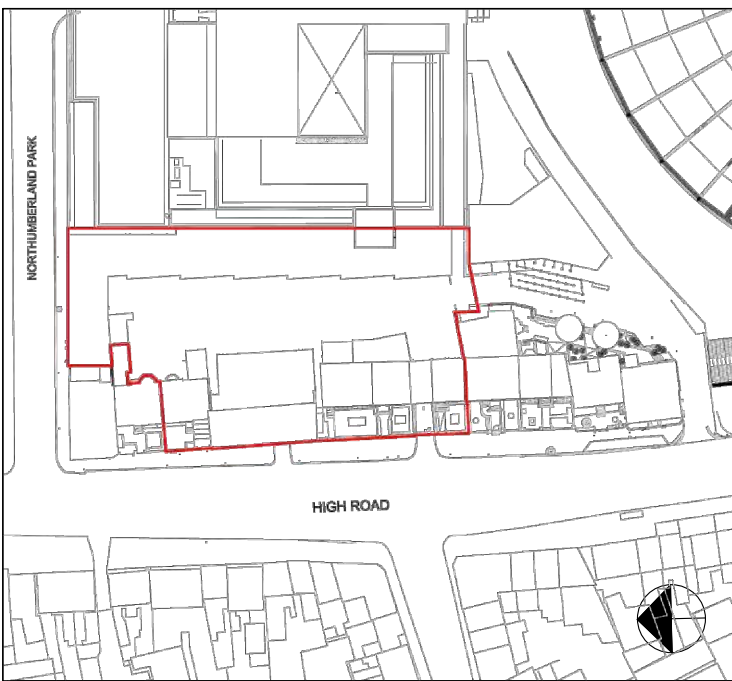




KEY PLAN

NOTES:

DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, DOCUMENTS AND CONSULTANT INFORMATION.
CAD DRAWINGS BASED ON SURVEY INFORMATION BY OTHERS; ALL DIMENSIONS TO BE SITE CHECKED.
MAKE ITEMS SHOWN INDICATIVELY AND ARE SUBJECT TO FURTHER SITE INVESTIGATIONS AND END USER SPECIFICATION REQUIREMENTS.
INTERNAL FURNITURE LAYOUTS SHOWN FOR INDICATIVE PURPOSES.
LANDSCAPING/PUBLIC REALM SHOWN FOR INDICATIVE PURPOSES ONLY - REFER TO RE-FORM LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS.



EXTERNAL REPAIRS SCHEDULE OF WORKS AND SPECIFICATION NOTES:

Doors:

- D1 : Repair doorcase with like for like scarfed timber where timber has rotted or filled.
D2 : Allow to scarf in base of 2 pilasters, area up to 300mm².
D3 : Extensive rot to base of 2 pilasters, reveal panels , springing moulding, arch and upper plaster, and back panel.
D4 : Rebuild modern timber pediment to historic detail on record photographs, to include lead roof.
D5 : Allow to replace pediment roof in Code 5 lead with lead flashings.
D6 : Install modern gate and glazed screen entrance door, to match no.810-812 and provide symmetry between the pair of properties.
D7 : Replace C20 8-panel front door to match Percy House (800 and 802).
D8 : Reinstall door to rear elevation in C18th design, to match no.810-812

Elevations:

- E1 : Reinstall missing/defective brickwork and previous poor repair.
E2 : Rake out loose pointing and repoint missing joints and previous poor repointing.
E3 : Repoint open joint around window.
E4 : Apply lime fillet to top of projecting brick for weathering 61m (790 - Side Elevation) rear and front of 790 full length (other than doorway).
E5 : Install additional fixing ears to match in C1/cast metal to match.
E6 : Refurbish downpipes and guttering (all).
E7 : Replace plastic waste pipe in painted cast metal.
E8 : Replace plastic downpipe in painted cast metal.
E9 : Unblock gulleys and replace in CI.
E10 : Replace plastic waste pipe in painted cast metal.
E11 : Replace plastic vents with CI grilles painted black with insect mesh behind.
E12 : Brick arch dropped. Allow to install s/s reinforcement in joint above and repoint open joints.
E13 : Brick arch condition poor - bricks damaged or repaired unsympathetically. Allow to prop as necessary and rebuild to match historic adjacent.
E14 : Cement rendered. Allow to remove unobtrusive sample section of cement render. Assume replace 20% defective brick face like-for-like.
E15 : Remove modern canopy and fixings, and reinstate pointing to match historic adjacent.
E16 : Remove satellite dish and make good fixing holes like-for-like to match adjacent pointing.
E17 : Infill masonry has moved. Allow to install helifix every 3rd course, repoint open joint and monitor.

