak.	Allow to investigate, remove modern board. Once leak resolved, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume Mid C18 below modern finishes)	Good	Remove modern sheet finish. Allow minimal like-for-like timber repairs & refurbishment, and installation of carpet runner like Percy House.	Preserve
Stair	Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Negative – late C20 fire doors	Good	Allow to replace with two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	Low Beneficial

First Floor Room 1 (Front) Currently subdivided with C20 partition



Walls	Medium (subdivided, modern plaster board finishes) Fragments of C18 skirtings.	Good	Remove modern partition to reopen original C18 volume. Retain and redecorate original walls like-for- like. Allow to install timber framed partition as shown on plan to be reversible. Allow to reinstate C18 skirting where missing.	Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for- like timber repairs & refurbishment. Allow to install FR insulation	Preserve

			between joists as Percy House.	
Doors and linings	Neutral – late C20	Good	Allow to replace with two-panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in C18 surrounds. Partial panelled window boxes.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Reinstall missing painted timber panelled window apron to match adjacent. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Low / Medium Blocked.	Good	Investigate. Allow to reopen blocked former fireplace, repair like-for-like and reinstall simple painted timber surround TBC.	Low Beneficial
Cupboards (shelves)	Negative – late C20, blockboard	Fair	Remove C20 cupboards & make good finishes like for like. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve

First Floor Room 2 (Rear) Currently subdivided with C20 partition



Walls	Medium (subdivided, modern plaster board finishes, central wall modern infilled former wide opening). Fragments of original plain skirtings.	Good	Remove modern partition to reopen original C18 volume. Retain and redecorate original walls like-for-like. Allow to reopen previous door openings and install C18 style doors, linings and architraves. Allow to reinstate C18 skirting where missing.	Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve

Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment. Allow to install FR insulation between joists as Percy House.	Preserve
Doors and linings	Negative – late C20 multipane glazed & hollow core doors.	Good	Allow to replace with two-panel doors, linings and architrave to match Percy House doors.	Low Beneficial
Window	Medium – c1900 ovolo sash in C18 surround. Partial panelled window box.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Allow to reinstate missing painted timber panelled window apron. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Low / Medium Blocked.	Good	Investigate. Allow to reopen blocked former fireplace, repair like-for-like and reinstate simple painted timber surround in C18 style to match Percy House.	Low Beneficial
Cupboards (shelves)	Negative – late C20, blockboard	Fair	Remove C20 cupboard & make good finishes like for like. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve

First Floor Room 3 (Front)



Walls	Medium (subdivided, from stair, modern	Good	Allow to remove modern partition to reopen original C18 volume.	Beneficial
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	plaster board finishes)		Retain and redecorate original walls like-for-like.	
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment. Allow to install FR insulation between joists as Percy House.	Preserve
Doors and linings	Negative – late C20	Good	Allow to replace with two-panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in C18 surrounds. Partial panelled window box.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Allow to reinstate missing painted timber panelled window apron. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	None		N/A.	N/A.
Cupboards (shelves)	Negative – late C20, blockboard	Fair	Remove C20 cupboards & make good finishes like for like. Install 1 new painted timber panel riser within cupboard, installed to avoid joists. cupboard. Relocate & upgrade services	Preserve

SECOND FLOOR

Second Floor Stairs



Walls	Medium (altered, modern & historic plaster). Modern FR enclosure. Outline of blocked doorway	Fair – Stained from roof leak	Repair and redecorate plaster-like-for-like once roof valley has been repaired. Allow to reopen opening and insert C18 style 2-panel door and architrave.	Low Beneficial
Ceiling	Medium. Painted board and plaster finish / original structure. Roof access. Modern roof structure above.	Fair – Stained from roof leak	Repair plaster-like-for-like once roof valley has been repaired. Allow to investigate, remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume Mid C18 below modern finishes)	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment.	Preserve
Stair	Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Negative – late C20 fire doors and wired glass fanlight.	Good	Allow to remove doors with enclosures. Replace modern door into rooms with two panel doors, linings and architraves to	Low Beneficial

			match historic template of Percy doors, with intumescent finishes.	
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Second Floor Room 1 (Front)



Walls	Medium (subdivided, from stair, modern plaster board finishes)	Good	Allow to remove modern partition to reopen original C18 volume. Retain and redecorate original walls like-for-like.	Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment. Allow to install FR insulation between joists as Percy House.	Preserve
Doors and linings	Negative – late C20	Good	Allow to replace with two-panel doors to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in C18 surrounds. Partial panelled window box.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Allow to reinstate missing painted timber panelled window apron. Replace C20 secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial

Fireplace	Low / Medium Blocked.	Good	Investigate. Allow to reopen blocked former fireplace, repair like-for-like & reinstate simple painted timber surround in C18 style.	Low Beneficial
Cupboards	Negative – late C20, louvered and hollow core doors.	Good	Remove C20 cupboards & make good finishes like for like. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Low Beneficial
Second Floor Room 2 (Rear)				
Walls	Medium (subdivided, from stair, modern plaster board finishes)	Good	Allow to remove modern partition to reopen original C18 volume. Retain and redecorate original walls like-for-like.	Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment. Allow to install FR insulation between joists as Percy House.	Preserve
Doors and linings	Negative – late C20	Good	Allow to replace with two-panel doors, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in C18 surrounds. Partial panelled window box.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Allow to reinstate missing painted timber panelled window apron. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Low / Medium Blocked.	Good	Investigate. Allow to reopen blocked former fireplace, repair like-for-like and reinstate simple painted timber surround in C18 style to match Percy House.	Low Beneficial
Cupboards	Negative – late C20, louvered and	Good	Remove C20 cupboards & make good finishes like for like. Install 1 new painted	Preserve

	hollow core doors.		timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	
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Second Floor Room 3 (Front)



Walls	Medium (modern plaster board finishes, partial skirting) High – reused C16 panelling on front wall.	Good	Retain and redecorate original walls and panelling like-for-like. Enhance. Allow to reinstate missing skirting. Allow to analyse paint from panelling and decorate in accordance with paint specialist advice.	Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	High – (assume subject to opening up modern finish).	Good	Remove modern finish. Allow minimal like-for-like timber repairs & refurbishment. Allow to install FR insulation between joists as Percy House.	Preserve

Doors and linings	Negative – late C20	Good	Allow to replace with two-panel doors, linings and architrave to match historic template of Percy doors.	Low Beneficial
Window	Medium – c1900 ovolo sash in C18 surrounds. Partial panelled window box.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Allow to reinstate missing painted timber panelled window apron. Install secondary glazing - allow to match Percy House.	Preserve

10.5.4 **Conclusions of Impact for No. 798**

- 10.5.4.1 The tables confirm the proposed interventions would result in the preservation of the significance of the building, with there are numerous low beneficial / beneficial changes. Only one element of low adverse change has been identified, namely the lowering of a window opening to form a door.
- 10.5.4.2 The latter comprises converting an already altered window opening of low significance to form a door from the original building into the proposed extension. It provides an accessible entrance to the ground floor without altering the main staircase. Alteration of the staircase would be a more intensive alteration and would affect a highly significant element of the building.
- 10.5.4.3 The proposed replacement extension provides an enhancement to the building. It enables the intrusive modern two storey extension, flues and air conditioning units to be removed from the rear of the building, to reinstate the 18th century proportions and openings of the first floor of the rear elevation. The change would enhance the building and the terrace as a whole.
- 10.5.4.4 The extension allows more intensive uses to be located outside the original plan area, which is of high significance. It enables modern partitioning and subdivision of original spaces to be removed, and original volumes of the primary 18th century rooms to be reinstated.
- 10.5.4.5 The elements of preservation include:
- Carrying out minimal like-for-like repair to the portico, windows, doors, brick facades, entrance steps and arch, roof and chimneys; retaining sound historic fabric, replacing inappropriate materials (such as cement with lime), and reducing the impact of previous repairs.
- 10.5.4.6 The elements of benefit include:
- Replacing an unsympathetic extension and services. Providing a significantly smaller extension following the light-touch high quality ethos approved previously at Percy House and justified in the table above. Providing less intrusive solutions for services and FR requirements, using tried and tested conservation methods previously approved at Percy House and Warmington House. Relocating necessary services, so that they are less obtrusive, located within secondary rather than primary spaces, and are carried out more sympathetically.
 - Replacing modern defective roof finishes including concrete copings and asphalt roof valleys, and reinstating with stone copings and lead valleys. Enhancing roof access for maintenance, by matching the valley dormer at Percy House, located within modern roof structure.
 - Reinstating C18 architectural external elements of the building, by replacing modern inappropriate windows and doors with C18 style elements using patterns from the existing building and terrace, and reinstating missing elements of architectural mouldings and weatherings to provide greater longevity and improved appearance.
 - Reinstating C18 architectural internal elements of the building, by unblocking fireplaces and removing modern partitions/interventions, and reinstating C18 style window

shutters, windows, doors, panelling, fireplaces, stair balustrading, joinery mouldings, flooring and ironmongery.

- Reinstating C18 iron railings and stone steps where missing and replaced in concrete, and replacing inappropriate concrete paving with a more sympathetic landscaping scheme, following precedents approved at Percy House and the southern end of the terrace.
- Providing a single use for the building instead of multiple occupancies. It is compatible with its existing office use, and ensures that future management and maintenance is simplified and co-ordinated.

10.5.4.7 Overall, the proposed changes to number 798 are overwhelmingly beneficial/enhancements, and these by far outweigh the one instance of low level harm. This provides a net low/moderate beneficial impact.

11 NOS. 800 (GIBSON HOUSE) & 802 HIGH ROAD



Figure 42: Nos. 802 (left) and 800/ Gibson House (right) - 2017

11.1 Summary

- 11.1.1 Riddleys/ the Black House was originally on the site of No.802 and the curved boundary line remains visible throughout historic maps until the mid-20th century. The property was demolished in 1743.
- 11.1.2 Nos. 800-802 High Road were originally constructed as a pair by Hugh Smithson (Percy) at a similar time. The symmetry of the pair is reflected in the 3-bay arrangement with doors either side (albeit now of different design), as well as the roof and the eaves mouldings. It is recorded that timbers from the Black House were reused during the construction No.800-802. The plots were originally equal to the rest of the terrace (5 bays).
- 11.1.3 No. 800 has been extended to the south with an additional 2 bays, though these are distinguishable as having been added. This may have been during the 1750s, when Hugh Percy is recorded as extending and refurbishing the terrace. Opening up works would be required internally, to confirm.
- 11.1.4 No.800 also has a substantial masonry door surround with entablature which differs from the pedimented design of the other properties constructed by Hugh Percy in 1740-1750, and in its extended form it rivals Percy House in scale. The 1844 Tithe Map records the new owner of the Northumberland Terrace was Charles Ansell, who bought the terrace from the Percy Family and was the occupant of No. 800. The three storey extension to the rear of the property was constructed in between the 1844 and 1864 maps, during the ownership of

Charles Ansell and it is possible that the grand surround was installed around this time also, to provide No. 800 with more prominence and stature.

- 11.1.5 The 1864 and 1973 maps also show No.800 to have the largest plots of the whole terrace, with an extensive garden, which included a fountain. The maps also show the plot of No. 802 was originally the same width as the rest of the plots on the terrace. The property was 3-bay, with a side access, leading to outbuildings at the rear. Part of this land was sold off shortly after the 1873 map and the 1896 map shows the Victorian properties constructed to the north (Nos.804-806).
- 11.1.6 In c.1960, a portion of No. 798 was purchased and No. 800 was extended, again to the south, with a two storey, raised extension above a vehicular access route. The 1961 Aerial photo shows the access road formed and the garden to the rear of the property cleared, ready for construction. A number of small industrial units were then constructed in the land to the rear of 800, called 'Gibson Business Centre'. These units have since been demolished for the construction of Lillywhite House in c.2010.
- 11.1.7 The building's internal layout is very complex, and convoluted, reflecting a series of different occupancies with areas of 'flying freehold'. The two properties are linked and the internal dividing walls no longer follow the external bays. For this reason, this assessment deals with the two properties together.



Figure 43: 1980 photograph prior to installation of the current railings.

11.2 Heritage Significance Plans for Nos. 800 and 802

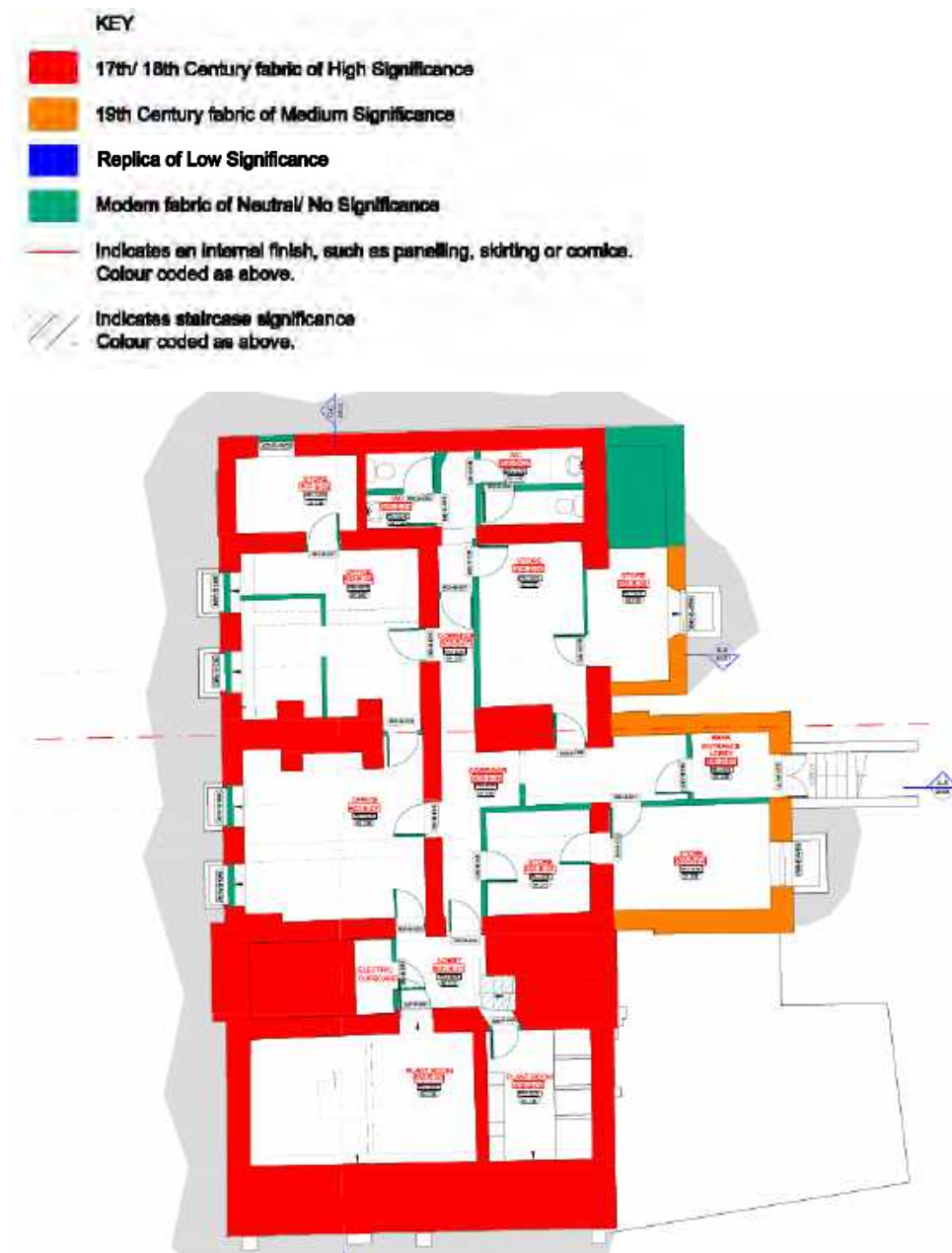


Figure 44: Basement Plan - Heritage Significance



Figure 45: Ground Floor Plan - Heritage Significance



Figure 46: First Floor Plan - Heritage Significance

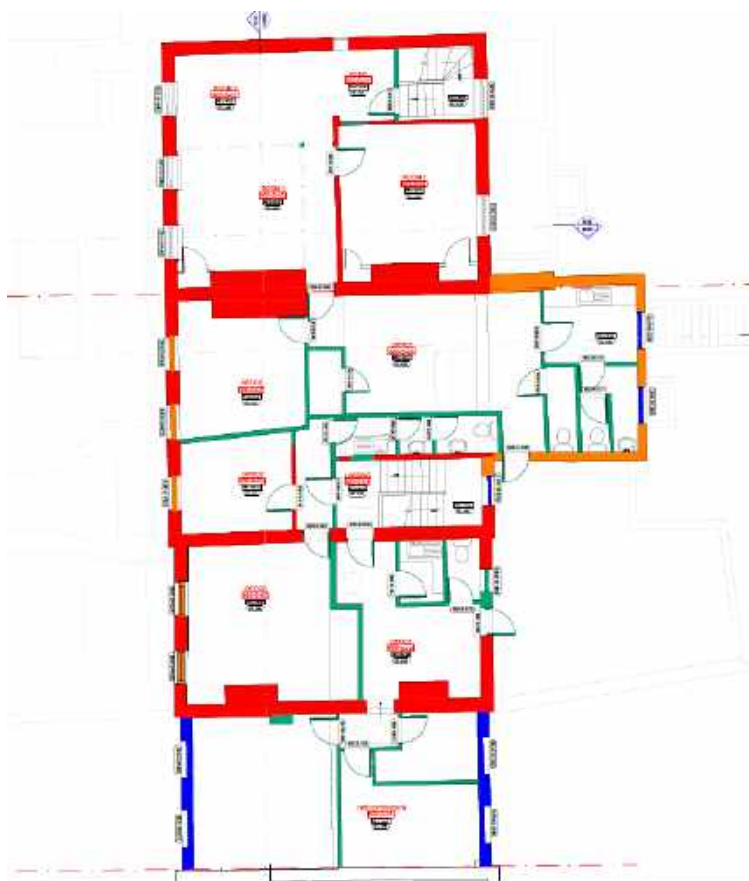


Figure 47: Second Floor Plan - Heritage Significance

11.3 The significance of Nos. 800 and 802:

11.3.1 Archaeological interest

- The listed building does not derive its significance from archaeological interest.

