

NORTHUMBERLAND TERRACE

PHASE 3: NOS. 798 TO 808 HIGH ROAD AND LAND TO REAR

NT-1000-ZZ-ZZ-RP-A-00001

DESIGN & ACCESS STATEMENT
March 2020



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- 01 Introduction
- 02 Site Description & Context



Section 1 of 5



From Paxton Place looking north into the heart of the proposals



01 INTRODUCTION

This Design and Access Statement has been prepared by F3 Architects LLP, on behalf of Tottenham Hotspur Football Club (TH), to accompany a full application for Planning and Listed Building Consent submitted to the London Borough of Haringey (LBH).

This statement has been prepared in response to the requirements of the Town and Country Planning (General Permitted Development Procedure) (Amendment) (England) Order 2015 for planning applications to be accompanied by a Design and Access Statement.

The report is submitted in support of the application by TH for the next phase of the 'mini- masterplan' which addresses the area to the north west of the stadium – the Northumberland Terrace. Phase 1 saw the completion of the Paxton Building, a Ticketing Hub, offices, retail and associated public realm. Phase 2 restored the external envelope of the Grade II and II* buildings adjacent Paxton Place.

Phase 3 comprises the following existing and proposed built elements:

Existing:

- No. 798 High Road
- No. 800 High Road
- No. 802 High Road
- Nos. 804-806 High Road
- No. 808 High Road

Proposed:

- A new-build, four storey commercial unit
- A landscaped courtyard to rear of High Road properties

The Northumberland Terrace development aims to support the growing regeneration of Tottenham, initiated by the completion of the new stadium, approved as part of the Northumberland Development Project (NDP) (HGY/2015/3000). The proposed scheme is considered to be the third phase of a 'mini-masterplan' to transform the defunct garden boundaries to the rear of the existing terrace running from No. 790 to 814 High Road, alongside sensitive enhancements to the buildings themselves.

The Applicant and their consultant team have undertaken a pre-application consultation process and have sought advice from LBH and Historic England (HE) in relation to the proposed development of the NT site. Details of the consultation process are addressed within this report and the Statement of Community Involvement within Quod's Planning Statement.

This Design and Access Statement is focused on the overall planning and development context of the proposed scheme in parallel with the project's design and access. Detailed assessment of the existing buildings and their historical significance are addressed, along with an assessment of the extent and impact of proposals on the heritage assets, within the accompanying Heritage Statement prepared by F3 Architects LLP, Corrie Newell, Historic Building Consultancy, and Ignus Froneman, Cogent Heritage. This statement should be read alongside the planning application drawings and associated reports.



Percy House, No. 796 High Road - restored gate detail



Percy House, brickwork detail to rear extension



Percy House, framing of the rear elevation



The Paxton Building - completed bronze cladding



Encouraging movement up the activated High Road



Warming House, restored as part of the NDP

02 SITE DESCRIPTION & CONTEXT

2.1 SITE DESCRIPTION

The application site is located in Tottenham, within the Northumberland Park Ward and the administrative boundary of LB Haringey. The site boundary is within the North Tottenham Conservation Area.

The site is bounded by:-

- Northumberland Park to the north - specifically the open yard behind the Grade II Listed Nos. 816-818 High Road, and the non designated Nos. 3 and 5 Northumberland Park, 3 storey existing Victorian brick buildings with residential units over ground floor retail space.
- No. 796 High Road, 'Percy House', The Paxton Building, and Paxton Place to the south. The restoration and extension of Percy House (THF) (HGY/2015/1488 & 14903), completed in 2018, was a key early development in the works towards the 'mini-masterplan' for Northumberland Terrace and has given a home to TH's charitable foundation. The Paxton Building and Paxton Place are seen as Phase 2 of the 'mini-masterplan' and were completed in the spring of 2019 forming an important entrance threshold to the proposed site.
- Lilywhite House to the east. Completed in 2014; a substantial five storey building, approximately 25m high and occupying a footprint of 1.2Ha, comprising the Sainsburys superstore and car park fronting Northumberland Park; the London Academy of Excellence in Tottenham (circa 700no. pupils); and TH's administrative offices (HGY/2011/2350 and HGY/2013/1976). The development seeks to build against the existing blank elevation to Lilywhite House providing a new, activated, edge to the public realm and masking and sharing the blind fire escape stair core.
- There is an existing substation on the site, to the northeast, facing Northumberland Park. The intention is that this single storey volume is retained and built into the proposals.
- High Road (A1010) is to the west. The parts of the historic Northumberland Terrace which front the High Road face the junction with White Hart Lane which include the non designated No. 791 opposite No.798; locally listed Nos. 793-795 opposite Nos. 800-802; Grade II listed Nos. 797 and 799 opposite No. 804; locally listed Nos. 801 and 803 opposite Nos. 805 and 806 and the non designated No. 807 opposite No. 808. The existing buildings on the west side of the High Road are of between three and four storeys with ground floor retail and a public house with residential units above.
- The new TH stadium NDP site is to the south (HGY/2015/3000). This major urban regeneration project occupying 8.97Ha and rising to a height of 44m, received planning permission in 2016 and were completed in the spring of 2019. The hybrid scheme comprises the redevelopment of TH's existing White Hart Lane site and surrounding land to create a contemporary 62,000 capacity world class stadium facility with associated public realm, retail, museum, sports and residential buildings.