- E18 : Provide tuck pointing to window arch where missing.
E19 : Cut back projecting to DPC to face of wall and install peep weeps in open weepholes.
E20 : Archway (798) - Remove asbestos soft to vehicular arch.Allow to remove existing lintel.
E21 : Build up over concrete face and pin back using stainless steel helifix bars. Provide metal gates and frames to existing opening, automated with ability to hold open. Reinstall fire resisting ceiling to B Regs requirement in plasterboard with painted and skim finish flush.
E22 : Scarf in like-for-like section of timber facing to cornice where rotted.
E23 : Modern render string course extensively cracked. Replace to same profile in hydraulic lime render.
E24 : Modern render applied to brick plinth, with non-original detail that traps water in the brickwork. Render has extensively cracked. Take off render and investigate. Allow to carefully take off railings and put aside for safekeeping and repair and rebuild brick plinth in exposed brick and lime mortar to match main house. Reinstall railings on completion.
E25 : Replace modern ply gas meter box in oak.
E26 : Stone steps and platform extensively worn and cracked. Repoint open cracks and holes in lime mortar with stone dust. Allow to piece in like-for-like stone where stone is defective or previously cemented 790 - 4 areas pieced in total 600mm².
E27 : Part of retaining wall is leaning. Render cement cracked and part missing. Take off sections of render adjacent cracking to investigate condition of wall and extent of defects and carry out like-for-like remedial work.
E28 : Allow to stitch across 5 full height cracks with stainless steel joint and re-render. Repoint stone capping, monitor cracking and redecorate.
E29 : Existing modern concrete entrance steps. Take off cement pavers and bedding to reduce height and clad treads and risers in limestone to match historic steps.
E30 : Carefully remove handrails and bootscraper and reinstall on completion)
E31 : Retain historic pavement: (flight of 3 steps) side steps infill gap in risers using stone slips and apply new stone to 5 upper steps.
E32 : Piece in section of missing stonework moulding like-for-like to match adjacent profile.
E33 : Carry out conservation like-for-like, repair to decorative rubbed red brick moulding. Replace defective lead flashing and piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with tuck pointing where original is missing.
E34 : Subject to sample area investigation to LPA agreement , allow to rake out cement pointing and repoint elevation in flush pointed lime mortar.
E35 : Reinstall decorative rubbed red brick moulding where missing, to match the historic detail and profile on the adjacent buildings. Include lead flashing to match.
E36 : Include lead flashing to match.

- E37 : Remove unsympathetic modern signage and install mid C18 style historic building name and number. Allow for brass numbers to all Georgian front doors and within shop-fascia.
E38 : Allow to remove unsympathetic modern signage to expose historic shopfronts. Allow to make good like-for-like painted timber to match.
E39 : Remove unsympathetic wall vents and repair brick and pointing like-for-like. Replace in decorative cast iron with insect mesh behind.
E40 : Assume to relocate boiler vent away from front elevation and repair brick and pointing like-for-like.
E41 : Carry out conservation repair to reinstate decorative plaster pilasters from C 1900.
E42 : Remove cracked terrazzo panel to expose plaster pilaster for inspection. Subject to LPA approval reinstate plaster.
E43 : Structural crack. Allow to carefully take out individual cracked bricks and reinstate to match adjacent bricks and build in stainless steel reinforcement in every third vertical joint. Repoint as required.
E44 : Deformed brickwork. Provide access to inspect. Allow to replace rotted wall plate and rebuild brickwork like-for-like.
E45 : Remove plant growth and point in missing joints and flaunching like-for-like in line with E33.
E46 : Replace leadwork to discharge to hopper.
E47 : Rebuild leaning chimney like for like.
E48 : Remove external metal security bars. Make good damaged surfaces and fixing holes to match adjacent historic fabric like-for-like.
E49 : Area of modern brickwork to be tinted to match adjacent historic like for like.
E50 : Reinstall rear elevation to original C18th design, following demolition of later extensions and / or alterations.
E51 : Install CCTV Camera