11.3.2 Architectural and artistic interest

- Nos. 800 and 802 form part of the 18th century Northumberland Terrace, where it plays an important role, and it has group value with the buildings to the north/south.
- The exteriors and proportions provide evidence of a high quality Georgian house, albeit with successive alterations, including two phases of south extensions.
- The exteriors retain good Georgian proportions and details of interest including doorcases, sash windows and good moulded brick detailing.
- The interiors retain identifiable original plan form in places, despite later removal and subdivision in other places.
- Examples of original 18th century details remain, including panelling, window boxes and surrounds, chimneypieces, cupboards and fragmentary skirtings.

11.3.3 Historic Interest

- The buildings are part of the historic Percy estate in Tottenham, and were developed by Hugh Smithson, the first Duke of Northumberland.

- The layouts of the buildings, 18th century elements and evolution of the buildings are of historic, social and community interest.
- Subject to further investigation of 20th century casings and blocking up, we assume there may be an original 18th century staircase, structural elements, and survivals within fireplaces.

11.4 Current and proposed use

11.4.1 Both buildings are offices in multiple occupancy. They were built as houses but by the late C19 and early C20 censuses had become houses incorporating medical practices, which then evolved into medical practices.

11.4.2 No. 800:

The property is designed as the home for a music record label. Building on a well rehearsed model, the intention is that this will serve as a new base for some of the label's activity, with a particular focus on providing a platform for talent to meet, create and record, as they begin their careers within the professional music industry.

11.4.3 The potential tenant is also committed to the facility serving as a means of change within the industry in providing educational opportunities for people seeking to develop in music outside of recording talent (e.g. marketing, management etc), as well as using it as a centre for the development and promotion of female talent.

11.4.4 In the same way that the use seems appropriate at No. 798, the studio at 800 also fits with the scale and layout of the existing building - where larger and more open plan spaces are required, these are accommodated within new rooms as extensions so as not to cause harm to the historic fabric. The relatively small and cellular rooms in 800 are well suited to the needs of the user with a series of writing rooms, intimate meeting rooms and offices being required.

11.4.5 The domestic nature of the property helps to engender a sense of calm which will allow local, grass roots, musicians to approach and work at the studio without being intimidated by a large media brand headquarters – this is, again, reinforced by the proposed restoration project which would re-instate familiar interiors.

11.4.6 The 'record label home' use is a very good fit for the asset, both in terms of the physical space and the character of the architecture, and would secure the long term future of this important Grade II listed building in the heart of the North Tottenham Conservation Area.

11.4.7 No. 802:

This property is similar in type and layout to No. 798 and the intention is that the use would be identical, again, allowing the long term future of the asset to be secured.

11.4.8 Please refer to section 10.4 above for further details.

11.5 Schedule of Significance, Effect and Impact for Nos. 800 and 802

11.5.1 External Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
Front Boundary wall	Neutral – c.1970	Fair	Replace modern wall with new wall to match original height of early photographs (to match nos.794-796).	Low Beneficial
Railings and gates to front boundary wall	Neutral – metalwork and posts installed between 1980-2008	Good	Replace modern railings and gate with a design to match historic photographs and original boundary wall height.	Low Beneficial
Steps to front boundary wall	Neutral – late C20	Good	Replace modern steps with new stone, to match historic photographs of boundary treatments.	Low Beneficial
Large platform of concrete to north end of front forecourt	Negative	Fair	Remove concrete.	Low Beneficial
Landscaping to front forecourt	Negative – c.1970 concrete flagstones generally Low – Stone pathway to No.802	Fair – vegetation/ overgrown Poor – stone pathway cracked	Replace modern concrete and cracked stone path with new stone pavers and refresh soft landscaping. Reinstate boundary wall between No.800 and 802.	Low Beneficial
Steps to front doors	Neutral – late C20 concrete.	Fair – cracked	Replace concrete steps with stone, to match original design.	Low Beneficial
Railings to No.802 Front door	Neutral – late C20 (1950-70s photo shows simple hand rail on posts)		Replace with more sympathetic C18 design.	Low Beneficial
Lightwell				
Front Door and fan light	Medium – No. 800 is c. 1920 and No. 802 is a C20 replica. No. 800 shows initials 'W.G' – likely Gibson	Good	Ease and redecorate.	Preserve

Door surround/ pilasters	Medium – C19 No. 800 High – C18 No. 802 with new top to pediment	Good – No.800 Poor/ Fair – repairs required to No.802	Repair with like-for-like scarf timber, where rotted or damaged. Install new lead flashing to top.	Preserve
Brickwork to front (west) façade	High – C18 Low – C20	Fair – generally good but areas of repairs required	Rake out loose pointing, reinstate missing/ defective brickwork. Remove unsympathetic wall vents and repair brick and pointing like-for-like. Replace in decorative cast iron with insect mesh behind.	Low Beneficial
Brick flat arches to windows on front (west) façade	High – C18 Low – C20	Good – Generally– Fair - Basement	Carry out conservation like-for-like repairs generally. Piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary. Finish with tuck pointing (to match No.796 Percy House).	Low Beneficial
Windows to front façade	Medium – C19 window frames No.800 High – C18 window frames No.802. Low – modern windows to basement No.802 Negative – modern obscured glass installed to all ground and basement windows.	Fair – rotten cills	Remove unsympathetic obscured glazing and re-glaze. Carry out minimal like-for-like timber scarf repairs to bottom rails, stiles, box frames and cills, where rotted.	Low Beneficial
Brick cornice to front (façadefacade	High – C18 (to original pair only).	Fair - (original 3 bays of 800 and 802 only)	Carry out conservation like-for-like repair. Replace defective lead flashing and piece in missing brick where	Low– Beneficial

			practical and carry out localised pinning, brick dust resin repairs, lime mortar infill and weathering as necessary and finish with tuck pointing (to match No.796 Percy House).	
Brick detailed bands to (west) facade	High – C18	Fair – some minor repairs required		
Parapet brickwork	High – C18 Low – C20 extension	Poor	Deformed brickwork. Provide access to inspect. Allow to replace rotted wall plate and rebuild brickwork like-for-like.	Low Beneficial
Copinfaçaderont (west) facade	Negative – C20 concrete	Poor	Replace C20 concrete with new stone coping, to match No.796 Percy House.	Low Beneficial
Chimneys	Medium – rebuilt, concrete capping	Poor. –Loose bricks.	Carry out conservation like-for-like repair and replace concrete cappings with stone. Allow to use for ventilation.	Preserve
Dual pitched roof	Medium – roof structure rebuilt C20, with machine made clay tiles	Good tiled finish. Poor valleys (asphalt)	Take up asphalt, repair timber substrate, install lead valleys, to match No.796 Percy House. Allow to install Air conditioning units between the roof pitches, so they are hidden compared to their current positions on flat roofs. The supports, bases and units are to be removable and located so to allow for ease of maintenance. Allow for the repair of the existing tin-clad dormer to match the dormer at Percy House, in order to	Low Beneficial

			improve access to the roof.	
Copings shared with archway	Medium – concrete and stone copings	Poor.	Repair stone, replace C20 concrete with new stone coping, to match No.796 Percy House.	Low Beneficial
Rear parapet copings	Negative – C20 concrete	Poor	Replace C20 concrete with new stone coping, to match No.796 Percy House.	Low Beneficial
Extensions to rear	Medium – three storey mid C19 Negative – single storey C20	Fair	See separate table below	See separate table below
Brickwork to rear elevation (east)	High – mid C18 Medium – mid C19 Negative – C20 and brickwork surrounding modern fire escape and previous repairs do not match original brickwork below – negative impact on rear façade	Fair	Allow for specialist conservation consultant to tint C20 bricks to better match the C18 tone and colour.	Low Beneficial
Fire escape	Negative – late C20	Fair		
Windows to rear elevation (east)	Low – Windows to No.800 c.1920 High – C18 windows to No.802 (see schedule below). Medium – C19 windows to No.802 Neutral – C20 windows within extension.	Fair	Original window proportions and positions to be reinstated to No.800, following demolition of C19 extension. Carry out minimal like-for-like timber scarf repairs to bottom rails, stiles, box frames and cills, where rotted.	Low Beneficial
Window grilles	Negative – late – 20	Fair	Remove	Low Beneficial
Rainwater goods				
Landscaping to rear	Negative – late C20			
Modern fixtures	Negative – late C20		Remove	Low beneficial

19th century Three Storey Extension (No. 800)				
Three Storey Extension	Negative (C19/C20)	Fair	Upgrading the facilities to avoid intrusion into the historic building, high quality new extension with less obscuration to restored rear elevation.	Replace extension Beneficial
C20 One Storey and Basement Extension (No. 802)				
GF and Basement	Negative (C20)	Fair	Upgrading the facilities to avoid intrusion into the historic building, high quality new extension.	Replace extension Low Beneficial

11.5.2 Alterations to the existing extension and description of the proposed intervention:

- 11.5.2.1 Please also refer to the Design and Access Statement which forms part of this submission for further details regarding the nature of proposed interventions.
- 11.5.2.2 The approach to the design of the interventions at the rear of No. 800 and 802 follows the same methodology employed at No. 798. The existing modern extensions to No. 800 are part single storey and part three storey. They obscure the existing rear elevation and impair the understanding of the pair of historic houses, as the extensions are not clearly defined as later additions. The intention is to remove these elements, along with further modern detractors, such as the external fire escape, and reinstate the original elevation at the upper storeys.
- 11.5.2.3 At ground floor, a new extension is proposed to accommodate universally accessible entrances, a music recording studio at No.800, and accessible WCs. The existing basement is extended at No. 800 to reflect the proposed ground floor plan accommodating another music recording studio. The contemporary intervention shares the same architectural language as the addition to No. 798, simple, subservient and distinct from the host building.
- 11.5.2.4 At No. 800, the new mass is also articulated to respond the original development of the terrace with the small set back between No. 800, and the existing infill section to the south, being expressed where the solid part of the extension meets the glazed entrance. The proposal also acts as a new front door, mediating the level difference between the High Road and historic ground floor level of the terrace properties and tying the architecture to the proposed landscaping.
- 11.5.2.5 At the junction between the historic rear elevation and the proposed extension, new links are made through modern fabric wherever possible. At basement level, in the north east and south east rooms, it is necessary to remove small sections of the rear wall, similarly in the ground floor south east room, to accommodate the facilities

required by the proposed use. In all instances the effect has been assessed as 'low' and would not constitute harm to the asset.

11.5.2.6 In conclusion, the proposed replacement extensions to the listed buildings at No. 800 and 802 would be beneficial in terms of better revealing and enhancing the character and significance of the heritage asset and, in particular at No.800, facilitating a viable new use.

11.5.2.7 Further analysis of the intervention and its impact on setting can be found in section 15.2.



Figure 48: No.800-802 Existing and Proposed Elevations

11.5.3 Internal Works Nos. 800 and 802

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
BASEMENT				
Basement Room Office 1 (Front 800). 				
Walls	Medium (altered, modern plaster)	Fair – Good	Allow to investigate and lower floor structure below concrete, extending wall and lining all as consented at Percy House. Allow to infill openings as shown on plans, to be timber framed & reversible. Redecorate like-for-like.	Preserve
Ceiling	Low / Medium. Painted board finish. C20 ceiling boxing.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Doors and linings	Negative – late C20 doors and frames.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in extended openings. Obscured glass.	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace obscure glazing with clear and install secondary glazing detailed to match Percy House.	Low Beneficial
Fireplace	Low / Medium C20 plastered reveals. C20 shelves.	Good	Remove modern shelves, retain opening, repair like-for-like. Allow to install slate hearth and painted timber C18 type surround/mantleshelf.	Low Beneficial

Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove modern fixtures. Install work surfaces and cupboards, to be reversible. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve
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Basement Room Stair Lobby and Electrical Cupboard (Centre 800).



Walls	Medium (altered, modern plaster) Neutral – late C20 meter cupboard	Fair – Good	Investigate extent of basement beyond C20 cupboards. Allow to retain C18 structure, remove C20 structure, lower, repair and finish like-for-like and fit out as storage. Infill 1 doorway using timber studwork (removable). Redecorate like-for-like.	Low Beneficial
Ceiling	Low. Painted board finish. C20 ceiling boxings.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Stair	Neutral – late C20	Good	Allow to retain, extend in timber to allow for lower floor level, refurbish, redecorate, carpet on permeable underlay and install nosing strip	Low Beneficial
Doors and linings	Negative – late C20 flush doors and frames.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial

Basement Room Plant Room 1 (Front 800).

No access, other than door visible from Stair Lobby. Assume existing space is C20 similar to the accessible Basement rooms, subject to investigation.

If any historic elements are found, a scheme is to be agreed in writing with the LPA Conservation officer and recorded.

Walls	Assume Medium (altered, modern plaster)	Assume Fair – Good	Allow to investigate rear and centre wall structure. Allow to form openings minimum necessary to access space. Lower floor structure below C20 concrete, extending wall and lining all as consented at Percy House. Allow to form doorway infill openings as shown on plans, to be timber framed & reversible. Decorate like-for-like.	Preserve Assume Low Adverse Preserve
Ceiling	Assume Low / Medium. Painted board finish. C20 ceiling boxings.	Assume Fair – Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Assume Fair – Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Door and linings	Negative – late C20 door and frame.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial

Basement Room Plant Room 2 (Rear 800).

No access apart from evidence of C20 door and concrete floor. Assume existing space is C20 similar to the accessible Basement rooms, subject to investigation.

If any historic elements are found, a scheme is to be agreed in writing with the LPA Conservation officer and recorded.

Walls	Assume Medium Assume altered, modern plaster	Assume Fair – Good	Allow to investigate and lower floor structure below concrete, extending wall and lining all as consented at Percy House. Allow alteration to rear wall to form 2 openings as shown on plans to provide an accessible basement connecting the existing to the extension. Decorate like-for-like.	Preserve Assume Low Adverse
Ceiling	Assume Low / Medium. Assume Painted board finish. C20 ceiling boxings.	Assume Fair – Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – C20 concrete	Assume Fair – Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Door and linings	Neutral – C20 door and frame.	Good	Allow to replace modern door & simple surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial

Basement Room Store 1 (800 Rear) Incorporating Circulation and Lobby.

Walls	Medium (altered, modern plaster) Neutral (C20 partitions)	Fair – Good	Allow to investigate and lower floor structure below concrete, extending wall and lining all as consented at Percy House. Allow to infill openings as shown on plans, to be timber framed & reversible.	Preserve
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			Investigate rear wall & allow to widen C20 opening. Infill openings in timber stud to be removable. Install timber stud partitions and WCs as shown on plans. Redecorate like-for-like.	
Ceiling	Low / Medium. Painted board finish. C20 ceiling boxings.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Doors and linings	Negative – late C20 door and frame.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial
Fireplace	Neutral - Blocked (or unheated room).	N/A		None.
Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove modern fixtures. Install WC area and partitions.	Preserve
Basement Room Store 3 (802 Rear)				
Walls	Medium (altered, modern plaster) Neutral (C20 partitions)	Fair – Good	Allow to infill openings as shown on plans, to be timber framed & reversible. Decorate like-for-like. Redecorate like-for-like. Remove modern partitions as shown on plans and make good	Low Beneficial

			like-for-like. Infill openings in timber stud to be removable. Install timber stud partitions and WCs as shown on plans. Redecorate like-for-like.	
Ceiling	Low / Medium. Painted board finish. C20 ceiling boxings.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Assumed Neutral – late C20 concrete	Good	Allow to investigate floor structure below modern finishes, repair like-for-like once partitions are removed.	Preserve
Doors and linings	Negative – late C20 doors and frames.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial
Fireplace	Neutral - Blocked (or unheated room).	Good		None.
Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove modern fixtures. Install WC area and partitions.	Preserve

Basement Room WCs Store 5 (Below 800 Entrance and Stairs).				
Walls	Medium (altered, modern plaster) Investigate partition between Store 5 and WCs (Assumed historic to be retained). Neutral - C20 partitions.	Fair – Good	Investigate ceiling, as it is likely this position below upper stairs was the reflected position of the former basement stair. Allow to provide / reinstate staircase. Remove modern partitions as shown on plans and make good like-for-like. Decorate like-for-like.	Beneficial Low Beneficial
Ceiling	Low / Medium. Painted board finish. C20 ceiling boxings.	Good	Investigate as above. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to investigate floor structure below modern finishes, repair like-for-like once partitions are removed.	Preserve
Doors and linings	Negative – late C20 doors and frames.	Good	Remove modern doors and surrounds. Allow to provide two panel door, lining and architrave where shown on plan to match historic template of Percy doors.	Low Beneficial
Window	Access not possible. Assume Medium – c1900	Assume Fair	Allow like-for-like scarf repairs.	Preserve
Cupboards (shelves)	Assume C20 Neutral / Negative.	Assume Fair	Remove modern fixtures. Install cupboards and plant.	Preserve

Basement Room Office 2 (Front 802)



Walls	Medium (altered, modern plaster) Neutral (C20 partitions)	Fair – Good	Allow to investigate and lower floor structure below concrete, extending wall and lining all as consented at Percy House. Allow to infill openings as shown on plans, to be timber framed & reversible. Decorate like-for-like.	Preserve
Ceiling	Low / Medium. Painted board finish. C20 ceiling boxings.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Neutral – late C20 concrete	Good	Allow to investigate floor structure below concrete and lower as consented at Percy House.	Preserve
Doors and linings	Negative – late C20 doors and frames.	Good	Allow to replace modern door & surround with two panel door, lining and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Medium – c1900 ovolo sashes in extended openings	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing to less obtrusive detail allow to match Percy House.	Low Beneficial
Fireplace	Low / Medium C20 plastered reveals. C20 shelves.	Good	Remove modern shelves, retain opening, repair like-for-like. Allow to install slate hearth and painted timber C18 type surround/mantlepiece.	Low Beneficial
Cupboards (shelves)	Negative. – late C20 Varying, poor quality.	Good	Remove modern fixtures. Install 1 new painted timber panel riser cupboard. Relocate & upgrade services within cupboard, installed to avoid joists.	Preserve

GROUND FLOOR

Ground Floor Hall and Stair – No. 800



Walls	Medium (C20 plasterboard with moulding). Offset from wall so potentially has panelling behind. Negative – Lobby Fire partition C20	Good	Allow to investigate, reinstate and repair panelling and skirting. Install C18 style cornice. Allow to remove C20 Fire partition and provide FR upgrade using envirograf or similar intumescent finishes where required. Infill C20 rear door. Redecorate like-for-like.	Beneficial
Ceiling	Medium. Painted board finish. Assume C18 structure above.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Assume High (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs, or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Stair	Medium – (C20 handrail, finishes and boarding). Bottom tread appears damaged but older.	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Medium – Front Door early C20 with stained glass	Good	Retain and ease front door. Allow for early C20 design ironmongery. Allow to replace late C20 doors with	Low Beneficial

	fanlight (see above). Negative – late C20 fire doors.		two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	
Cupboards	None	N/A	Allow to provide panelled furniture to each side of door, with accessible panel for access to proposed svp/durgo.	Preserve

Ground Floor Room 1 (Front) Offices 1 and 2 – No. 800.