The application site occupies an area of approximately 0.38 hectares. The site measures approximately 45m from east to west and 80m from north to south.

It includes Nos. 798 to 808 of the existing historic terrace, and their front curtilage, and the area behind, running east to the existing Sainsburys elevation, north to the edge of the pavement at Northumberland Park, including the building to the rear of No. 814 High Road and south to the threshold with Percy House and Paxton Place.

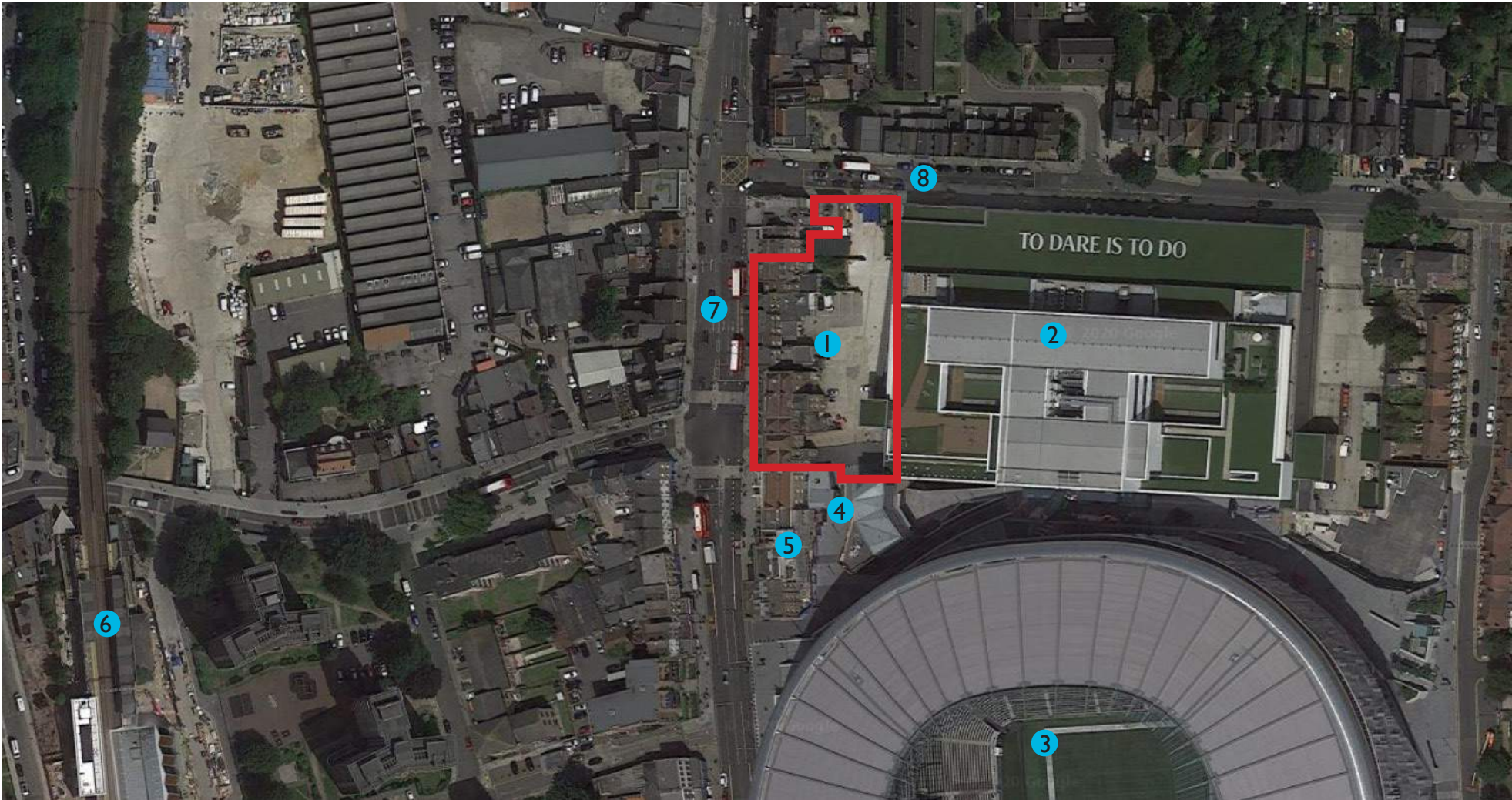


Figure 1 - Aerial view of the site and immediate context

See Figure 2 for details of the listed status and areas of the existing terrace properties forming part of the overall 'mini-masterplan.'

The site is predominantly surfaced with tarmac and concrete hard standing to provide vehicular parking and access routes. A mixture of contemporary timber fences and remnants of former historic masonry boundary walls form the boundaries between the respective individual High Road properties and Lilywhite House.

No existing trees are affected by the proposals, only small scale vegetation to the rear of No. 808 High Road.