Landscape:

- L1 : Take up dislodged and deformed stone paving. Carry out prior record in order to re-lay like-for-like. Make good with stone to match where existing slabs have previously been replaced in concrete and where slabs are incomplete or defective.
L2 : Take up concrete paving and replace with limestone.
L3 : Allow for stone path to entrance and basement access , and soft landscaping elsewhere.
L4 : Add take up and planter)
L5 : Replace modern railings, gate and wall plinth to match C19 photographs of frontage. (792 - frontage railings retain. Replace basement railings).
L6 : Subject to sample area investigation to LPA agreement , allow to rake out cement pointing and repoint elevation in flush pointed lime mortar.
L7 : Allow to rebuild entrance steps in stone (and brick arch where applicable).
L8 : New side gate to match railings in C18th design.
L9 : Replace modern handrail to front steps and balustrading with C18th design.
L10 : Take up concrete and provide soft landscaping (to match 796 Percy House)

Roof: (Rear and Side)

- R1 : Point in open joints in coping.
R2 : Replace loose and damaged lead.
R3 : Replace cement copings in stone.
R4 : Rebuild loose brick hopper outlet like-for-like and re-lead.
R5 : Unstable chimney to be photographed, carefully reduced to roof finish level. Rebuild upright reusing sound bricks in lime mortar. Make good using like-for-like stock second hand bricks. Form hydraulic lime haunching and re-fix sound pots. Allow to replace 1 terracotta pot to match.
R6 : Carefully turn back adjoining lead flashings as necessary for access and take up asphalt valley gutter finish and dispose. Allow to scarf repair timber valley boards to match like-for-like where rotted and provide new Code B stepped valleys. Renew defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance with the recommendations of the Lead Sheet Association. Allow provisional replacement of 40% flashings, 25% replacement boards and 10 metres of total replacement valley timbers like-for-like, scarfed to existing.
R7 : Rebuild defective access dormer like-for-like.
R8 : Allow to rebuild defective lead roof to bay window, all in accordance with the recommendations of the Lead Sheet Association.
R9 : Replace rusted Velux roof window, with conservation rooflight to fit existing structural opening. Make good like-for-like finishes.
R10 : Re-tile using existing handmade clay tiles where sound. Allow to replace where tiles do not match, or are unsound, in tiles like-for-like. Allow 20% replacement tiles within hatched areas.
R11 : Re-slate using existing natural welsh slates where sound. Allow to replace where small sections are unsound in second hand welsh slates to match and allow 40% replacement using slate from area to be demolished under HG16/3310. Where a whole pitch is hatched as defective or in modern concrete, allow to replace in new natural welsh slate.
R12 : Allow to replace modern bonnet hip detail and defective tiles using half round terracotta hip tiles to match number 794.
R13 : Renew defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance with the recommendations of the Lead Sheet Association.
R14 : Replace cracked haunching using hydraulic lime.

Windows:

- W1 : Remove loose paint and refurbish putty and paintwork.
W2 : Allow to tighten bottom joints of sash.
W3 : Remove inset fan, re-glaze.
W4 : Allow to install CI brick vent in adjacent modern brick.
W5 : Clean paint from stone cills.
W6 : Replace window complete.