Walls	Medium (altered, C20 plasterboard) C20 partitions	Fair – Good	Retain and redecorate like-for-like. Install C18 style cornice & skirtings.	Low Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Medium. Assume part historic timber structure below modern finish. Neutral – C20 steps and balustrade.	Good	Investigate area of raised floor. Assume cannot be lowered, and allow to remove C20 balustrade and raise lower section of floor on timber studs to level. Allow to repair and refurbish boards or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Doors and linings	Neutral – late C20 Flush doors. Fixed with metal bars.	Fair	Remove metal security bars, replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial

Windows	Medium – c1900 ovolo sashes. Shutters / boxes removed & added C20 security bars	Fair	Allow like-for-like scarf repairs. Low Beneficial – Remove security bar and reglaze with clear glass.	Preserve
Fireplace	None	N/A	Allow to install fireplace with painted timber surround to match detail at Percy House.	Low Beneficial
Cupboards	Neutral - C20 shelving	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

Ground Floor Office 3 and WC Kitchen spaces – No. 800.



Walls	Medium (altered, C20 plasterboard) C20 partitions	Fair – Good Investigate rear wall support as wall above is cracked.	Allow to investigate and re-support C20 beam subject to conservation Structural Engineer detail. Remove C20 partitions and fixtures. Allow to alter half-blocked windows to a single opening with lintol over as shown on plan. Install C18 style cornice and skirting. Redecorate like-for-like.	Low Beneficial Low adverse Low Beneficial
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Ceiling	Medium. Painted board finish / original structure. Arched soffit in Kitchen and Basin Lobby indicates potential for former hearth and fireplace above.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate. Allow to retain arched soffit.	Preserve
Floor	Medium. Assume part historic timber structure below modern finish.	Good	Allow to Investigate area of raised floor. Assume cannot be lowered, and allow to remove C20 balustrade and raise lower section of floor on timber studs to level. Allow carpet on permeable underlay on timber or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Doors and linings	Neutral – late C20 Flush doors. Fixed with metal bars.	Fair	Remove metal security bars, replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	Low – Windows have been infilled in C20 due to rear extension. Small toplights remain.	Fair	Take out modern lights, widen opening for access to proposed extension.	Preserve
Fireplace	None	N/A	Allow to install fireplace with painted timber surround to match detail at Percy House.	Beneficial
Cupboards	Neutral - C20 shelving and kitchen units.	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve
Ground Floor Room 1 (Rear) Offices 8-12 – No. 800.				
Walls	Medium (altered, C20 plasterboard) C20 partitions Negative – Original rear wall	Fair – Good Investigate rear wall support over wide opening.	Investigate modern structure over wide opening, remove C20 partitions and reinstate central partition as shown on plan using timber studs following line of ceiling beam. (Reinstates volume of room).	Beneficial

	removed as part of extension.		Reduce width of C20 opening in rear wall, using brickwork to match. Install C18 style cornice. Redecorate like-for-like.	
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Medium. Assume part historic timber structure below modern finish. (Investigate)	Good	Investigate, remove modern finish, allow to refurbish boards & carry out minimal like for like repairs. Likely to be in poor condition due to changes so assume carpet finish on permeable underlay, or other finish to be agreed with Conservation Officer.	Preserve
Doors and linings	Neutral – late C20 Doors.	Fair	Remove redundant C20 doors and frames. Replace C20 door from Lobby with two panel C18 style door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	None	N/A		N/A
Fireplace	None	N/A	Allow to install fireplace with painted timber surround to match detail at Percy House.	Low Beneficial
Cupboards	Neutral - C20 shelving	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve
Ground Floor Room 1 (Front) Offices 6 and 10 – No. 800.				
Walls	Medium (altered, C20 plasterboard) C20 partitions	Fair – Good	Remove C20 partitions and reinstate central partition as shown on plan using timber studs following line of ceiling beam. (Reinstates volume of room). Reduce width of C20 opening in rear wall, using brickwork to match. Install C18 style cornice. Redecorate like-for-like.	Beneficial
Ceiling	Medium. Painted board finish / original structure	Good	Investigate in unobtrusive position. Allow to remove	Preserve

			modern board, repair plaster like-for-like and redecorate.	
Floor	Medium. Assume part historic timber structure below modern finish. Ne	Good	Remove modern finish, allow to refurbish boards & carry out minimal like for like repairs. Likely to be in poor condition due to changes so assume carpet finish on permeable underlay, or other finish to be agreed with Conservation Officer.	Preserve
Doors and linings	Neutral – late C20 Doors.	Fair	Remove redundant C20 doors and frames. Replace C20 door from Lobby with two panel C18 style door, linings and architrave to match historic template of Percy doors.	Beneficial
Windows	Medium – c1900 ovolo sashes. Obscure glass. Shutters / boxes removed and C20 fans and security bars added.	Fair	Remove extract fan and re-glaze to match adjacent panes. Remove security bar and reglaze with clear glass. Allow like-for-like scarf repairs. Install slim secondary glazing to match Percy House.	Low Beneficial
Fireplace	None	N/A	Allow to install fireplace with painted timber surround to match detail at Percy House.	Low Beneficial
Cupboards	Neutral - C20 shelving	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

Ground Floor Hall and Stair – No. 802



Walls	Medium (altered, applied C20 mouldings) Negative Inserted C20 fire partition	Fair – Good	Investigate in unobtrusive position. Allow to provide panelled finish to match C18 First Floor panelling. Beneficial – Allow to remove C20 FR partition and upgrade FR using intumescent finishes like Percy House.	Beneficial
Ceiling	Negative. Suspended tiled finish. Assume C18 structure above.	Fair	Remove suspended finish and allow to make good plaster finishes like-for-like. Install C18 style cornice. Redecorate like-for-like.	Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs, or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Stair	Low/Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required. Allow to expose timber steps with central runner to match Percy House, or other finish to be agreed with Conservation Officer.	Low Beneficial
Doors and linings	Negative – late C20 fire doors.	Good	Allow to replace with two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	Low Beneficial

Ground Floor Room Office 14 (Front) 802



Walls	Medium (altered, C20 plasterboard). 1 panel of early C20 dado panelling.	Fair – Good	Remove trunking, repair plaster like-for-like and redecorate.	Low Beneficial
Ceiling	Negative. Suspended tiled finish. Assume C18 structure above.	Fair	Investigate and allow to remove suspended tile system and reinstate historic plaster finish. Install C18 style cornice. Redecorate like-for-like.	Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs, or other finish as agreed with Conservation Officer subject to condition and investigation.	Preserve
Doors and linings	Neutral – late C20 Flush door	Fair	Allow to replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	High – C18 ovolo sashes. Shutters / boxes removed and apron and architraves poorly adjusted.	Fair	Allow like-for-like scarf repairs. Remove grilles. Install slim secondary glazing to match Percy House approval.	Low Beneficial

	Negative - C20 metal security grilles.			
Fireplace	Neutral - Blocked	Fair	Allow to repair like-for-like and re-open with painted timber surround (allow to match Percy House).	Low Beneficial
Cupboards	Neutral - C20 shelving and kitchen units	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

Ground Floor Room Office 15 (Centre) 802



Walls	Medium (altered, including removal of most of rear wall. This C20 part-panelled room includes pieces of C18 dado and raised and fielded dado panelling on S wall. Negative – C20 fixtures, skirting, trunking, chipboard shelves, radiator across former fireplace.	Fair – Good. Investigate beam over wide opening as SF floor is deformed above.	Remove C20 fixtures, services, trunking and shelves. Retain C18 and C20 raised and fielded dado panelling and replace C20 skirting and dado moulding to match C18 adjacent. Infill C20 opening as shown on drawing, with dado panelling, dado and skirting to match C18. Remove woodchip wallpaper, repair plaster like-for-like and redecorate to match adjacent Office 14. Allow to investigate C20 beam over wide opening and carry out remedial works if necessary to conservation Structural Engineer's advice. Allow temporary works to infill existing opening in former rear wall whilst	Beneficial
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			extension is being replaced (reversible) and make good surfaces like-for-like on completion.	
Ceiling	Negative. Suspended tiled finish. Assume C18 structure above.	Fair	Investigate and allow to remove suspended tile system and reinstate historic plaster finish. Install C18 style cornice. Redecorate like-for-like.	Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, allow to refurbish boards & carry out minimal like for like repairs. Likely to be in poor condition due to changes so assume carpet finish on permeable underlay, or other finish to be agreed with Conservation Officer.	Preserve
Doors and linings	Neutral – late C20 doors	Fair	Allow to replace with two panel door, linings and architrave to match historic template of Percy doors.	Low Beneficial
Windows	None	N/A	N/A	N/A
Fireplace	Neutral – Blocked Investigate, but lining appears C20.	Fair	Allow to repair like-for-like and re-open with painted timber surround (allow to match Percy House).	Low Beneficial
Cupboards	Neutral - C20 shelving and kitchen units	N/A	Remove and repair adjoining surfaces like-for-like. Allow to install painted timber panelled riser cupboard to detail.	Preserve

Ground Floor Room Office 16 (Rear) 802

Note: This room is within the C20 flat roofed extension. It contains some reused C18 joinery and therefore has a separate chart entry. It is likely that the original rear ground floor room of 802 was enlarged into the extension and the panelling and window reveal along the former rear wall was relocated onto the new rear wall as part of that work.

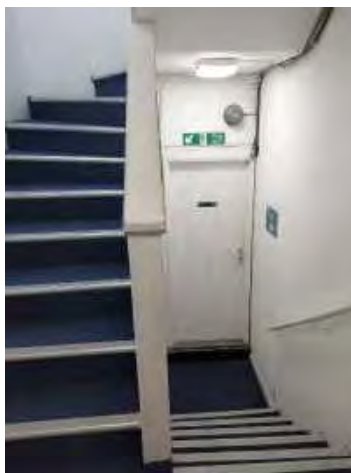
Prior to removal of the extension, the 18th century joinery is to be carefully removed and put in secure storage. It is to be reused in order to make good missing elements and provide templates in order to complete significant panelled rooms with the same raised and fielded details. Priority will be given to rooms in No. 800/802, but if there is no further need within this building, they are to be used to complete panelling elsewhere within the 18th century terrace.



Walls	Neutral/Low (no significance, but has a section of C18 dado on external wall and may have dado panelling reused below boxing)	Assume Good	Investigate and allow to carefully remove C18 fabric/joinery to reuse within the original C18 building.	Preserve
Ceiling	Negative. Allow potential for C18 cornice above C20 suspended tiles.	Assume Fair	Investigate and allow to carefully remove C18 fabric/cornice to reuse within the original C18 building.	Preserve
Floor	Neutral (C20 extension, no significance)	N/A	N/A	N/A
Doors and linings	Neutral – late C20 doors	Fair	N/A	N/A
Windows	Neutral (C20 window and security bars) Medium (C18 chamfered panelled reveals, potentially shutters reused)	Fair - Good	Investigate and allow to carefully remove C18 fabric, panelling, shutters and ironmongery to reuse within the original C18 building.	Preserve

FIRST FLOOR

First Floor Hall and Stair – No. 802



Walls	Medium (altered, applied C20 mouldings) Negative Inserted C20 fire partition	Fair – Good	Investigate in unobtrusive position. Allow to provide panelled finish to match C18 First Floor panelling. Allow to remove C20 FR partition and upgrade FR using intumescent finishes like Percy House	Beneficial Beneficial
Ceiling	Negative. Suspended tiled finish. Assume C18 structure above.	Fair	Investigate and allow to remove suspended tile system and reinstate historic plaster finish. Install C18 style cornice. Redecorate like-for-like.	Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs. Expose timber with central runner to match Percy House, or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Stair	Low/Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Negative – late C20 fire doors.	Good	Allow to replace with two panel doors, linings and	Low Beneficial

			architraves to match historic template of Percy doors, with intumescent finishes.	
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First Floor Office 13 (Front), to be Room 3 802-F-02, No. 802 incorporating Lobby 2.

No access. Evidence of 18th century door and 20th century door, visible from adjacent spaces. Assume the existing space is 20th century similar to the Landing it adjoins, and its plan reflects that of symmetrical No. 800, subject to investigation.

If any historic elements are found, allow to retain in-situ. Should amendments be required once the opening up has been carried out, these are to be agreed in writing with the LPA Conservation Officer.

Walls	Assume Medium Assume altered, modern plaster Neutral – C20 partition	Assume Fair – Good	Allow to remove C20 partition and make surfaces good like-for-like where removed. Decorate like-for-like.	Preserve
Ceiling	Assume Low / Medium. Assume Painted board / suspended tile finish. C20 ceiling boxings.	Assume Fair – Good	Remove suspended finish and allow to make good plaster finishes like-for-like.	Low Beneficial
Floor	Assume High	Good	Remove modern finishes, allow to refurbish boards & carry out minimal like for like repairs.	Preserve
Door and linings	High – C18 door from Office 11. Neutral – C20 doorway missing door.	Good	Allow to replace C20 surround with two panel door, lining and architrave to match adjacent C18 door/Percy House 2 panelled door.	Low Beneficial
Window	High – C18 ovolo sashes. Assume C18 shutters and shutter boxes.	Good/Fair –	Allow like-for-like scarf repairs. Replace modern secondary glazing. Allow to reinstate window boxes and vertical shutters to match No. 794.	Low Beneficial Beneficial

First Floor Room Office 11 (Front) to be Room 1 802-F-03, No. 802



Walls	High C18 fully panelled, including original skirting, dado and cornice. Negative C20 partition	Good	Remove inserted C20 partition to open room up to original volume, to better appreciate the historic fully panelled room. Carry out minimal like-for-like repairs if required. Allow to decorate in C18 panelling colours similar to Percy House, unless otherwise agreed.	Beneficial
Ceiling	High. C18 cornice and plaster on original structure	Good	Make good lime plaster like-for-like once C20 partition and strip lights are removed, to better appreciate the ceiling as a whole.	Low Beneficial
Floor	Assume High (investigate	Good	Remove modern finish, refurbish boards & carry	Preserve

	below C20 finish)		out minimal like for like repairs.	
Doors and linings	High – C18 two-panelled door and architrave (Office 13 inaccessible, probably fixed shut) Negative – C20 (Stair Lobby 2)	Good	Allow to retain C18 door, surround, hinges and any other C18 fixtures, ease and fit C18 style ironmongery where missing. C20 door (from Stair Lobby 2) allow to replace with 2-panel door, surround and ironmongery to match C18 door adjacent.	Preserve – (door from Office 13) Low Beneficial
Windows	High – C18 ovolo sashes. C18 panelled reveals. Negative – C20 inset fans. Shutter boxes and vertical shutters are missing.	Good/Fair – Some rot in cills and jambs	Remove extract fan and re-glaze to match adjacent panes. Allow like-for-like scarf repairs. Replace modern secondary glazing. Allow to reinstate window boxes and vertical shutters to match No. 794.	Low Beneficial Beneficial
Fireplace	Medium – Blocked, but retains C18 surround.	Fair	Investigate and allow to repair like-for-like and re-open with insert and slate hearth to match Percy House).	Low Beneficial
Cupboards	High - C18 2 panel door and surround. No access to interior.	Good	Investigate interior. Allow to use as riser cupboard. Allow to reinstate former cupboard in front of FR infilled C20 opening to match symmetry.	Preserve

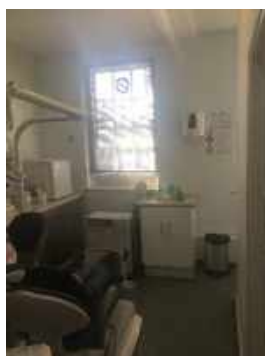
First Floor Room Office 12 (Rear) , to be Room 2 802-F-04, No. 802



Walls	High C18 fully panelled, but boxed out and without original skirting and dado. Panelling part boxed / missing in WC & lobby. Negative C20 partitions and WC	Good	Remove inserted C20 partitions to open room up to original volume, to better appreciate the historic fully panelled room. Extend C18 details like-for-like where disturbed by C20 alterations. Allow to reinstate missing joinery details incl dado and skirting to C18 detail.	Beneficial
Ceiling	High. C18 cornice and plaster on original structure	Good	Make good lime plaster like-for-like once C20 partitions are removed, to better appreciate the ceiling as a whole. Allow to reinstate cornice where missing to match C18 detail within the room.	Preserve/ Low Beneficial Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve
Doors and linings	Negative – C20 door and surround	Good	Allow to replace C20 door with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Window	High – C18 ovolo sash. C18 surround. Investigate survival of	Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs to windows, surrounds and shutters. Install minimal secondary	Low Beneficial

	vertical shutters.		glazing as consent at Percy House.	
Fireplace	Neutral – Blocked.	Fair	Investigate and allow to repair like-for-like and re-open with insert and slate hearth to match Percy House).	Low Beneficial
Cupboards	Medium - C18 surround. No doors. H hinges survive.	Fair	Reinstate 2 panel doors to match C18 adjacent. Allow to protect and repair H hinges. Allow to use as riser cupboard.	Preserve/ Low Beneficial

First Floor Room Office 10 (Front) to be Writing Room 2 800-F-07, No. 800



Walls	Medium C20 plaster on C18 frame. C20 joinery. No original panelling. Negative C20 partition	Good	Remove inserted C20 partition to open room up to original volume. Make good adjoining surfaces like-for-like. Allow to infill C20 opening in plastered studwork as FR partition between units.	Beneficial
Ceiling	Medium. C20 finishes on C18 structure.	Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate. Install C18 style cornice.	Low Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Likely that floor is damaged due to C20 partitioning. Allow to carpet on permeable underlay.	Preserve
Doors and linings	Negative – C20 doors and surrounds.	Good	Allow to replace with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Windows	Medium – C19 ovolo sashes. No original panelling. Negative – C20 inset fan.	Good/Fair – Some rot in cills and jambs	Remove extract fan and re-glaze to match adjacent panes. Allow like-for-like scarf repairs. Replace modern secondary glazing.	Low Beneficial
Fireplace	Neutral – Blocked.	Fair	Investigate and allow to repair like-for-like and re-open with painted timber surround, insert and slate	Low Beneficial

			hearth to match Percy House).	
Cupboards	Negative – C20	Good	Remove C20 cupboard. Allow to provide painted timber cupboard to detail for use as riser cupboard. Allow for detached fan coil unit within furniture so removable.	Preserve

First Floor Room Office 6 (Front), to be WC 800-F-02, No. 800

No access. Likely C20 in character as it is used as part of Office 4, which is C20 in character.