Relevant national, regional and local planning policy, as well as development context are covered in detail within the Planning Statement prepared by Quod (planning consultant) that forms part of this application submission. It is noted that a key design driver for the proposed scheme is the site's location within the North Tottenham Conservation Area and the setting of the adjoining Listed Buildings.

- 1 APPLICATION BOUNDARY
- 2 LILYWHITE HOUSE
- 3 THE TOTTENHAM HOTSPUR STADIUM
- 4 THE PAXTON BUILDING AND PAXTON PLACE (PHASE 1)
- 5 NO. 790 TO 794 HIGH ROAD - EXTERNAL RESTORATION (PHASE 2)
- 6 WHITE HART LANE STATION
- 7 TOTTENHAM HIGH ROAD
- 8 NORTHUMBERLAND PARK

2.2 SITE CONTEXT



Existing mini-masterplan site and historic terrace context

KEY:

- a APPLICATION SITE BOUNDARY
- b RAMP TO PODIUM & LILYWHITE HOUSE
- c LILYWHITE HOUSE L00 - SUPERSTORE CAR PARK
- d NDP STADIUM SCHEME
- e THE PAXTON BUILDING
- f HISTORIC BUILDINGS NOS. 790 - 796
- g HISTORIC BUILDINGS NOS. 798 - 808 (WITHIN APPLICATION BOUNDARY)
- h HISTORIC BUILDINGS NOS. 810/812 - 814
- i TARMAC & CONCRETE HARD STANDING
- j EXISTING BICYCLE STORAGE
- k EXISTING VEHICULAR ACCESS TO HIGH ROAD
- l SUBSTATION

HISTORIC BUILDING KEY:

- NO. 790 HIGH ROAD GRADE II* LISTED
- NO. 792 HIGH ROAD GRADE II LISTED
- NO. 794 HIGH ROAD GRADE II LISTED
- NO. 796 HIGH ROAD GRADE II* LISTED
- NO. 798 HIGH ROAD GRADE II LISTED
- NO. 800-802 HIGH ROAD GRADE II LISTED
- NO. 804/806 HIGH ROAD C.A CONTRIBUTOR
- NO. 808 HIGH ROAD GRADE II* LISTED
- NO. 810-812 HIGH ROAD GRADE II* LISTED & CONSENTED SCHEME
- NO. 814 HIGH ROAD LOCALLY LISTED



Northumberland Park - looking east from the west side of the High Road junction



Northumberland Park - looking south east at the north end of the application site



Northumberland Park - looking north east at the existing buildings opposite the site

2.2 SITE CONTEXT CONTINUED - HIGH ROAD



High Road - existing elevation - photographic study



High Road - existing elevation

2.2 SITE CONTEXT CONTINUED - NO. 798 HIGH ROAD



No. 798 High Road - existing elevation to the High Road



No. 798 High Road - existing rear elevation



No. 798 High Road - typical first floor interior



No. 798 High Road - typical basement interior



No. 798 High Road - typical ground floor interior



No. 798 High Road - typical second floor interior

2.2 SITE CONTEXT CONTINUED - NO. 800 HIGH ROAD



No. 800 High Road - existing elevation to the High Road



No. 800 High Road - existing rear elevation



No. 800 High Road - typical first floor interior



No. 800 High Road - typical basement interior



No. 800 High Road - typical ground floor interior



No. 800 High Road - typical second floor interior

2.2 SITE CONTEXT CONTINUED - NO. 802 HIGH ROAD



No. 802 High Road - existing elevation to the High Road



No. 802 High Road - existing rear elevation



No. 802 High Road - typical first floor interior



No. 802 High Road - ground floor interior, front room



No. 802 High Road - ground floor hall interior



No. 802 High Road - typical second floor interior

2.2 SITE CONTEXT CONTINUED - NO. 804-806 AND NO. 808 HIGH ROAD



No. 804-806 High Road - existing elevation to the High Road



No. 804-806 High Road - existing rear elevation



No. 808 High Road - existing rear elevation



No. 808 High Road - existing rear extension

2.2 SITE CONTEXT CONTINUED - AREA TO REAR OF NOS. 796-814 HIGH ROAD



Site aerial view



Site looking north from Paxton place



Site looking south from Northumberland Park

2.2 SITE CONTEXT CONTINUED - THE PAXTON DEVELOPMENT



Paxton Development (Phase 1) - looking north through Paxton Place



Paxton Development (Phase 1) - top floor interior



Paxton Development (Phase 1) - looking south through Paxton Place



Paxton Development (Phase 2) - restored rear elevations of Nos. 790 to 794 High Road

2.2 SITE CONTEXT CONTINUED - NO. 796 HIGH ROAD, 'PERCY HOUSE'



Percy House Restoration as the TH Foundation - elevation to the High Road



Percy House Restoration as the TH Foundation - stair



Percy House Restoration as TH Foundation - interpretation



Percy House Restoration as the TH Foundation - ground floor interior



Percy House Restoration as the TH Foundation - teaching space in rear extension



Percy House Restoration - recovery of historic details