- W7 : Replace stone cill.
W8 : Pin and repair crack in stone cill.
W9 : Carry out minimal like-for-like timber scarf repair to bottom rail and bottom of stile.
W10 : Re-putty.
W11 : Re-glaze to replace modern obscure glass in clear conservation glass (single glazed). Apply removable frosted film if required for amenity.
W12 : Replace UPVC windows as painted sash windows to match original on North elevation.
W13 : Reinstall sash window to C18th design.
W14 : Proposed bay window, to match no.810-812 and provide symmetry between the pair of properties.
W15 : New Slimline glazing system

General Notes :

- E4 Remove redundant cabling and tidy on all elevations
- W1 and W4 redecoration for all windows and cills.
- Consolidate meters and replace gas meter boxes.
- All basement elevations to be re-rendered where patchy or cracked.
- E30 Re-point open joints, E31 Redecoration to all arches.
- All brickwork to be cleaned as 796 Percy House and re-surveyed following cleaning. Allow for additional re-pointing to match historic like-for-like following cleaning. Remove modern and loose paint, redecorate all joinery and metalwork as required.
- Allow for redecoration of all railings, handrails and soft landscaping to forecourts to match completed 796 Percy House

KEY

- Proposed works/ Reinstatement of original feature to C18th design
- Rebuild/ Repair to historic like-for-like
- Rebuild
- Repoint
- Replace rotted joinery like-for-like
- Re-render
- Brick tinting of stained or modern brick to match adjacent historic
- Proposed boundary line

Architect



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Except for Planning purposes, figured dimensions only are to be taken from this drawing.
All dimensions are in millimetres unless otherwise stated.
All dimensions shall be checked on site prior to works commencing.
Any discrepancies shall be reported to the Architect.
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Health and Safety

Based on the use of experienced and competent contractors working to an approved method statement.

Project Name

**NORTHUMBERLAND TERRACE PHASE 3:
NOS. 798 TO 808 HIGH ROAD AND
LAND TO REAR
798-808 HIGH ROAD
LONDON
N17 0BX**

Drawing Title

**800-802 HIGH ROAD
PROPOSED WEST ELEVATION**

Date Status

11/03/2020 PLANNING

Drawn By/Checked By Approved By/ Scale Size Project Reference

KHW AC IL 1: 50 A1 171121

Project/Agent Zone/Level Type Role/Drawing No. Revision

NT-1000-Z3-LZZ-EL-A- 25320 P1

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E1:	Reinstate missing/defective brickwork and previous pour repair.	E26:	Part of retaining wall is leaning. Render cement cracked and part missing. Take off sections of render adjacent cracking to investigate condition of wall and extent of defects and carry out like-for-like remedial work.
E2:	Rake out loose pointing and repoint missing joints and previous pour repointing.	E27:	Existing modern concrete entrance steps. Take off cement pavers and bedding to reduce height and clad treads and risers in limestone to match historic steps.
E2W:	Repoint open joint around window.	E28:	Carry out new section of missing stonework moulding like-for-like to match adjacent profile.
E3:	Apply lime fillet to top of projecting brick for weathering 61m (790 - Side Elevation) rear and front of 790 landing (other side doorway).	E29:	Carry out conservation like-for-like, repair to decorative rubbed red brick moulding. Replace defective lead flashing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with tuck pointing where original is missing.
E4:	Try loose rendering, raking and remove redundant fixings.	E30:	Carry out conservation like-for-like, repair to brick arches. Piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with tuck pointing where original is missing.
E5:	Clean down efflorescing brick.	E31:	Sample to sample area investigation to LPA agreement , allow to rake out cement pointing and render modern canopy, and fixings, and reinstate pointing to match historic adjacent.
E6:	Replace plastic waste pipe in painted cast metal	E32:	Reinstate decorative rubbed red brick moulding where missing, to match the historic detail and profile on the adjacent buildings. Include lead flashing to match.
E7:	Replace plastic downpipe in painted cast metal.	E33L:	Include lead flashing to match.
E7H:	Replace hopper in painted cast metal.		
E8:	Unblock gulleys and replace in CI.		
E9:	Install additional fixing ears to match in C/ cast metal to match.		
E10:	Refurbish downpipes and gutters (all)		
E11:	Replace plastic vents with CI grilles painted black with insect mesh behind.		
E12:	Brick arch dropped. Allow to install s/s reinforcement in joint above and repoint open joints.		
E13:	Brick arch condition poor - bricks damaged or repaired unsympathetically. Allow to prop as necessary and rebuild to match historic adjacent.		
E14:	Cement rendered. Allow to remove unobtrusive sample section of cement render. Assume replace 20% defective brick face like-for-like.		
E15:	Remove modern canopy, and fixings, and reinstate pointing to match historic adjacent.		
E16:	Remove satellite dish and make good fixing holes like-for-like to match adjacent pointing		
E17:	Infill masonry has moved. Allow to install helfix every 3rd course, repoint open joint and monitor.		