It is proposed to convert this space to provide the cloakroom facilities for this floor. It is a small ancillary space and the impact is likely to be significantly less than the alternatives. It enables the C18 primary rooms to be reinstated to their original volumes, and siting the cloakroom within the existing building enables the extension to a storey lower than the existing height, so the original rear elevation can be better appreciated.

If any historic elements are found, allow to retain in-situ. Should amendments be required once access is gained, these are to be agreed in writing with the LPA Conservation Officer.

Walls	Assume Medium C20 plaster on C18 frame. C20 joinery. Likely blocked doorway from former landing to match Office 13 (symmetrical layout).	Assume Good	Investigate. Allow to reopen blocked C18 doorway and infill C20 opening. Allow to subdivide into cloakroom to include durgo SVP within accessible boxing. Allow to preserve any historic fabric found and decorate like-for-like.	Assume Preserve
Ceiling	Assume Medium . C20 finishes on C18 structure.	Assume Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster and decorate like-for-like.	Assume Preserve
Floor	Assume High-Medium	Assume Good	The floor is disturbed. Allow to replace modern finish.	Assume Preserve
Doors and linings	Neutral – C20 door and surrounds.	Good	Allow to relocate and replace with two panel doors, linings and architrave to match historic template of Percy House doors.	Low Beneficial

Window	Medium – C19 ovolo sashes	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing.	Low Beneficial
Cupboards / fixtures	Assume Neutral – C20	Good	Allow to remove C20 fixtures and replace with similar removable fixtures.	Preserve

First Floor Hall and Stair 800-F-01 – No. 800



Walls	Medium (altered, applied C20 mouldings) Negative Inserted C20 fire partition	Fair – Good	Investigate in unobtrusive position. Allow to provide panelled finish to match C18 First Floor panelling. Allow to remove C20 FR partition and upgrade FR using intumescent finishes like Percy House.	Beneficial Beneficial
Ceiling	Neutral. Plasterboard finish.	Fair	Investigate and allow to remove plasterboard and reinstate lime plaster finish. Redecorate like-for-like.	Preserve
Floor	Assume Medium (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs. Expose timber with central runner to match Percy House, or other finish as	Preserve

			agreed with conservation officer subject to condition and investigation.	
Stair	Low/Medium – (assume Mid-C19 below C20 casing). Likely rebuilt as it overlaps likely former doorway.	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial
Doors and linings	Negative – late C20 fire doors.	Good	Allow to replace with two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	Low Beneficial
First Floor Room Office 4 (Front) 800 				
Walls	Medium C20 plaster on C18 frame. Neutral Early C20 picture rail and skirting.	Good	Remove C20 joinery. Install C18 style skirting. Make good and decorate like-for-like.	Low Beneficial
Ceiling	Medium. C20 finishes on C18 structure. Early C20 rectangular batten as cornice.	Good	Remove C20 batten edge, investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate. Install C18 style cornice.	Low Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve

Doors and linings	Negative – C20 doors and surrounds. Investigate door to Office 5 (may be overclad and altered).	Good	Investigate door to Office 5 (see below). Allow to replace C20 doors/surrounds with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Windows	Medium – C19 ovolo sashes	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing.	Low Beneficial
Fireplace	Neutral – Blocked possibly reduced in size.	Fair	Investigate and allow to repair like-for-like and re-open with painted timber surround, insert and slate hearth to match Percy House).	Low Beneficial
Cupboards	N/A	N/A	Allow to provide painted timber cupboard to detail for use as riser cupboard. Allow for detached fan coil unit within furniture so to be removable.	Preserve

First Floor Room Offices 1 – 3, and associated stores / Kitchen/WC.

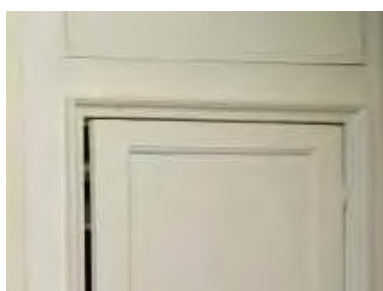
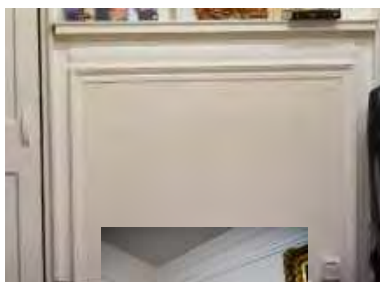
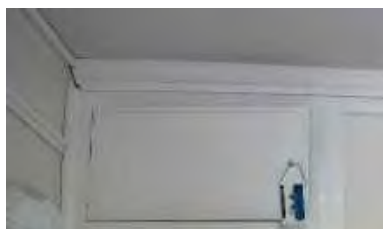
This is the first floor of the late C20 archway building (built between 1960 – 1980, according to historic photographs).

No access. Whilst unlikely, as this is a later rebuild, should there be any reused historic elements pre C20, the architect is to be notified. They are to be recorded in position, and left in-situ for decision regarding their reuse. Allow to carefully remove and reuse to make good missing elements within Nos. 800-802. Any variation to this is to be agreed in writing with the Conservation Officer and recorded.

Walls	Neutral C20	Assume good	Investigate structure and allow to remove C20 partitions to open up the volume to a single room. Refurbish and redecorate to provide a co-working project space.	Low Beneficial
Ceiling	Neutral C20	Assume good	Prop as necessary and investigate structure prior to opening up space. Allow to replace existing plasterboard due to the extent of current subdivision.	Preserve

Floor	Neutral C20	Assume good	Replace modern finishes to provide a continuous modern floor finish.	Preserve
Doors and linings	Neutral C20	Assume good	Existing redundant C20 doors removed.	Preserve
Windows	Neutral C20 Negative extract fan	Assume good	Remove extract fan and re-glaze to match adjacent panes. Allow like-for-like scarf repairs. Replace modern secondary glazing.	Low Beneficial
Cupboards	Neutral C20	Assume good	Replace C20 cupboards with modern cupboards. Allow for detached fan coil unit within furniture so to be removable.	Preserve

First Floor Room Office 5 (Rear) 800



Walls	Medium Altered C18 joinery on S wall. C20 finishes including picture rail, skirting, blocked doorway alcove.	Good – Fair Cracks in corner adjacent partition and on external wall.	Locally remove modern boxing and finishes and investigate cracks. Assume the following remedial work unless otherwise agreed with the LPA: Allow minimum like-for-like renewal of likely rotted timber studwork below valley. Allow minimal stainless steel joint reinforcement on rear wall crack adjacent altered window (helifix or similar approved).	Preserve
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			Allow like-for-like replacement of rotted inner window lintol. Replace C20 joinery with C18 style to match existing. Make good adjoining surfaces like-for-like and decorate.	Beneficial
Ceiling	Medium. C20 finishes on C18 structure. Part of C18 cornice on South wall.	Good - Fair	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate. Retain and repair C18 length of cornice and allow to replace for remainder of room where missing.	Low Beneficial
Floor	Assume High (investigate below C20 finish)	Good	Remove modern finish, refurbish boards & carry out minimal like for like repairs.	Preserve
Doors and linings	Assume Medium. Possibly C18 altered. Subject to investigation. Door is flush with C20 mouldings but may be over-clad.	Good	Subject to investigation: If over-clad, investigate whether asbestos. Allow for method statement and to carefully remove cladding and carry out minimal like-for-like repairs, C18 style ironmongery and redecoration. Replace architrave with C18 style. If modern, Allow to replace with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Window	Medium – C19 / early C20 casements. Negative – C20 security bars.	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Remove bars. Allow to install secondary glazing to match Percy House to improve thermal performance.	Low Beneficial
Fireplace	Medium – Blocked with C18 surround.	Good/Fair	Investigate and allow to repair surround and fireplace like-for-like and re-open with insert and slate hearth to match Percy House).	Low Beneficial

Cupboards / shelving	Medium – South wall - Altered with C18 and C19 lower doors. C20 flush upper doors Neutral – North wall – Former door opening with C20 architrave and shelving.	Good/Fair	Allow like-for-like scarf repairs and replacement upper doors to match C18 beaded lower door. Allow to reuse one cupboard as shown on plan as riser / services cupboard. Allow to remove C20 shelving unit and install C18 style architrave to match existing cupboards, and painted timber shelves. Allow for detached fan coil unit within furniture so to be removable.	Low Beneficial Preserve
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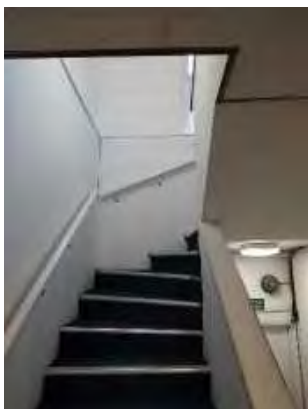
First Floor Room Offices 7 and 8 (Rear) 800. To be Writing Room 1 800-F-06.

Walls	Medium C20 plaster on C18 frame. C20 joinery. Negative Removal of rear (east) wall for extension. Assume removal of chimneystack (likely missing as layout is no longer symmetrical). C20 partitions	Good	Remove inserted C20 partitions to open room up to original volume. Investigate beam, prop as necessary in order to remove extension, and reinstate brick rear wall with single window opening and details to match appearance of original. Investigate and allow to reinstate chimneystack where missing. Make good adjoining surfaces like-for-like.	Beneficial Beneficial Beneficial
Ceiling	Assume Low . C20 finishes on C18 structure, likely to have been much disturbed during the structural alterations.	Good/Fair	Investigate in unobtrusive position. Allow to prop as necessary and reinstate along rebuilt rear wall and fireplace wall. Remove modern board, repair plaster like-for-like and redecorate. Install C18 style cornice.	Low Beneficial
Floor	Assume Low (investigate	Good/Fair	Investigate bearing, remove modern finish,	Preserve

	below C20 finish)		refurbish & carry out minimal like for like repairs. Likely to have been much altered, so allow for carpet finish on permeable underlay.	
Doors and linings	Negative – C20 doors and surrounds.	Good	Allow to replace with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Window	None (removed due to extension)	N/A	Reinstate C18 style sash window to match Percy House, as part of reinstatement of missing rear wall.	Beneficial
Fireplace	None - Assume removed during construction of extension	N/A	Allow to reinstate C18 style fireplace and cupboards with painted timber surround, insert and slate hearth to match Percy House.	Beneficial
Cupboards / shelving	Negative – C20 as part of subdivision into offices.	Good	Allow to reinstate C18 style cupboards in painted timber to match C18 details in adjacent Office 5. Allow to include riser cupboard and joinery for services to match Office 5.	Beneficial

SECOND FLOOR

Second Floor Hall and Stair – No. 802



Walls	Medium (altered, applied C20 claddings Negative Inserted C20 fire partition	Fair – Poor Damp	Investigate by removing C20 finishes. Carry out minimal like-for-like repairs. Allow to provide panelled finish to match C18 Second Floor panelling. Allow to remove C20 FR partition and upgrade FR using intumescent finishes like Percy House.	Low Beneficial Beneficial
Ceiling	Neutral – C20 finish. Assume C18 structure above.	Fair	Investigate and allow minimal like-for-like repairs to roof and ceiling structure and finishes. Redecorate.	Preserve
Floor	Assume High (investigate below C20 finish)	Fair	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs. Expose timber with central runner to match Percy House, or other finish as agreed with conservation officer subject to condition and investigation.	Preserve
Stair	Low/Medium – (assume some Mid-C19 to match upper stair below C20 casing)	Fair	Allow to investigate by removing C20 casing, reinstate missing / damaged elements like-for-like, and redecorate. Allow to upgrade FR with intumescent finish if required.	Low Beneficial

Doors and linings	Negative – late C20 fire doors.	Good	Allow to replace with two panel doors, linings and architraves to match historic template of Percy doors, with intumescent finishes.	Low Beneficial
Window	Low – C18 ovolo sashes in very poor condition.	Poor – Rot in cills, jambs, bottom rails, stiles and glazing bars	Investigate joinery repairs, but likely to be too poor to reinstate. Allow to scarf repair frame and replace 2 sashes. Allow to reuse any C18 glass and ironmongery. Install secondary glazing to Percy House detail.	Low Beneficial
Second Floor Room Office 9 (Front) No. 802. To be Room 1 802-S-03 and Room 3 802-S-02.  				
Walls	Medium C20 finishes on C18. Negative Open plan layout. Removal of C18 partition.	Good	Reinstate timber partition where framing shows previous partition is missing, to reinstate original layout and proportions. Carry out minimal like-for-like repairs and redecorate.	Beneficial
Ceiling	Negative. C20 suspended ceiling tiles over (assumed original structure)	Fair/Good	Remove suspended finish and allow to make good plaster finishes like-for-like.	Low Beneficial
Floor	Assume Medium (investigate below C20 finish, likely to be disturbed due to layout changes)	Fair	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Allow to provide carpet finish on breathable underlay.	Preserve

Doors and linings	Negative – C20 or missing	Fair	Allow to replace C20 doors with simple 2-panel C18 type door, surround and ironmongery to match Percy House.	Low Beneficial
Windows	Medium – C18-C20 sashes and C20 timber fixed light. C18 –C19 panelled window seats. Shutter boxes / shutters are missing.	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Replace modern secondary glazing. Investigate and allow to reinstate window boxes and vertical shutters to match No. 794.	Low Beneficial Low Beneficial
Fireplace	Neutral – Blocked, investigate.	N/A	Investigate and allow to repair like-for-like and re-open with insert and slate hearth to match simple SF as Percy House).	Low Beneficial
Cupboards	Neutral - C20	Good	Allow to remove C20 cupboard, make good like-for-like repair and reinstate C18 style cupboard for riser cupboard. CPU cupboard to be removable furniture.	Low Beneficial

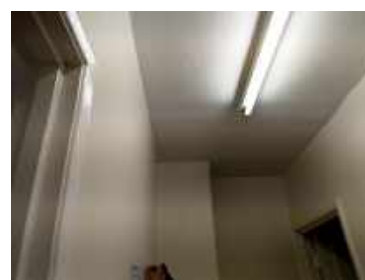
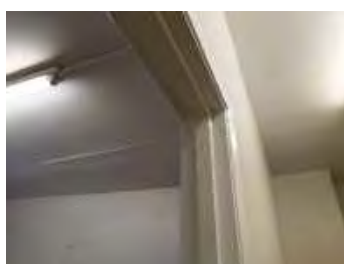
Second Floor Room Office 10 (Rear) No. 802. To be Room 2 802-S-04.



Walls	Medium C20 finishes on C18.	Good – Investigate curvature in floor, likely related to wide opening below.	Carry out minimal like-for-like repairs and redecorate.	Preserve
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Ceiling	Negative. C20 suspended ceiling tiles over (assumed original structure)	Fair/Good	Remove suspended finish and allow to make good plaster finishes like-for-like.	Low Beneficial
Floor	Assume Medium (investigate below C20 finish)	Fair (investigate as above)	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Allow to provide carpet finish on breathable underlay.	Preserve
Door and linings	Negative – C20 flush. Former opening from hallway blocked.	Good	Allow to reinstate doorway, with simple 2-panel C18 type door, surround and ironmongery to match Percy House.	Low Beneficial
Window	Medium – Early C20 sashes with disturbed apron below.	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Provide secondary glazing for thermal improvement. Investigate and allow to reinstate window box and vertical shutters to match No. 794.	Low Beneficial Low Beneficial
Fireplace	Neutral – Blocked, investigate.	N/A	Investigate and allow to repair like-for-like and re-open with insert and slate hearth to match simple SF as Percy House).	Low Beneficial
Cupboards	Neutral - C20	Good	Allow to make good like-for-like repair and reinstate C18 style cupboard beside fireplace, including riser as shown.	Low Beneficial

Second Floor Room Offices 6 and 7 (Front) No. 800. To be Room 2 800-S-07 & WC 800-S-02



Walls	Medium C20 plaster on C18 frame. C20 joinery and trunking. No original panelling. Negative C20 angled partition cuts into window reveal and WC area is cramped.	Good	Investigate when C20 ceiling opened up to locate position of original partitions, likely to follow line of partition below. Allow to remove inserted C20 partition and reinstate timber framed partition on original line to open room and stair hall up to original volume. Relocate WC area to be directly above FF WC to better retain volumes and rectangular proportions of primary rooms. Make good adjoining surfaces like-for-like and decorate.	Beneficial
Ceiling	Negative. C20 suspended ceiling tiles over C18 structure	Fair/Good	Remove suspended finish and allow to make good plaster finishes like-for-like.	Low Beneficial
Floor	Assume Medium (investigate below C20 finish). Likely to be damaged by extensive change	Fair (investigate as above)	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Allow to provide carpet finish on breathable underlay.	Preserve/ Low Beneficial
Doors and linings	Negative – C20 doors and surrounds.	Good	Allow to replace with two panel door, linings and architrave to match Percy House doors.	Beneficial
Windows	Medium – Early C20 ovolo sashes.	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Secondary glaze to improve thermally.	Preserve / Low Beneficial
Fireplace	Neutral – Blocked.	Good/Fair	Investigate and allow to repair like-for-like and re-	Beneficial

			open with painted timber surround, insert and slate hearth to match Percy House).	
Cupboards, shelving	Neutral – C20	Good	Allow to provide painted timber cupboard to detail for use as riser cupboard. Allow for detached fan coil unit within furniture so removable.	Preserve

Second Floor Room Office 5 (Front) No. 800. To be Break Out Room 800-S-03.



Walls	Medium C20 plaster on C18 frame. C18 central wall missing and beamed over. Crack shows C20 cranked partition is partly below beam.	Good	Take out C20 cranked partition and install partition along original line below beam to reinstate rectangular rooms to respect the character of the C18 layout. Make good adjoining surfaces like-for-like and decorate.	Low Beneficial
Ceiling	Medium. C20 ceiling finish (assumed original structure)	Good	investigate extent of C20 boards, remove applied battens and services, and allow to make good plaster finishes like-for-like.	Preserve
Floor	Assume Medium (investigate below C20 finish). Likely to be damaged by extensive change	Fair (investigate as above)	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Allow to provide carpet finish on breathable underlay.	Preserve

Doors and linings	Negative – C20 doors and surrounds.	Good	Allow to replace with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Windows	Medium – Early C20 ovolo sashes. No original panelling.	Good/Fair – Some rot in cills and jambs	Allow like-for-like scarf repairs. Provide secondary glazing to improve thermally.	Preserve
Fireplace	Neutral – Blocked.	Good/Fair	Investigate and allow to repair like-for-like and re-open with painted timber surround, insert and slate hearth to match Percy House).	Low Beneficial
Cupboards, shelving	Neutral – C20	Good	Allow to remove C20 fixtures, and provide painted timber C18 style cupboard to detail for use as riser cupboard. Allow for detached fan coil unit within furniture so removable.	Preserve

Second Floor Rooms Offices 1 -3, over archway, No. 800. To be Screening room 800-S-05.

Late C20 infill over archway. Not accessed, but no historic interest is likely due to recent construction.

Walls	Medium – Late C20 finishes on C18 former external walls North and South. Neutral – Late C20 walls East and West, and partitions.	Assume Good	Investigate beam, allow to remove C20 partitions to reinstate open rectangular volume. Investigate and allow to form single door opening to access front room. Allow to infill C20 rear door opening to be reversible.	Low Beneficial
Ceiling	Neutral – Late C20.	Assume Good	Investigate beam, allow to remove C20 partitions, make good finishes like-for-like and redecorate.	Low Beneficial
Floor	Neutral – Late C20.	Assume Good	Allow to replace modern finish with modern finish.	Preserve
Doors and linings	Neutral – Late C20 door and surrounds.	Good	Allow to provide no door/ two panel door TBC.	Preserve

Windows	Neutral – Late C20.	Good	Allow like-for-like scarf repairs if necessary.	Preserve
Cupboards / fixtures	Neutral – Late C20.	Good	Allow to remove C20 fixtures and replace with similar removable fixtures.	Preserve

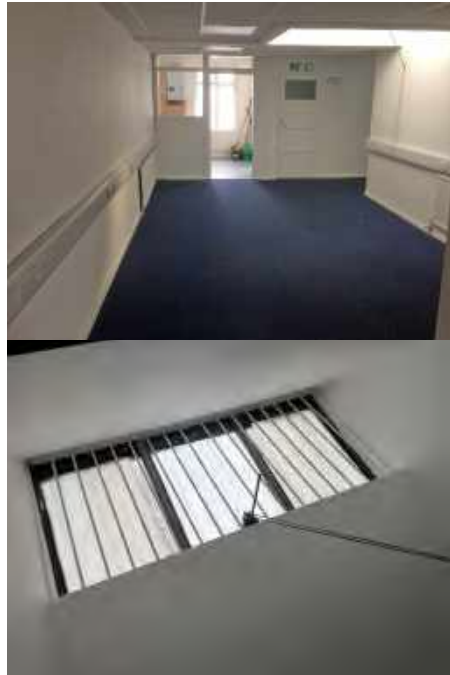
Second Floor Hall and Stair – No. 800



Walls	Medium (altered, applied C20 mouldings) Negative Inserted C20 fire partition	Fair – Good	Investigate in unobtrusive position. Allow to provide panelled finish to match C18 First Floor panelling. Allow to remove C20 FR partition and upgrade FR using intumescent finishes like Percy House.	Beneficial Beneficial
Ceiling	Neutral – woodchip wallpaper. Assume C18 structure above.	Fair / Poor Stained from longstanding roof leaks	Investigate and allow minimal like-for-like repairs to roof and ceiling structure and finishes. Redecorate.	Preserve
Floor	Assume Medium (investigate below C20 finish)	Good	Allow to Remove modern finish, refurbish boards & carry out minimal like for like repairs. Expose timber with central runner to match Percy House, or other finish as agreed with conservation officer subject to condition and investigation.	Preserve

			gauged brick window opening and brickwork to match rear elevation of Percy House.	
Ceiling	Assume Medium . C20 finishes on C18 structure.	Assume Good	Investigate in unobtrusive position. Allow to remove modern board, repair plaster like-for-like and redecorate.	Preserve
Floor	Assume Low (investigate below C20 finish, assumes many C20 changes)	Assume Good	Remove modern finishes, refurbish floor & carry out minimal like for like repairs. Allow for carpet on breathable underlay.	Preserve
Doors and linings	Neutral – C20 doors and surrounds.	Assume Good	Allow to replace landing door with two panel door, linings and architrave to match historic template of Percy House doors.	Low Beneficial
Window	Negative – C20 Toilet window.	Good/Fair	Remove unsympathetic toilet window and escape door. Replace with reinstated C18 style window to match Percy House as part of the reinstatement of the damaged rear elevation. Allow for secondary glazing to match Percy House.	Beneficial
Fireplace	Neutral – Blocked.	Assume Fair	Investigate and allow to repair like-for-like and re-open with painted timber surround, insert and slate hearth to match Percy House).	Low Beneficial
Cupboards	Assume Negative – C20	Assume Good	Remove C20 cupboards and fixtures. Allow to provide painted timber cupboard to detail for use as riser cupboard. Allow loose furniture FCU unit.	Preserve

Second Floor Room Office 8 & WC/kitchen areas in No. 800. To be Writing Room 1 800-S-06.



Walls	Medium C20 plaster on C18 frame. C20 joinery, structural beam, column and trunking. No original panelling. Negative Loss of original rear and central wall lines.	Good	Investigate and prop as necessary: Allow to remove inserted C20 partitions. Reinstate partition along the line of structural beam where room was formerly opened up, in order to reinstate the volume and proportions of the original room. Allow for detail of reinstated partition to incorporate glazing (as agreed Percy House glazed panelled partition or as otherwise agreed with LPA) and to be reversible. Once extension has been removed, reinstate original rear elevation brick wall with C18 style window and gauged arch to match Percy House. Make good adjoining surfaces like-for-like and decorate.	Beneficial Beneficial
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Ceiling	Negative. C20 suspended ceiling tiles over C18 structure	Fair/Good	Remove suspended finish and allow to make good plaster finishes like-for-like.	Preserve
Floor	Assume Low (investigate below C20 finish). Likely to be damaged by extensive change	Fair (investigate as above)	Remove modern finish, refurbish boards & carry out minimal like for like repairs. Allow to provide carpet finish on breathable underlay.	Preserve
Doors and linings	Negative – C20 doors, glazed panels and surrounds.	Good	Allow to replace with two panel door, linings and architrave to match Percy House doors.	Low Beneficial
Window	None – (lost, when extension constructed)	N/A	Provide C18 style window to match Percy House as part of the reinstatement of the damaged rear elevation. Allow for secondary glazing to match Percy House.	Beneficial
Fireplace	None – Likely to have been lost when extension constructed.	N/A	Investigate and allow to provide replacement C18 style stack and fireplace, simple painted timber surround, insert and slate hearth to match SF of Percy House).	Low Beneficial
Cupboards, shelving	Neutral – C20	Good	Remove C20 cupboards and fixtures. Allow to provide painted timber cupboard to detail for use as riser cupboard. Allow loose furniture FCU unit.	Preserve

11.5.4 Conclusions of Impact for Numbers 800 and 802

- 11.5.4.1 The tables confirm the intervention would result in the preservation of the interest of the building. There are numerous low beneficial / beneficial changes and three potential localised areas of low adverse change as follows:
- 11.5.4.2 The proposed basement will adjoin parts of the existing basement where it is likely there were no previous openings and therefore a level of adverse change to historic fabric is assumed in order to connect through to the rear extension to make the building accessible. The affected area on the ground floor is altered and modern in appearance but it is also assumed that some historic fabric survives alongside the modernised openings. It is assumed in the basement, where access cannot be gained to the spaces, that the character is similar to those adjacent areas of the basement where access is possible; and that is of a C20 lined basement with

concrete floors. Therefore there is no harm to the character or appearance of the listed building. Provision is made for the assumptions to be reviewed once the space is accessible, and for any surviving elements to be preserved and repaired, and the change minimised by design, as was consented at Percy House.

11.5.4.3 The works will be carried out with the repair and design rationale previously consented at Percy House, and as a whole will enable the appearance and structure of the listed buildings to be preserved and improved.

11.5.4.4 The proposed replacement extension provides for the dominant and intrusive modern extensions and fire escape to be removed from the rear of the building, to reinstate the C18 proportions and openings of the upper floors of the rear elevation. The change would substantially enhance the building and the terrace as a whole.

11.5.4.5 The smaller proposed extension follows the high quality design theme already used on the terrace at Percy House and allows more intensive uses to be located outside the original plan area, which is of high significance.

11.5.4.6 The elements of preservation include:

- Carrying out minimal like-for-like repair to the porticos, stone entrance steps, windows, doors, brick facades, roof and chimneys; retaining sound historic fabric, replacing inappropriate materials (such as cement with lime), dealing with structural cracks and rotted timbers for the longevity of the building, and reducing the impact of previous repairs.

11.5.4.7 The elements of benefit include:

- Removing unsympathetic extensions, metal fire escape stairs and services. Providing a significantly smaller extension following the light-touch high quality ethos approved previously at Percy House. Providing less intrusive solutions for services and FR requirements, using tried and tested conservation methods previously approved at Percy House and Warmington House. Relocating necessary services, so that they are less obtrusive, located within secondary rather than primary spaces, and are carried out more sympathetically.
- Replacing modern defective roof finishes including concrete copings and asphalt roof valleys, and reinstating with stone copings and lead valleys. Enhancing roof access for maintenance, by matching the valley dormer at Percy House within modern roof structure.
- Reinstating C18 architectural external elements of the building, by relocating the reused original panelling from the extension back into the original building, replacing modern inappropriate windows and doors with C18 style elements using patterns from the existing building and terrace, improving the appearance of previous unsympathetic brick repairs and reinstating missing elements of architectural mouldings and weatherings to provide greater longevity and improved appearance.
- Reinstating C18 architectural internal elements of the building, by removing suspended ceilings and repairing the original, reinstating the wall along the rear wall line where it was previously removed, unblocking fireplaces and removing modern partitions/interventions, and reinstating C18 style window shutters, windows, doors, panelling, fireplaces, stair balustrading, joinery mouldings, flooring and ironmongery.

- Reinstating C18 iron railings and stone steps, repairing stone paving and replacing inappropriate concrete paving with a more sympathetic landscaping scheme, following precedents approved at Percy House and the southern end of the terrace.
- Providing a single use for the building instead of multiple occupancies. It is compatible with its existing office use, and ensures that future management and maintenance is simplified and co-ordinated.

11.5.4.8 Overall, the proposed changes to numbers 800 and 802 are an enhancement, providing a low/moderate beneficial impact generally, as well as a substantial enhancement to the rear elevation (moderate beneficial).

12 NOS. 804-806 HIGH ROAD



Figure 49: Nos. 804-806 High Road - 2017. Photo courtesy of Google Street view

12.1 Summary

12.1.1 Nos. 804-806 were constructed as commercial units in the late 19th century, replacing 4 terraced cottages. The properties are not Listed and sit forward of the immediately adjacent Georgian terraces. The terrace is also set at a lower level than the neighbours, with level access into the ground floor shop units, directly from the pavement, illustrating its lower status.

12.1.2 The shop fronts of the properties have been changed a number of times, but some evidence remains of the original detailing. Floral motifs remain on the window heads, which match detailing around the ground floor door and to a column on the left of the vehicular access route. The access route was part of the original construction and can be seen clearly in the 1896 map.

12.1.3 The front façade is in good condition. Works would include reinstating the 19th century shop front and the plaster detailing where it has been lost to shop front columns.

12.1.4 To the rear of the terrace are a number of 20th century extensions, which detract from the building and the wider group. It is proposed to seek to remove these and provide a new, two storey extension, which would enable the properties to accommodate a performance space and supporting ancillary accommodation, commensurate with the masterplan for a Creative Quarter.



Figure 50: Nos. 804-806 High Road – Rear elevation 2017.

12.2 The significance of Nos. 804-806:

The terrace at Nos. 804-806 is not statutorily or locally listed. The heritage asset is the North Tottenham Conservation Area and the terrace is identified as having a positive contribution.

This is covered in more detail within the assessment of the conservation area and setting in Section 16.

The following section focuses on the external improvements to the High Road façade of the terrace.

12.2.1 Archaeological interest

- The terrace does not derive significance from archaeological interest.

12.2.2 Architectural and artistic interest

- The facades retain part of their original 19th century shopfronts and fascias.
- The frontages have some added interest due to foliage decoration in bas-relief on lintels and door surround.

12.2.3 Historic Interest

- The buildings provide evidence of the late 19th century period of evolution of the High Road, when this part of Tottenham became more commercial.
- The location of the buildings, set forward of the 18th century terraces, demonstrates the forward position of the Victorian building line.

Figure 51: (right). Side Entrance door and bas-relief plasterwork.

Figure 52: (far right). 1950s photograph showing the original shopfront and pilaster detail to No. 804, as template for reinstatement of lost details.

Figure 53: (below). Evidence of shopfront survival below later signage and finishes.



12.3 Schedule of Significance, Effect and Impact Nos. 804-806

12.3.1 External Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
Roof	Medium – C19 slate Neutral – C20 concrete tile	Good	Allow to replace concrete tile in slate to match adjacent. Replace lead flashings to hopper where defective. Repoint coping to flank elevation where defective.	Low Beneficial
Frontage Brickwork	Medium – C19 1980	Fair – Good. Poor – pier to flank of No. 804.	Tidy services and carry out minimal like-for like repair. Repoint pier to flank of No. 804. Replace defective tin flashing in lead to flank elevation.	Low Beneficial
Front Door and bas-relief surround	Medium – c1900	Fair – cracked and partly missing	Carry out minimal like-for-like repair, form mortar weathering fillet and replacing missing detail to match adjacent surviving panel.	Preserve
Shopfront	Neutral – since 1980	Fair – Good	Carefully remove modern stone panels, ply sheet and signage to investigate extent of survival and condition of original shopfront. Allow to reinstate missing elements of shopfront and timber fascia like-for-like to match surviving detail adjacent. Replace defective lead cover flashing.	Low Beneficial
Archway	Medium – C19	Fair – Good.	Carefully remove modern cover board and investigate. Allow to reinstate fascia to match timber fascia adjacent and to carry out like-for-like repairs to lintol and brickwork. Allow to install vertically boarded gates and match pintols where missing.	Low Beneficial
Windows	Medium – Mid C19 4-pane sashes. Late C19 single pane sashes.	Good	Carry out minimal like-for-like scarf timber repairs, including allowing to replace rotted timber cills.	Preserve
Rear Brick façade	Medium – Mid C19 Neutral - Rear extensions	–Good - fair	Remove later extensions and carry out like-for-like repairs once removed. Provide replacement extension with unified design to respect the	Beneficial

			uniform character of the existing building lock. Remove redundant cabling and satellite dishes and redesign so not intrusive on the exterior. See also setting/conservation area assessment.	
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12.3.2 Internal Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	EFFECT/ IMPACT
There are no Internal alterations that require consent.			

12.3.3 Conclusions of Impact for Numbers 804 and 806

12.3.3.1 The tables confirm the intervention would result in the preservation of the interest of the undesignated heritage assets.

12.3.3.2 The elements of preservation include:

- Carrying out minimal like-for-like repairs to the archway, windows, walls and roofs.

12.3.3.4 The elements of benefit include:

- Replacing the concrete roof tiles with slate to reinstate the original continuous roof form and materials.
- Reinstating the shop frontages, cornices and fascias.
- Repairing the decorative plaster door and arch surrounds.
- Removing the existing modern rear extensions with numerous ad-hoc additions, and replacing them with a single unified extension to reflect the continuity of the building group.

12.3.3.5 Overall, the proposed changes to numbers 804 and 806 preserve and enhance their significance as undesignated heritage assets and their contribution to the conservation area would be preserved and enhanced.

13 NO. 808 HIGH ROAD



Figure 55: No 808 High Road - 2017



Figure 54: Rear of No 808 High Road - 2017

13.1 Summary

- 13.1.1 808 High Road was constructed c.1715 by Sir Hugh Smithson, as part of a symmetrical pair with No. 810-812. Both properties consist of four storeys, plus a basement, with a 'coach building' to the side of three storeys. The properties are considered a fine example of Georgian merchant townhouses.
- 13.1.2 The front façade of No. 808 was restored in circa 2000, which won a Georgian Group award in 2003.
- 13.1.3 The late 20th century rear extensions replaced a larger rear extension shown on the 1984 Ordnance Survey map.
- 13.1.4 Restoration and extension works to the adjoining 810-812 High Road have already been consented under application ref HGY/2017/1181.

Access has not been gained to the interior, but no internal works are being proposed in this application.

Please refer to the accompanying Archaeological Statement.

- ### 13.2.3 Architectural and artistic interest

- #### 13.2.4 Historic Interest

- The house is a good example of the Georgian development of the High Street, and the set-back position typical of the Georgian buildings of Tottenham.
- The materials and details provide evidence of the first 18th century phase of development of Tottenham.
- Nos. 808-812 are the first documented houses in Tottenham built by the Smithson family.

[illegible]

Figure 56: Ground Floor Plan - Heritage Significance

13.3.1 No work other than to remove late C20 GF / FF extensions, repair like-for-like to match approval for number 810/812, and to re-landscape at the rear.