E18: Put back pointing to window arch where missing.

E19: Cut back projecting to DPC to face of wall and install peep weeps in open weepholes.

E20: Archway (798) - Remove asbestos soffit to vehicular arch.Allow to remove existing lintel.

Construct Bulmer Brick arch to front face of opening and matching slip and brick arch to rear face.

Build up over concrete face and pin back using stainless steel helix bars. Provide metal gales and ties to existing opening, automated with ability to hold open. Reinstall fire resisting ceiling to B.Rs

Reqs required in plasterboard with painted and skin finish flush.

E21: Scarf in like-for-like section of timber flashing to cornice where rotted.

E22: Modern render string course extensively cracked. Replace to same profile in hydraulic lime render.

E23: Modern render applied to brick pinnth, with non-original detail that traps water in the brickwork. Render has extensively cracked. Take off render and investigate. Allow to carefully take off railings and put aside for safekeeping and repair and rebuild brick pinnth in exposed brick and like-for-like mortar to match main house. Rebuild with railings on completion.

E24: Replace modern ply gas meter box in oak.

E25: Stone steps and platform extensively worn and cracked. Re-point open cracks and holes in lime mortar with stone dust. Allow to piece in like-for-like stone where stone is defective or previously cemented (790 - 4 areas pieced in total 600mm²).

E26: Part of retaining wall is leaning. Render cement cracked and part missing. Take off sections of render adjacent cracking to investigate condition of wall and extent of defects and carry out like-for-like remedial work.

E27: Existing modern 5 x 5 full height cracks with stainless steel joint and re-render. Point stone capping, mortar cracking and redecorate.

E27: Existing modern concrete entrance steps. Take off cement pavers and bedding to reduce height and clad treads and risers in limestone to match historic steps.

(792 - Carefully remove handrails and bootscraper and reinstall on completion)

(798 - Retain historic pavement- (flight of 3 steps) side steps infill gap in risers using stone slips and apply new stone to 5 upper steps.

E28: Piece section of missing stone masonry moulding like-for-like to match adjacent profile.

E29: Carry out conservation like-for-like repair to decorative rubbed red brick moulding. Replace defective lead flashing and piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with touch pointing where original is missing.

E30 : Carry out conservation like-for-like, repair to brick arches. Piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with touch pointing where original is missing.

E31: Subject to sample area investigation to LPA agreement, allow to rake out cement pointing and repair elevation in flush pointing.

E32: Reinstate decorative rubbed red brick moulding where missing, to match the historic detail and profile on the adjacent buildings. Include lead flashing to match.

E33L: Include lead flashing to match.

E34: Remove unsympathetic modern signage and install mid C18e style historic building name and number. Allow for brass numbers to all Georgian front doors and within shop-facia.

E35: Allow to remove unsympathetic modern signage to expose historic shopfronts. Allow to match original shopfronts and limit to match.

E36: Remove unsympathetic wall vents and repair brick and pointing like-for-like. Replace in decorative cast iron with insect mesh behind.

E37: Assume to relocate boiler vent away from front elevation and repair brick and pointing like-for-like.

E38: Carry out conservation repair to reinstate decorative plaster pilasters from C 1900.

E39: Remove cracked terrazzo panel to expose plaster pilaster for inspection. Subject to LPA approval reinstate pilaster.