13.4 Existing and proposed use

13.4.1 This property is currently in multiple residential occupancy. It was originally built as a single house, but it was in multiple occupancy with residential and shop uses by the 1911 census.

13.4.2 It mirrors the adjoining Grade II* listed No. 810/12 where the applicant has secured planning and listed building consent (HGY_2017_1181 and HGY_2017_1182 – LBC) for the complete restoration and extension of the asset with a flexible occupation (Sui Generis) to include a mix of uses within Use Classes D1, A3 and B1. No. 808 would follow this precedent and is envisaged as a series of studios and hub for the visual arts.

13.4.3 As with the other buildings within the application, the characteristics of the internal layout are deemed appropriate for this use, and where larger spaces are required, or where more onerous building facilities are needed given the public facing nature of the proposals, these are placed within new, sympathetic, additions so as to avoid any harm to the existing fabric. The reversal of the presently fragmented use would be beneficial.

13.4.4 Once again, the overarching ambition is to secure a viable and long term use for the building which will ensure that it remains relevant and is suitably preserved. Although internal works do not form part of this application, the proposed use is viable, without the need for internal change, and the proposals reflect a plan which will help to achieve a new use by allowing for further engagement with potential end users.

13.5 Schedule of Significance, Effect and Impact for No. 808

13.5.1 External Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	PROPOSED WORKS	EFFECT/ IMPACT
Front Boundary wall	Neutral – since 1980	Good	No work proposed.	N/A
Railings and gates to front boundary wall	Neutral – since 1980	Good	No work proposed.	N/A
Landscaping to front forecourt	Neutral – since 1980	Good	No work proposed.	N/A
Steps to front door	Neutral – since 1980	Good	No work proposed.	N/A
Railings to front door	Neutral – since 1980	Good	No work proposed.	N/A
Lightwell	High – original Neutral – C20 finish to base of lightwell	Good	No work proposed.	N/A
Front Door and fan light	High – C18	Fair	No work proposed.	N/A



Door surround/ pilasters	High – assume original	Fair	Install new lead flashing to top of door surround, allow for like-for-like conservation repairs and redecoration.	Preserve
Coach House door and opening	Low – opening reinstated early C21	Good	Redecorate oak (linseed) and door.	Preserve
Brickwork to front (west) facade	High – early C18	Fair Structural crack	Repair structural crack to coach house brickwork – allow to carefully take out individual cracked bricks and reinstate to match adjacent bricks and build in stainless steel reinforcement in every third vertical joint. Repoint as required to match existing mortar like-for-like. Monitor efflorescence to second-hand bricks that have been used for previous repairs.	Preserve
Brick arches to windows on front (west) façade	High – early C18	Fair	Conservation like-for-like repairs to brick arches and finish with tuck pointing, where missing.	Preserve
Windows to front façade	Low early C21	Good	Like-for-like repairs/ refurbishment where	Preserve

			required and redecorate.	
Brick cornice to front (west) facade	High – early C18	Good		
Coping to front (west) facade	TBC	Fair	Point in open joints in coping.	Preserve
Dual pitched roof	High – early C18	Assume Good		
Rear parapet copings	Assume Low early C21	Assume Fair	Allow to point in open joints in coping	Preserve
Rear extensions	Negative – C20 extensions	Good	New extension to coach house proposed (in location of existing C20 extension) to mirror approved proposals for No. 810-812 High Road and provide Part M compliant access into rear of No. 808 High Road, from new landscaped square.	Low Beneficial
Rear elevation and Brickwork (east)	High – main rear elevation early C18	Fair	Like-for-like conservation repairs to existing brickwork following removal of unsympathetic C20 extensions. More of original rear elevation will be visible due to smaller extensions.	Low Beneficial
Windows to rear elevation (east)	Low – early C21 reinstatement	Good	Like-for-like repairs/ refurbishment where required and redecorate	Preserve
Rainwater goods	Low – some cast iron Negative – C20 plastic	Good	Remove C20 plastic rainwater goods and replace with cast iron, consistent with original early C18 designs.	Low Beneficial

Landscaping to rear				
	Medium (wall between Nos. 808 and 810) - C18 altered in C20	Poor (wall between Nos. 808 and 810) – bowed and leaning. Loose and fallen pointing. In very poor condition in former tree position and to east of this.	(9M section of wall between Nos. 808 and 810) Allow to refurbish & carry out like-for-like repairs in lime mortar, extent of reconstruction subject to structural engineer's advice to be agreed with Conservation Officer. This approximates to the depth of wall between the house and former tree, which is similar to the depth of the proposed extensions, to retain demarcated gardens. Carefully remove C20 brickwork and pointing and replace using sound bricks from the section of wall in very poor condition. Subject to SE and CO advice, allow to provide a single door opening.	Preserve / low beneficia
	Neutral (wall between Nos. 808 and 810) – C19, altered and re-faced on southern side in C20.	Poor (wall between Nos. 806 and 808). Now exposed where built as internal wall finish. External face rebuilt on top of C19 brick with open joints.	(9M section of wall between Nos. 806 and 808) Allow to refurbish & carry out like-for-like repairs in lime mortar. Extent of reconstruction subject to structural engineer's advice to be agreed with Conservation Officer.	Preserve / low beneficial
				
			(remaining wall between Nos. 808 and 810). Allow to remove unsound (bowed) section of C18/C20 wall and reuse C18 bricks to make good as above.	Low adverse

			Enables access and landscape to be improved. (remaining wall between Nos. 806 and 808). Allow to remove much altered section of C19/C20 wall. Enables access and landscape to be improved as part of the masterplan.	Neutral
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13.5.2 Alterations to the existing extension and description of the proposed intervention:

- 13.5.2.1 Please also refer to the Design and Access Statement which forms part of this submission for further details regarding the nature of proposed interventions.
- 13.5.2.2 The proposals see the removal of an unsympathetic one and a half storey rear extension which allows for the reinstatement of the bay window, reinforcing the original symmetry of the properties as 808 forms a pair with No. 810-812. The proposed intervention mirrors that consented at No. 810-812 (HGY_2017_1181 and HGY_2017_1182 – LBC), albeit as a slightly smaller addition, to accommodate a new accessible entrance and accessible WC.
- 13.5.2.3 The existing boundary wall to the south of No. 808 is retained and forms an armature to the proposed single storey box with the lightweight cladding as a legible contemporary addition. The existing arch of the carriageway is expressed above the flat roof to further establish the different phases of construction. The original 18th Century garden boundary wall between the two properties is repaired, restored and retained where it responds to the depth of the proposed extensions.
- 13.5.2.4 It frames the two historic garden spaces before stepping down and being expressed as a brick on edge detail in the ground plane, marking the way into the development from the wider landscape – some minimal loss of fabric here is assessed as having a low harmful effect and facilitates the connection with the landscaping where a new ramp acts as one shared point of entrance to the rear of the terraces but with the central brick work line in the ground identifying the former boundary. A gentle ramp runs up to the buildings with a series of raised planted green areas to either side, their low brick retaining walls doubling as spaces to stop and sit.
- 13.5.2.5 In conclusion, despite a low level of harm identified due to the partial loss of fabric to the garden wall behind the house, the proposed replacement extension to the listed building at No. 808 would be overall beneficial in terms of better revealing and enhancing the character and significance of the heritage asset.
- 13.5.2.6 Further analysis of the intervention and its impact on setting can be found in section 15.2.



Figure 57: No. 808 Existing Rear Elevation



Figure 58: N0.808 Proposed Rear Elevation

13.5.3 Internal Works

ELEMENT	HERITAGE SIGNIFICANCE	EXISTING CONDITION	EFFECT/ IMPACT
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There are to be no internal alterations as part of this application.
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13.5.4 **Conclusions of Impact for Number 808**

The tables confirm the intervention would result in the preservation of the interest of the building.

13.5.4.1 The elements of preservation include:

- Carrying out minimal like-for-like repair to the door surround, doors, windows, copings, brick facades and adjoining section of curtilage garden wall for the longevity of the building.

13.5.4.2 The elements of benefit include:

- Removing the existing modern rear extension, which enables the rear bay window to be reinstated to match its symmetrical bay at number 810.
- Replacing the extension for one that is lower and symmetrical with number 810. This enables more of the rear elevation to be appreciated and better reflects the strong symmetry of the original C18 design.

13.5.4.3 Overall, the proposed changes to number 808 preserve and enhance its significance.

14 SETTING AND CONSERVATION AREA BASELINE ASSESSMENT

14.1 Introduction

- 14.1.1 This section considers the setting of the listed and locally listed buildings as described in the previous sections and the Conservation Area as a designated heritage asset.
- 14.1.2 The listed buildings have settings that overlap with each other, as well as with the locally listed building, and falling inside the conservation area. This is a case of “*nested and overlapping settings*” as described at paragraph 8 of GPA 3. To avoid undue repetition, the assessment in this is undertaken on the basis that each building was considered individually, but they have been grouped for assessment; the contribution of their setting to their significance is similar for the buildings, and any external alteration which is acceptable in relation to the host building itself would be equally acceptable in terms of the setting of the neighbouring listed buildings. This allows for the type of narrative description of the setting of the buildings (and this part of the conservation area) recommended in GPA 3 (text box, page 8).
- 14.1.3 Similarly, insofar as the character and appearance of the conservation area is concerned, the assessment is undertaken on the basis that the listed buildings are key components of the conservation area, and a proposal that is acceptable in terms of the setting of the listed buildings would be acceptable in terms of the conservation area, and vice versa. The same principle applies for alterations/extension to unlisted buildings in the conservation that also fall within the setting of a listed building.
- 14.1.4 The following section first considers the conservation area, before considering the setting of the listed buildings. The impact assessment follows that at the end of the section.

14.2 The Conservation Area

- 14.2.1 Historic England has produced a ‘case study’ document for the Tottenham High Road Historic Corridor Conservation Area that covers the whole of the ‘corridor’ from Enfield in the north to Seven Sisters in the south, though it focuses on Tottenham. This document was produced in 2017 and it summarises the conservation area at that time, including the key issues it faced. Extracts from the document (which has unnumbered paragraphs) are included below. The extract below is a good, concise summary of the character and special interest of the conservation area.

“Most of the High Road is lined with commercial premises and is, therefore, generally characterised by intensively developed, high-density urban environments. This built up frontage is interrupted by a string of historically significant isolated open spaces at Scotland Green, Tottenham Green and Pages Green, and clusters of larger institutional, educational and religious buildings. There are good surviving examples of buildings dating from the 18th and 19th centuries including outstanding groups of Georgian houses and mid to late Victorian shopping parades illustrating the changes to this building type in scale and style, together with examples of the inter-war style of the mid-20th century. The roads flanking the High Road are lined with residential properties and are generally characterised by a more finely grained, domestic scale and a greater degree of uniformity.”

14.2.2 The document then highlights the following pressures and issues:

"... the area has experienced a perceivable decline in both industrial and retail economy [...] to one of the most deprived areas of England. The general economic deprivation of the area has led to several heritage assets being neglected, with poor or no maintenance, as well as proliferation of clutter and loss of architectural details. The riots of 2011 triggered an even greater need to respond to these challenges through a wider and comprehensive regeneration framework."

14.2.3 In response to the pressures and issues, the Historic England document then highlights the regeneration framework and how the objectives for regeneration is envisaged to coexist with the conservation objectives for the heritage assets:

"The Historic Corridor forms an integral part of the wider framework of growth for the area. The historic fabric of Tottenham is considered an asset which can anchor the character of the proposed new quarters and regeneration schemes in deep historical roots [...] On the other hand, the investment would help improve the character and appearance of the heritage assets in accordance with statutory and national policy requirements."

"The AAP policies encourage the adaptive reuse of heritage buildings while meeting growth targets [...] The idea is that these assets are appropriately integrated into new developments and master plans with continued use and protection. The highest quality of design and public realm is expected of any new development that may have an impact on the setting of the assets. Considerable investment through planning obligations is expected towards buildings that are on the 'at risk' Register."

14.2.4 Turning then to the North Tottenham Conservation Area Appraisal and Management Plan (the CAAMP hereafter) the salient parts of the document are briefly covered below, under the various topic headings, but in terms of the sub-areas and townscape the focus in the following section is very much on the application site.

14.2.5 The CAAMP divides the conservation area into sub-areas, with the application site falling in Sub Area A, and this area is the focus of this assessment. The map at Figure 59 below shows sub-areas A and B.



Figure 59: An extract of Map 9 on page 34 of the North Tottenham Conservation Area Appraisal and Management Plan, showing sub-areas A and B.

14.2.6 Historic development: Section 1.4 of the CAAMP sets out the area's historical development, of which the following are highlighted:

- a. The High Road is the successor to Ermine Street, the Roman road from London to Lincoln and York; historically the High Road was an important northern route (paragraph 1.4.1).
- b. By the 16th century, and over the following two centuries, Tottenham attracted wealthy Londoners. It also became noted for its schools, including several private boarding schools, and numerous charitable and religious foundations (paragraph 1.4.2).
- c. Late 18th and early 19th century building booms had considerable impacts, with new villas and terraces, which began to spread outward alongside roads, as well as some early 19th century factories (paragraph 1.4.6).
- d. From the mid-19th century, the High Road's residential character was incrementally transformed to commercial, as former houses acquired ground-floor shops or were converted to other uses, and purpose-built shopping parades appeared (paragraph 1.4.9).
- e. The expansion of St Francis de Sales School absorbed the sites of Beech House, an early 19th century villa and a contemporary terrace to the south, which had been demolished by 1949 (paragraph 1.4.12).

- 14.2.7 **Summary of special interest:** Section 1.2 of the CAAMP summarises the special interest of the conservation area. It states that the conservation area is notable for preserving, until very recently, an almost intact 19th century townscape incorporating notable surviving examples of earlier periods, while its hinterland (the areas immediately to the east and west) has changed considerably (paragraph 1.2.1). Some of this change, i.e. the stadium and associated development, is now in the process of being completed.
- a. According to paragraph 1.2.3, despite these changes, the townscape retains a high degree of historical continuity, maintaining a contained linear street pattern. This is in the form of linked spaces and sub-spaces, and with a notable variety and contrast in architectural styles and materials. The street width and alignment still follow the form established by the mid-19th century.
 - b. There are good surviving examples of buildings dating from the 18th and 19th centuries, including outstanding Georgian houses on the application site, and mid and late Victorian shopping parades. These illustrate the changes to building types in scale and style, together with examples of the interwar style of the 20th century (paragraph 1.2.3).
 - c. Paragraph 1.2.6 summarises the sub-areas. The northern part of the conservation area (Sub-Area A) is described as the best surviving townscape section of the High Road, containing some outstanding Georgian buildings – again these are in reference to the grade II* listed buildings on the application site.
 - d. However, although not specifically described in the CAAMP, despite the significant townscape presence and role of these buildings on the High Road, the area behind them is lacklustre and disappointing, with a largely neglected and disparate appearance, and with the historic buildings now juxtaposed with the utilitarian Sainsbury's supermarket building and its undercroft car park.
 - e. According to paragraph 1.2.7 the key features of the conservation area that need to be preserved and enhanced include:
 - f. the historic linear continuity of buildings either side of the High Road; and
 - g. maintaining the character of the townscape and its sense of a spatial sequence, highlighted by the mix of Victorian and Georgian buildings that help to give the street its scale and sense of place.
- 14.2.8 The character of Sub-Area A is discussed from paragraph 1.5.4 of the CAAMP onwards. The section of the High Road between Brantwood Road and White Hart Lane is the most complete part of the conservation area in terms of its surviving historic buildings and townscape form. It retains many Georgian and Victorian buildings, with their consistency of scale, height and frontage width (paragraph 1.5.4). The consistency of scale, height and frontage width, and the group value of the Georgian and Victorian buildings as part of the earlier linear development of the thoroughfare, is easily appreciable and a positive aspect of the conservation area. It is worth highlighting again that this does not apply to the area to the rear of these buildings, which has a disparate, neglected and fragmented character.
- 14.2.9 Paragraph 1.5.12 of the CAAMP describes the application site and its quoted in full below:
- “The east side continues south of Northumberland Park with a notable Edwardian corner building, a two-storey former bank in red brick with rusticated stone quoins and finely curved red granite pilasters on the ground floor, which partly conceals Nos. 808-810, two*

outstanding Grade II houses dating from c1715, set back from the road behind former front gardens. These are the perhaps the finest Georgian buildings to be found within the conservation area. Nos. 804-806 is a late-19th century commercial terrace that steps forward to the Victorian building line and is notable for the foliage decoration in bas-relief on the window lintels. The Georgian sequence resumes with a listed three-storey terrace of houses (Nos. 792-802, Northumberland Terrace) again set back from the road behind front gardens. No. 796, Percy House (listed Grade II*) is particularly important in the street scene with its fine forecourt railings and gates. No. 792, a mid-18th century house, steps forward slightly from the rest of the terrace and the sequence is visually closed by Dial House, the oldest building thought to date from the late-17th century. Although rebuilt after a fire in 1982 it remains a prominent building in the street scene and provides a suitable termination to this group of important buildings."*

- 14.2.10 This character sub-area is the best preserved and architecturally most diverse part of the conservation area (paragraph 1.5.14, townscape summary). Whilst of varying ages, the buildings contribute to a cohesive and contained streetscape that has a definite 'sense of place' despite the effects of the wide carriageway and density of road traffic (paragraph 1.5.14, townscape summary). Again, it is notable that the CAAMP is silent on the area at the back of these buildings.
- 14.2.11 The important Georgian houses and terraces survive as a more formal counterpoint to the varied mix of buildings of different dates on the west side of the High Road (paragraph 1.5.17, townscape summary).
- 14.2.12 Condition and development pressure: Section 1.7 of the CAAMP is entitled "*Condition and development pressure*". Paragraph 1.7.1 highlights the inclusion of the conservation area in Historic England's Heritage at Risk Register. It states that much of the degradation "is due to incremental alterations and poor standards of maintenance".
- 14.2.13 Paragraph 1.7.2 highlights the "*major new Sainsbury's supermarket in Northumberland Park*" but only in relation to the impact this will have on local shops.
- 14.2.14 Under the heading "*Boundary walls and Parking*", paragraph 3.4.13 highlights the contribution of walls, fences and other boundary treatments, to both front and back gardens make. It states that the removal of these, or the addition of a boundary treatment of a different height or type, will not be considered appropriate.
- 14.2.15 In summary, the following summary observations can be made when considering the CAAMP:
 - a. the conservation area is notable for preserving a 19th century townscape, incorporating notable surviving examples of earlier periods;
 - b. the hinterland (the areas immediately to the east and west) has changed considerably;
 - c. the townscape of the High Road retains a high degree of historical continuity, maintaining a contained linear street pattern along the High Road;
 - d. there are good surviving examples of buildings dating from the 18th and 19th centuries, including the outstanding Georgian houses on the application site;
 - e. Sub-Area A is the best surviving townscape section of the High Road, containing the outstanding Georgian buildings;

- f. whilst of varying ages, the buildings contribute to a cohesive and contained streetscape that has a definite 'sense of place' despite the effects of the wide carriageway and density of road traffic; and
- g. walls, fences and other boundary treatments, to both front and back gardens make an important contribution to the conservation area.

14.3 Role and contribution of the application site to the conservation area

- 14.3.1 The CAAMP rightly focuses exclusively on the important townscape role of the application site's frontage onto the High Road. The consistency of scale, height, traditional forms, materials and proportions, together with the frontage width, and the group value of the Georgian and Victorian buildings as part of the earlier linear development of the thoroughfare, is easily appreciable and plainly a positive aspect of the conservation area. That said, there are unsympathetic aspects to the High Road frontage, e.g. clutter on some elevations, unsympathetic front gardens and boundary treatments to historic buildings, such as Nos. 800-802, and the neglected state of some of the elevations, which have suffered decay, e.g. Nos 798-802. There is, perhaps unsurprisingly, no comment in the CAAMP on the poor quality rear extensions to the buildings (e.g. Nos 800-808) or the lacklustre and disappointing area behind these buildings, which has a largely neglected and disparate appearance. There are no redeeming or positive qualities to the application site behind the frontage buildings; the contrast between this neglected area and the good quality frontage is very stark. It is worth highlighting that the modern Lillywhite House can be seen behind the High Road frontage of the application site and the adjacent buildings. This makes for a contrast between the historic buildings and the modern hinterland.

14.4 The evolution of the area behind the listed buildings, and its contribution to the conservation area and the setting of the listed buildings

- 14.4.1 Before commenting on the contribution of the rear of the application site to the significance of the listed buildings, this section starts by first considering the evolution of this area; it follows from the earlier discussion of the history of the area at Section 6, but focuses specifically on the more recent evolution of the rear of the application site, as evidenced through historic aerial photos and satellite images. The first of these is an oblique aerial photo of 1923 at Figure 60 below:



Figure 60: An oblique aerial photo of 1923, from the south showing the rear gardens of Northumberland Terrace.

- 14.4.2 This oblique aerial photo is striking in that the area behind the listed buildings was at this time still almost rural, with the deep plots extending behind the houses shown with little interruption. There is, however, a building along the north, which was the 'precision machinery manufactory' as it is labelled on the 1935 Ordnance Survey map. This oblique aerial photo records the area before the onset of considerable change that would come to sweep away much of what can be seen behind the listed buildings on the photo.
- 14.4.3 The 1945 aerial photo (Figure 61), although blurry, shows the factory with its distinctive saw-tooth roof in place, with another building to the south, and possibly another smaller building to the west. Trees and linear garden walls/fences can still be seen in the remaining gardens behind the buildings fronting the High Road.



Figure 61: An aerial photo of 1945, showing the rear gardens of Northumberland Terrace.

- 14.4.4 Four years later, by 1949 (Figure 62), the factory had expanded westwards, with more development also evident on Northumberland Park and to the south of the factory. The rear gardens of the buildings fronting the High Road still remain recognisable as linear/verdant features, and some are still defined by fences or walls.



Figure 62: An oblique aerial photo of 1949, from the SE showing the land to the rear of Northumberland Terrace.

- 14.4.5 The oblique aerial photo of 1952 (Figure 63) shows the remaining gardens, though increasingly used for commercial activities, such as the shed-like buildings, or car parking, but with some greenery remaining.



Figure 63: An oblique aerial photo of 1952, from the north showing the land to the rear of Northumberland Terrace.

- 14.4.6 By the oblique aerial photo of 1961 (Figure 64) a similar situation can be seen, although the curved boundary that hitherto still remained, albeit fragmentary, behind No. 802 High Road, had seemingly been lost. This coincided with another subtle change: whereas previously there seems to have been a wall separating the sheds to the west of the factory from the rear gardens of the buildings fronting the High Road, this had gone, and the former garden seems to have become a yard that also subsumed the garden of No. 796.



Figure 64: An oblique aerial photo of 1961, from the SW showing the land to the rear of Northumberland Terrace.

- 14.4.7 There is a long gap in the sequence, with the satellite image of 1999 (Figure 65) taken nearly 40 years later. By this time there seems to have remained something of a preserved, albeit truncated, garden behind Nos. 808-810. There also seems to have been residual walls enclosing what was the vestigial remains of truncated gardens behind Nos. 794 and 796. But it is also apparent that these were in fact open yards, with several cars parked in the 'garden' of No. 794, for example. Elsewhere, what was previously left of the gardens had become replaced by buildings, access ways and hardstanding by the time of the 1999 image.



Figure 65: A satellite image of 1999, showing the land to the rear of Northumberland Terrace.

- 14.4.8 A satellite image dated 2006 records a similar situation. The undated, pre-2013 satellite image below (Figure 66) shows the construction site of Lillywhite House and the Sainsbury's, with the vestigial gardens behind Nos. 794 and 796 still evident, but with other walls either the remnants of demolished buildings, or part of the construction compound of the new building. The truncated garden behind Nos. 808-810 remained, as did a solitary tree behind No. 800. The buildings along the north of the application site, fronting Northumberland park and included in the construction compound, had all been demolished.



Figure 66: An undated, pre-2013 oblique image showing the land to the rear of Northumberland Terrace.

- 14.4.9 Today, the only a semblance of a garden is at No. 808, with the garden behind Nos.810-12 largely occupied by a single storey structure. The remnants of the other gardens have all been lost. More recently, the area behind Nos. 790-6 has been landscaped (mostly hard landscaping, but with elements of soft landscaping), and Percy House (No. 796) has been extended to the rear by F3 Architects in the form of a striking, glazed blue brick modern rear addition. This high quality new landscaping complements the Paxton building, a high quality modern addition to the east of Nos. 792-6, also by F3 Architects. These interventions can be seen on the aerial view below (Figure 67).



Figure 67: An aerial view of the high quality new landscaping to the east of Nos. 792-6.

- 14.4.10 The high quality of the public realm here, defined as it is on the east by the striking modern building, complements the back of the historic buildings fronting the High Road, though it is obviously and plainly very different and legible as part of a regeneration scheme. That is in stark contrast with the area to the north, behind Nos. 800-814. That area can be seen on the aerial view below (Figure 68). The modern Lillywhite House can be seen behind the High Road frontage of the application site and the adjacent buildings in longer views from the west; this makes for a contrast between the historic buildings and the modern hinterland. The new stadium is likewise visible in views from the north.



Figure 68: An aerial view of the contrast between the high quality new landscaping to the east of Nos. 792-6 and the area to the north, behind Nos. 800-814.

- 14.4.11 The contrast between the high quality public realm to the south, addressed by the rear elevations of the historic buildings (which have been restored and tidied up) and the high quality Paxton Building to the east on the one hand, and on the other hand the concrete hardstanding, used as an informal car parking area and addressed by the back of the Sainsbury's supermarket's blind, metal clad back elevation, is stark. The situation is exacerbated by the general atmosphere and sense of neglect, including the generally poor quality of the back of the listed and unlisted buildings on the High Road, characterised by clutter such as satellite dishes, pipes, steel staircases, plant, steel window grilles, a preponderance of non-original low quality windows, and ad hoc rear accretions/extensions.
- 14.4.12 This is exactly the kind of area that paragraph 200 of the NPPF must have been written for, urging as it does local planning authorities to look for opportunities for new development within conservation areas and the setting of heritage assets to enhance or

better reveal their significance.

14.4.13 Step 2 of GPA3 requires an assessment of the degree to which this part of the setting of the listed buildings contribute to their significance, or allow their significance to be appreciated (this assessment of contribution holds true for the conservation area as well). In its present state, this area plainly detracts from the significance/appreciation of the listed buildings, and the quality and character and appearance of the conservation area, for the following reasons:

- a. there are no meaningful plot boundaries left, aside from the residual areas behind Nos. 808-810 (and even that is only a vestigial garden component);
- b. the cracked concrete hardstanding, now used as an informal car parking area and storage compound, markedly detracts from the quality and character of the area, and the immediate environment within which the listed buildings are experienced;
- c. the space has the appearance of a leftover fragment of neglected townscape;
- d. it is a harsh and unwelcoming environment, with no evident purpose beyond the utilitarian, and no reason to dwell, or any other redeeming qualities;
- e. the sense of neglect of the space is exacerbated by the generally poor quality of the backs of the historic buildings fronting the High Road, which address the area but which are in poor condition and with a preponderance of low quality, unsympathetic extensions, along with clutter.

14.4.14 In summary, this is a harsh, unwelcoming very poor quality environment that is in an unfortunate state. The present state of affairs is the result of years of cumulative development that can be traced back to the establishment of the factory in the 1920s, and subsequent incremental changes to the area over the decades. That culminated in the construction of the Sainsbury's, which now presents a utilitarian dead frontage on the east, and with the area itself now essentially used as an informal car park. It is an area that is in dire need of investment, purpose and activity; in its present state this area can best be described as an eyesore that detracts markedly from both the setting of the listed buildings, and this part of the conservation area. This is exactly the kind of area that paragraph 200 of the NPPF seeks to enhance by embracing opportunities to do so.

15 SETTING AND CONSERVATION AREA IMPACT ASSESSMENT

15.1 The broader context of the proposed development

- 15.1.1 Before assessing the proposals, it is important to place the proposed development in context, including the context of the Council's aims and vision for the regeneration of the area, and Historic England's 'case study' document for the Tottenham High Road Historic Corridor Conservation Area. This context establishes the principle of the proposed development, before the development itself is then assessed.
- 15.1.2 Turning first to the Council's vision and objectives, the Tottenham Area Action Plan (AAP) includes the objectives to:
- a. To ensure that new development complements and enhances the Historic Corridor and the designated and non-designated heritage assets within it, bringing vacant assets back to use as appropriate; and
 - b. To introduce a mixture of residential, commercial, retail, education, community, leisure and hotel uses, and improved public realm across the site.
- 15.1.3 AAP Policy AAP8, which deals with development along Tottenham High Road, states at Part A that the Council will encourage heritage-led regeneration and development on Tottenham High Road. Proposals will be supported where it is demonstrated that development will positively enhance the overall character and setting of the Tottenham High Road Historic Corridor.
- 15.1.4 Part A of the same policy states that development that positively enhances the distinctive character and setting of neighbouring and nearby buildings, and produces improved views along the High Road, including views from adjacent streets, will be supported.
- 15.1.5 Part F of the same policy states that opportunities to create new space for enterprise and commercial uses to the rear properties fronting the High Road will be permitted.
- 15.1.6 The site falls within area NT7: Tottenham Hotspur Stadium. Under the heading "*Site Allocation*" part A states the requirement for redevelopment of the existing football stadium to increase match day capacity "*with the introduction of residential, commercial, retail, education, community, leisure and hotel uses, and improved public realm across the site* [emphasis added]".
- 15.1.7 Historic England's 'case study' document for the Tottenham High Road Historic Corridor Conservation Area describes the area as "*intensively developed, high-density urban environments*" and the proposals should be considered within the context of an area characterised as high density and intensely developed. The Historic England document highlights the great need to respond to the challenges faced by the area through a comprehensive regeneration framework, notably stating:
- "The idea is that these [heritage] assets are appropriately integrated into new developments and master plans with continued use and protection. The highest quality of design and public realm is expected of any new development that may have an impact on the setting of the assets."*

- 15.1.8 The correct starting point and first principles for assessing the impact of the proposed development therefore must include recognition that:
- a. The land behind Nos. 798-814 is a harsh, unwelcoming and very poor quality environment that is in an unfortunate state.
 - b. It is an area that is in dire need of investment, purpose and activity.
 - c. In its present state this area can best be described as an eyesore that detracts markedly from the setting of the listed buildings, and from the unlisted buildings, and from this part of the conservation area.
 - d. Paragraph 200 of the NPPF seeks to enhance areas such as this, by embracing opportunities to do so.
 - e. This also reflects policy objectives in relation to heritage assets, and specifically the Council's vision and objectives; the Tottenham Area Action Plan.
 - f. Historic England's 'case study' document for the Tottenham High Road Historic Corridor Conservation Area likewise seeks to ensure that heritage assets are appropriately integrated into new developments, and the highest quality of design and public realm of new development in the setting of the assets.
- 15.1.9 Starting from first principles, F3 Architects have been involved in the regeneration of the area for several years, including the Paxton Building and the restoration of Percy House; the scheme architects are very familiar with the context and have demonstrated a track record of sensitive, yet contemporary approach to reusing and regenerating historic buildings. The group of buildings at Northumberland Terrace has been recognised from the outset as representing the finest assemblage of Georgian properties in the Tottenham High Road Historic Corridor, and as heritage assets of the highest significance. It has also been recognised that the terrace can play a key role in the wider regeneration of the area, and as an example of positively responding to a sensitive heritage context, and as an example of high quality place-making. The positive effect of townscape and public realm improvements are well-illustrated in the newly landscaped area behind Nos. 790-796. The primary conservation aim of the proposed development is to provide a further continuation of that successful precedent, with a coherent and unified approach to the whole of the area behind the Northumberland Terrace group.

15.2 Impact assessment

- 15.2.1 The following section considers the impacts of the proposed development by reference to the indicative views of the proposed development, under the following headings:

Interventions to the existing historic buildings

Appearance

Scale

Change to general character

Detailing and materials

Public realm

Activity and use

15.2.2 **Interventions to historic buildings:** The interventions proposed to the rear of the existing building are illustrated on the elevated oblique view below (Figure 69).



Figure 69: An elevated oblique view of the proposed development.

15.2.3 The key changes are the removal of much clutter, the large extension and the ad hoc rear structures behind No. 800-802 (see Figures 70-71) and replacement of these with a single, modern, rationalised rear extension that opens onto and communicates with the new public realm. The two storey rear extension to No. 798, with its plethora of plant and pipework is replaced with a rationalised, wider but lower extension that will improve the elevation.



Figure 70: The back of Nos. 800-804.



Figure 71: The back of Nos. 804-806.

- 15.2.4 This will better reveal the rear elevation of the listed buildings, and greatly improve their status and role when seen from the new public realm, which incorporates pleasing areas of soft landscaping. That can be seen from the comparative images below (Figures 72 - 74).



Figure 72: The back of Nos. 800-802.



Figure 73: Proposed view of the back of Nos. 800-802.



Figure 74: Proposed view of the back of Nos. 800-802.

- 15.2.5 The unlisted terrace at Nos. 804-806 terrace has a stepped building line, which creates a recessed space at the rear that it is proposed to infill with a two storey extension that is separated from the host building by a link structure, which differentiates the two built forms. This structure opens onto a small public space, with adjacent benches, lighting columns and soft landscaping. This can be seen on the image below (Figure 75).



Figure 75: Proposed view of the back of Nos. 804-806.

- 15.2.6 A roof terrace on the extension overlooks the new square and provides reciprocal views of the back of the host building, along with the views that will be possible from within the link structure. This will remove clutter to the rear of the terrace, and although the new extension will obscure much of the rear elevation of the terrace, it will be a considerable improvement compared with the existing situation, which can be seen below.



Figure 76: The back of Nos. 804-806.

- 15.2.7 The new structure will introduce an active frontage and an appropriate use, with associated movement and animation to this area that would greatly enhance the use and function of the new public space.
- 15.2.8 The design is simple, clean and modern, creating a sense of coherence with the existing extension to Percy House and the proposed extension to No. 800. The lower height of the structure defers to the adjacent listed buildings, retaining the primacy of these when seen from the rear, and in various oblique views across the area. This structure preserves the significance of the conservation area and the setting of the listed buildings.
- 15.2.9 A replacement/new extension is proposed at No. 808, in the location of an existing 20th century extension, which will mirror an approved extension to the other half of the symmetrical pair, Nos.810-812 (approved under application ref HGY/2017/1182). The Officer's Report for the extension to No. 810-12 noted that the house formed part of a symmetrical pair with No. 808, and in the case of the extension to Nos. 810-12 stated that the extension would be glazed and lightweight in character, and only single storey, to distinguish it from the original building, to provide full access and use of the rear garden and to allow unobstructed appreciation of the original main rear elevation. It was considered to have a minimal impact on the building's fabric and setting.

- 15.2.10 The existing situation is shown on the photo below (Figure 77), with the proposed extension illustrated below that (Figure 78).



Figure 77: The back of Nos. 810-812.



Figure 78: Proposed view of the back of Nos. 810-812

- 15.2.11 The rear elevation of the existing building is obscured and disfigured by the full width rear extension, which has upset the symmetry of the pair and partially obscures the distinctive tall first floor window and has led to the truncation of the adjacent landing window of No.