E40: Structural crack. Allow to carefully take out individual cracked bricks and reinstate to match adjacent bricks and build in stainless steel reinforcement in every third vertical joint. Repeat as required.

E41: Deformed brickwork. Provide access to inspect. Allow to replace rotted wall plate and rebuild brickwork like-for-like

E42: Remove plant growth and point in missing joints and flaunching like-for-like in line with adjacent brickwork.

E43: Replace leaking roof to discharge to hopper

E44: Rebuild leaning chimney like for like

E45: Remove external metal security bars. Make good damaged surfaces and fix holes to match adjacent historic fabric like-for-like

E46: Area of modern brickwork to be tinted to match adjacent historic like for like

E47: Reinstare rear elevation to original C18th design, following demolition of later extensions and/or alterations.

E48: Install CCTV Camera

L1: Take up dislodged and deformed stone paving. Carry out prior record in order to re-lay like-for-like. Make good with stone to match where existing slabs have previously been replaced in concrete and where slabs are incomplete or defective.

L2: Take up concrete paving and replace with stone.

L292: Allow for stone path to entrance and basement access; and soft landscaping elsewhere.

L98: Add take up and planter)

L3: Replace modern railings, gate and wall panels to match C19 photographs of frontage. (792 frontage railings retain. Replace basement railings).

L4: Replace non-original railings, pilinths and copings with new, to C18th design.

L5: Allow to rebuild entrance steps in stone (and brick arch where applicable)

L6: New side gate to match railings in C18th design

L7: Replace modern handrail to front steps with wrought-iron balustrading with C18th design.

L8: Take up concrete and provide soft landscaping (to match 796 Perry House)

R1: Point in open joints in coping.
R2: Replace loose and damaged lead.
R3: Replace cement copings in stone.
R4: Replace lead brick coping over stepped valleys. Renew defective Code 3 soakers and
R5: Unstable chimney to be photographed, carefully removed to roof finish level. Rebuild upright
reusing sound bricks in lime mortar. Make good using alloy-like stone second hand bricks. Form
hydraulic lime haunching and re-fix sound pots. Allow to replace 1 terracotta pot to match.
R6: Carefully turn back adjoining lead flashings as necessary for access and take up asphalt
valley gutter finish and dispose. Allow to repair timber valley boards to match like-for-like.
R7: Replace defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance with the recommendations of the Lead Sheet
Association. Allow provisional replacement of 40% flashings, 25% replacement boards and 10
metres of total replacement valley timbers like-for-like, scarfed to existing.
R7: Replace defective access dormer like-for-like.
R8: Allow to rebuild defective lead roof to bay window, all in accordance with the
recommendations of the Lead Sheet Association.
R9: Replace rusted Velux roof window, with conservation rooflight to fit existing structural
opening. Make good like-for-like finishes.
R10: Re-tile using existing handmade clay tiles where sound. Allow to replace where tiles do not
match, or are unsound, in tiles like-for-like. Allow 20% replacement tiles within hatched areas.
R11: Re-tile using existing natural Welsh slates where sound. Allow to replace where small
areas of slate have been hatched for replacement with like-for-like tiles and allow 40% replacement using
slate from area to be demolished under HGV/2016/3310. Where a whole pitch is hatched as
defective or in modern concrete, allow to replace in new natural Welsh slate.
R12: Allow to replace modern bobnet hip detail and defective tiles using half round terracotta hip
tiles to match number 794.
R13: Renew defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance
with the recommendations of the Lead Sheet Association.
R14: Replace cracked haunching using hydraulic lime.

W1 : Remove loose paint and refurbish putty and paintwork.
W2 : Allow to tighten bottom joints of sash.
W3 : Remove inset fan, re-glaze.
Allow to install CI brick vent in adjacent modern brick.
W4 : Clean paint from stone cills.
W5 : Replace window complete.