808. The rear door and bay window arrangement seen at No. 812 has also been lost.
- 15.2.12 The proposed development would create a far more legible and symmetrical composition in which the significance of the building, as a symmetrical pair and in terms of the restored/reinstated rear elevation of No. 812, would be much better revealed. This is a considerable benefit to the setting of the listed pair. The historic boundary wall will be retained and a 'memory' of the boundary divisions between the properties will be preserved in clearly demarcated lines in the landscaping and the small rear garden area. This preserves and enhances the significance of the listed pair.
- 15.2.13 In conclusion, the proposed replacement extensions to the listed buildings at Nos. 798 & 800 would be beneficial in terms of better revealing and enhancing the character of the building, and likewise improving the setting of the adjacent listed buildings and this part of the conservation area. The extension to the unlisted terrace at Nos. 804-806 would be appropriate in scale and design, and facilitate and active use that would materially enhance the function and character of the space. It is offset from the terrace by a linking structure that preserves a sense of the frontage block. The replacement rear extension to No. 808 and the associated landscaping will considerably improve the setting and appreciation of the listed pair.
- 15.2.14 Finally, whilst this section focuses on the new public space to the rear of the buildings on the High Road, the repairs and improvements to the fronts will also improve and enhance the important 'public face' and frontage of the buildings.
- 15.2.15 **Change to general character:** The best way in which to summarise the proposed changes in terms of the general character of this area is to describe it as a complete reversal of fortune of this dilapidated and sorely neglected area behind Northumberland Terrace. This lacklustre area, which currently detracts from the conservation area and the setting of the listed buildings, is an eyesore in its present state. It is a neglected and a functionally redundant, discordant and fragmented piece of townscape that is on one side addressed by the fenced-off, blind elevation of a superstore and on the other side the neglected and dilapidated, ad hoc extended back elevations of the buildings on the high street. It is paved with a combination of cracked concrete hardstanding and tarmac, and it is a hard, unwelcoming and unforgiving space for pedestrians.
- 15.2.16 To the north, on Northumberland Park, is a modern red brick building of poor quality and of no value, with a back yard/compound enclosed by a wall. This is an element that detracts from the conservation area in views both from the south, within the backland area, and when seen from Northumberland Park, e.g. the view below (Figure 79). It similarly detracts from the setting of the locally listed No. 814 High Road.



Figure 79: The view of the application site from Northumberland Park.

- 15.2.17 The proposals will see the wholesale transformation of this area to one that is visually integrated with the high quality space to the south, defined by high quality new buildings that introduce interest, activity and movement. The public realm will be carefully landscaped, with quality hard landscaping, street furniture and carefully considered areas of soft landscaping. The result will be a pocket of high quality new townscape that it is difficult to envisage when looking at the area today.
- 15.2.18 The change in character would transform an area that detracts from the quality and character and appearance of this part of the conservation area, and the quality and character of the setting of the listed buildings. This would be considerable enhancement.
- 15.2.19 A new building range on Northumberland Park will enclose the space to the north, with and access at street level, and significantly improve this part of the conservation area, making for a logical transition between the locally listed former bank at No. 814 High Road and the Sainsbury's superstore to the east. This would enhance the streetscape on Northumberland Park. The locally listed No. 814 High Road retains its corner presence; it is neither dominated nor visually overpowered, and instead the new range stitches it back into a good quality urban townscape.
- 15.2.20 Whilst the new building on Northumberland Park will inevitably obscure some of the views of the rear of the buildings on the High Road, these are no significant views and it is in the context of a development that would create a welcoming new public realm from where the buildings would be better appreciated, in a much improved setting.

15.2.21 **Scale:** At present the blind elevation of the Sainsbury's superstore defines and encloses the space on the east. This large and monolithic elevation stands in stark contrast with the historic buildings on the High Road (Figure 80). The proposed development would continue the scale of the Paxton Building, opposite No. 792. This can be seen on the photo below, with the visualisation showing the continuation of the same scale of built form in the new structures (Figure 81).



Figure 80: The view of the Sainsbury's superstore addressing the application site, with the Paxton Building beyond.



Figure 81: Proposed view of the new building in front of the Sainsbury's superstore.

- 15.2.22 In much the same way that the Paxton Building stands successfully at an appropriate scale, and properly defines the space between it and the listed buildings at the south end of Northumberland Terrace without dominating it, the new façade here will continue the same scale and definition of space.
- 15.2.23 The perceived scale at ground level is reduced by the setback rooftop elements, and the mass of the structure is cleverly and successfully broken down through the use of a faceted elevational depth, creating a distinct rhythm, together with the use of materials and openings to the elevations. The scales gives definition and enclosure to the space and, as the southern structure demonstrates, fits well into the space.
- 15.2.24 The new building range on Northumberland Park is a full storey lower in response to the townscape, but follows a similar design language that ties the space together coherently, and with the setback to storey breaking down the mass, but still defining the new public space. Critically, this new building will not be seen above the roofs of the historic terrace from the High Road and verified views are included in the Design and Access Statement to illustrate this. View 1 shows that the top of the new building would just be visible behind Northumberland Terrace in longer views, although it would be much lower than Lillywhite House, with no change to the skyline.
- 15.2.25 **Appearance:** The design of the new buildings is plainly modern, but with a subtle industrial aesthetic that draws on the history of this area, as has been illustrated in the first part of this section. The faceted design of the courtyard elevation, and the rooftop elements, make for a subtle play on the sawtooth roof of the former factory. The blue engineering brick plinth evokes robust industrial structures, but with a modern twist in the way it ‘dissolves’ above ground level. The fenestration accentuates the industrial aesthetic, without overplaying it, or becoming banal as a reference. The elevational rhythm and depth create a great deal of visual interest, and it is especially important in this space, where the linear nature of the space means that the new façade will inevitably be seen obliquely. It is stating the obvious that the new elevation to the east would be a dramatic improvement on the harsh, blind utilitarian metal clad elevations of the Sainsbury’s superstore; this is plain to see on the images below (Figures 82-83).



Figure 82: The view of the Sainsbury's superstore addressing the application site.



Figure 83: Proposed view of the new building in front of the Sainsbury's superstore.

15.2.26 Added to this is the considerable improvement to the appearance of the area brought about by the integration of high quality paving, street furniture and soft landscaping.

- 15.2.27 The general change in appearance would transform the area, from a detracting utilitarian back of a superstore to a high quality, sympathetically designed and well-detailed new development. This would materially enhance the appearance of this part of the conservation area, and the setting of the listed buildings.
- 15.2.28 The Northumberland Park elevation draws on similar themes, although this block does not have the faceted elevation and the engineering brick is, appropriately to the context, replaced with brick and a section of glazed brick that is subtly redolent of 19th century commercial and public buildings, and responds to the former bank nearby, as well as the commercial heart of the High Road.
- 15.2.29 **Detailing and materials:** The detailing materials have already been touched on above in the consideration of the subtle industrial aesthetic of the new courtyard elevation and the Northumberland Park frontage. The use of brick is contextually appropriate and complements the back of the historic terraces on the High Road, and the area generally, whilst also being evocative of industrial architecture. The change in colouration of brick above ground level of the courtyard is a fun and clever way of adding interest, and the elevations show an attention to detail in the use of materials, forms, colours and materials that make for a coherent and pleasing design. The contrast with the blind utilitarian metal clad elevations of the Sainsbury's superstore could hardly be starker. Likewise, the robust and high quality Northumberland Park frontage will create a well-designed modern shopfront, and entrances into the site.
- 15.2.30 **Public realm:** The proposals provide for a comprehensive new public realm, with an emphasis on the integration of the historic buildings, both listed and unlisted, into this new urban space. The present harsh and unforgiving pedestrian environment, with no redeeming qualities, would be transformed into an area where the emphasis on the public realm is reflected in the quality of the hard landscaping, the integration of soft landscaping, and the ample provision of benches, creating an inviting and welcoming space.
- 15.2.31 There are different defined spaces, e.g. the café, the new square, the garden at the back of Nos. 808-12, and the extension to the unlisted terrace; although they are demarcated, there is no hard segregation, with a sense of gentle spatial continuity and flow. The subtly demarcated spaces retains a clear cohesion and visual/spatial integration across the area. Overall, the quality of the public realm is good, with well-connected and integrated spaces that would breathe life into a neglected and disused backland area which at present is generally avoided, and could not meaningfully be described as 'public realm'.
- 15.2.32 **Activity and use:** The new buildings provide for a mix for uses and functions that would draw activity and footfall, as would the cafés in the proposed extensions. The space would become activated through active frontages and outdoor seating, and also through the ratio of public space against buildings. Whilst the High Road is relentlessly traffic-laden, this new space is sheltered from the traffic and it is likely to draw people because of being sheltered from the noise and bustle of the traffic along the High Road, and with a good balance of uses and with ample seating.

- 15.2.33 Again, the introduction of activity would be a complete transformation of an area that is at present best described as one that is generally avoided, and where pedestrian activity and dwell time is minimal.
- 15.2.34 **Conclusion:** In conclusion, the proposed development would transform this neglected and disused area with a high quality development that would appropriately define and enclose a new public space. The quality and character of the setting of the listed buildings, and this part of the conservation area, would be radically transformed. This, together with the activity and use of the space, would greatly enhance the setting of the listed buildings, and this part of the conservation area.
- 15.2.35 The listed buildings have settings that overlap with each other, as well as with the locally listed building. The assessment has not identified any harm to the setting of the listed buildings in this area (or the conservation area). The assessment has focussed on the application site as an area, but in the same way that the setting of the building as an ensemble would be enhanced, the setting of each of the individual buildings would be enhanced (and also their group value as an ensemble). None of the individual buildings would be harmed by any of the nearby extensions, or changes to their setting. The enhancements to the contribution of their setting to their significance is similar for the buildings individually as for the group, and no additional impacts have been identified to individual buildings on the application site, or the neighbouring/nearby listed buildings.
- 15.2.36 AAP Policy AAP8 part A supports development which positively enhances the distinctive character and setting of neighbouring and nearby buildings. The proposed development would do exactly that.
- 15.2.37 AAP Policy AAP8 part F states that opportunities to create new space for enterprise and commercial uses to the rear properties fronting the High Road will be permitted, and again this proposal would achieve exactly that objective.
- 15.2.38 Part A of the NT7 allocation requires redevelopment to improve the public realm across the allocation site, and such an improvement is at the heart of the proposed development.
- 15.2.39 Historic England's 'case study' document for the Tottenham High Road Historic Corridor Conservation Area describes the area as an intensively developed, high-density urban environment, and the proposals appropriately respond to this area.
- 15.2.40 The Historic England document requires heritage assets to be appropriately integrated into new developments, and the highest quality of design and public realm for development in the setting of heritage assets. Again, the proposed development achieves exactly that.
- 15.2.41 Paragraph 200 of the NPPF states that local planning authorities should look for opportunities for new development within conservation areas and the setting of heritage assets to enhance or better reveal their significance, which is precisely the aim of the proposed development.
- 15.2.42 Overall it is a sympathetically designed development, of the highest quality that not only

preserves, but materially enhances the setting of the listed buildings and this part of the conservation area.

16 CONCLUSIONS

16.1 Overview of the baseline and proposed development:

- 16.1.1 The group of buildings at Northumberland Terrace comprises the finest ensemble of Georgian properties in the Tottenham High Road Historic Corridor, and individually some of these are heritage assets of the highest significance. Despite the recent restoration work to the grade II* listed Percy House and its separately grade II* listed Entrance Gateway, undertaken by THFC under the direction of F3 Architects, much of Northumberland Terrace remains in an unfortunate state of neglect.
- 16.1.2 The buildings are in fragmented use, and have evidently suffered from a lack of investment over the years (an issue within the wider area), together with inappropriate extensions and alterations that detract from the group of buildings.
- 16.1.3 The area at the rear of much of Northumberland Terrace, with the exception of the recently regenerated area behind Nos. 790-796, is a harsh, unwelcoming and very poor quality environment that is in an unfortunate state. The state of this area is exacerbated by being addressed by the back of a superstore, and in its present state it is best described as an eyesore that sorely detracts from the setting of the listed buildings and this part of the conservation area.
- 16.1.4 The proposed development is part of an on-going programme of restoration and regeneration at Northumberland Terrace, intended to be an exemplar of the desperately needed regeneration along the Tottenham High Road Historic Corridor. This regeneration started with the recent restoration of Percy House and its entrance gateway, as well as the new high quality landscaping and redevelopment at the rear of Nos. 790-796. A separate approval has been granted for the restoration of the grade II* listed Holly House (Nos. 810-12), and work is being undertaken for separate applications for the restoration of, and alterations to, No. 790 (grade II* listed), 792 and 794 (both grade II listed).
- 16.1.5 The Creative Quarter that forms part of this proposal is an essential component of the regeneration vision for Northumberland Terrace, and it involves the largest and most ambitious part of the scheme that will create a linked, high quality public realm behind Northumberland Terrace. It offers a unique opportunity for a holistic approach to the regeneration of the whole of the area behind Northumberland Terrace, from Northumberland Park to the new stadium, as part of a single, coordinated scheme that would introduce activity and new uses in the form of a vibrant Creative Quarter, in place of the present back of the superstore and informal car parking.
- 16.1.6 The proposed development can, in essence, be summarised as follows:
 - a. Restoration of some of the listed buildings, including rear extensions and internal alterations to bring them into beneficial viable use and tie them into the new Creative Quarter.
 - b. Improvements to the setting of the whole stretch of Northumberland Terrace, to

enhance the High Road frontage, and to significantly improve the land to the rear, which will create a pedestrian link between Northumberland Park and the new stadium, with high quality new landscaping and other improvements to facilitate the new Creative Quarter.

16.2 The restoration of, and alterations to, the buildings:

16.2.1 The alterations to the buildings comprise:

- a. The conservation repair and enhancement of the listed buildings and non-statutory heritage assets, in order to protect their historic fabric and improve their appearance.
- b. The removal of poor quality materials and former unsympathetic repairs to roofs and elevations. To include reinstatement of lead roof valleys, stone coping, slate and tile finishes and lime pointing, in order to improve the longevity of the buildings.
- c. The removal of unsympathetic extensions, fire escapes and services, and replacement with high quality design to give an improved unified appearance to the terrace.
- d. The replacement of modern boundaries and poor quality concrete-based landscaping with evidence based high quality railings, paving, traditional materials and landscaping, to enhance the settings and appearance of the group.
- e. The re-instatement of previously lost elevations, openings and proportions, to better appreciate and understand the design and unity of the historic terrace.
- f. The removal of modern partitioning and the reinstatement of significant interior volumes and missing/ damaged design details, where evidence of their former appearance can be discerned. These include stair balustrades, panelled rooms, fireplaces, windows and doors; in order to enhance the appearance, use and understanding of the buildings.
- g. The simplification of the plan and relocation of services, so that services are located least intrusively in the extensions, hidden cupboards and valleys; and within secondary rather than primary spaces.
- h. Reinstating the symmetrical Georgian plan where practical, in order to better understand the buildings.
- i. Enhancing the thermal performance and use of the buildings using high quality detailing, materials and conservation methods in accordance with HE advice and previously approved enhancements carried out at Percy House.

16.2.2 The detailed, room-by-room assessments have identified a multitude of benefits, often of a low level but nevertheless beneficial and of a great number. By contrast, only a very few instances of low-level harm have been identified. Together, this indicates a clear and unambiguous net heritage benefit when considering the physical alterations to the buildings.

16.2.3 The overall conclusion of the impacts of the proposed changes to number 798 is a net low/moderate beneficial impact.

16.2.4 The overall conclusion of the impacts of the proposed changes to numbers 800 and 802 is a low/moderate beneficial impact generally, as well as a considerable enhancement to the rear elevation (moderate beneficial).

16.2.5 The overall conclusion of the impacts of the proposed changes to numbers 804 and 806 is

that their significance as undesignated heritage assets and their contribution to the conservation area would be preserved and enhanced.

- 16.2.6 The overall conclusion of the impacts of the proposed changes to number 808 is a net low beneficial impact, despite a low level of harm due to the partial loss of fabric to the garden wall behind the house.
- 16.2.7 In all, it is concluded that the proposed repairs, reinstatements and enhancements follow the conservation principles already established in pre-application discussions and in the work carried out at Percy House. They overwhelmingly preserve and/or enhance the character, significance and interest of the heritage assets. This provides for a considerable net heritage gain.

16.3 The setting/conservation area (the new Creative Quarter)

- 16.3.1 The importance of the group of buildings at Northumberland Terrace has been recognised from the outset. It has also been recognised that the terrace can play a key role in the wider regeneration of the area, and as an example of positively responding to a sensitive heritage context, and as an example of high quality place-making.
- 16.3.2 This is at present a harsh, unwelcoming and very poor quality environment that is in an unfortunate state. The present state of affairs is the result of years of cumulative development that can be traced back to the establishment of the first factory in the 1920s, and subsequent incremental changes to the area over the decades. That culminated in the construction of the Sainsbury's, which now presents a utilitarian dead frontage on the east, and with the area itself now essentially used as an informal car park. It is an area is a fragmented piece of left-over townscape that is in dire need of investment, purpose and activity; in its present state this area can best be described as an eyesore that detracts markedly from both the setting of the listed buildings, and this part of the conservation area. This is exactly the kind of area that paragraph 200 of the NPPF seeks to enhance, by embracing opportunities to do so.
- 16.3.3 The proposed development would transform this neglected and disused area with a high quality development that would appropriately define and enclose a new public space, with high quality new additions to the historic buildings, and the instruction of new uses and activity. The quality and character of the setting of the listed buildings, and this part of the conservation area, would be radically transformed. This, together with the activity and use of the space, would greatly enhance the setting of the listed buildings, and this part of the conservation area, as would the new building range to Northumberland Park.
- 16.3.4 The listed buildings have settings that overlap with each other, as well as with the locally listed building. The setting of each of the individual buildings would be enhanced (and also their group value as an ensemble). None of the individual buildings would be harmed by any of the nearby extensions, or changes to their setting. The enhancements to the contribution of their setting to their significance is similar for the buildings individually as for the group, and no additional impacts have been identified to individual

buildings on the application site, or the neighbouring/nearby listed buildings.

16.4 Overall conclusions

- 16.4.1 Together with the physical alterations to the listed and unlisted buildings, the improvements to the setting of these buildings, and this part of the conservation area, bring considerable heritage benefits which weigh heavily into the overall planning balance.
- 16.4.2 Because the proposed development would, overall, result in considerable enhancements to the buildings, their setting, and the conservation area, there are no policy conflicts and the proposed development does not engage the provisions of s. 66 and 72 of the 1990 Act, other than attaching great weight, to the enhancements to the conservation area and the setting of the listed buildings.
- 16.4.3 For the purposes of the NPPF, it is considered that the proposals as a whole will not cause harm of any degree to any designated or non-designated heritage asset.
- 16.4.4 To the extent that it is considered that any instances of harm are caused by specific individual elements of the proposed works when considered in isolation, these can only constitute “less than substantial harm” at the very lowest end of the “less than substantial harm” spectrum. Any such “less than substantial harm” will be significantly outweighed by the heritage-specific and wider public benefits of the proposals for the purpose of paragraph 196 of the NPPF.
- 16.4.5 The heritage-specific benefits of the proposed development indicate a clear and compelling case for approving the application, although that is subject to the overall planning balance, which is carried out in the Planning Statement.