W6 : Replace stone cill.
W7 : Pin and repair crack in stone cill.
W8 : Carry out minimal like-for-like timber scarf repair to bottom rail and bottom of stile.
W9 : Carry out minimal like-for-like timber scarf repair to box frame and timber cill.
W10 : Re-putty
W11 : Re-glaze to replace modern obscure glass in clear conservation glass (single glazed).
Apply removable frosted film if required for amenity.
W12 : Replace UPVC windows as painted ash windows to match original on North elevation
W13 : Reinstall stone window to C18th design.
W14 : Propose bay window, to match no.810-812 and provide symmetry between the pair of porches.
W15 : New Slimline glazing system

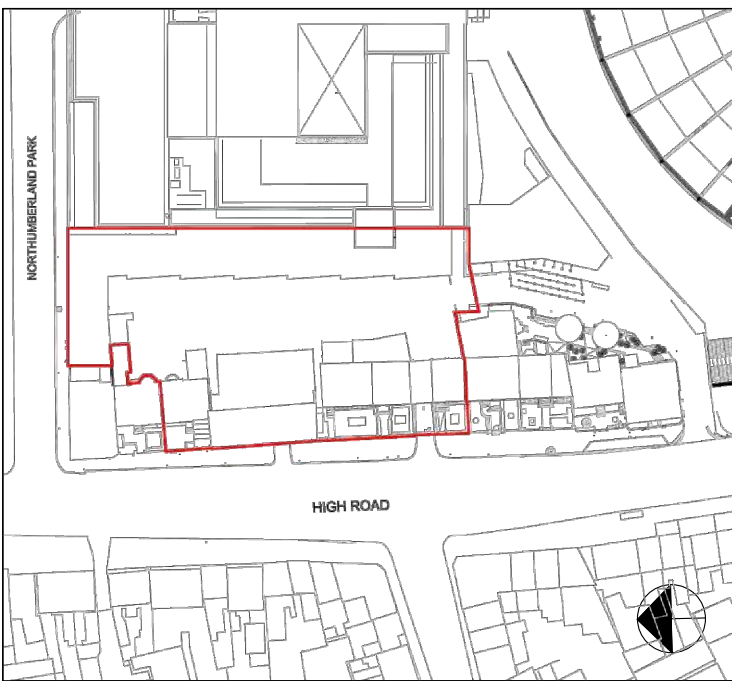
General Notes :

- E4 Remove redundant cabling and tidy on all elevations
- W1 and W4 redecoration for all windows and cills
- Consolidate meters and replace gas meter boxes.
- All basement elevations to be re-rendered where patchy or cracked.
- E30 Re-point open joints. E31 Redecoration to all arches.
- All brickwork to be cleaned as 796 Percy House and re-surveyed following cleaning. All for additional re-pointing to match historic like-for-like following cleaning. Remove mortar and loose paint, redecorate all joinery and metalwork as required.
- Allow for redecoration of all railings, handrails and soft landscaping to forecourts to match completed 796 Percy House

- W1 and W4 redecoration for all windows and cills.
- Consolidate meters and replace gas meter boxes.
- All basement elevations to be re-rendered where patchy or cracked.
- E30 Re-point open joints, E31 Redecoration to all arches.
- All brickwork to be cleaned as per Percy House and surveyed following cleaning. Allow for additional render to match historic like-for-like following cleaning. Remove modern and loose paint, redecorate all joinery and metalwork as required.
- Allow for redecoration of all railings, handrails and soft landscaping to forecourts to match completed 796 Percy House

KEY

- Proposed works/ Reinstatement of original feature to C18th design
- Rebuild/ Repair to historic like-for-like
- Rebuild
- Repoint
- Replace rotted joinery like-for-like
- Re-render
- Brick tinting of stained or modern brick to match adjacent historic
- Proposed boundary line



NOTES:
DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, DOCUMENTS AND CONSULTANT INFORMATION.
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[illegible]

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Except for Planning purposes, figured dimensions only are to be taken from this drawing.
All dimensions are in millimetres unless otherwise stated.
All dimensions shall be checked on site prior to works commencing.
Any discrepancies shall be reported to the Architect.
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Based on the use of experienced and competent contractors working to an approved method statement.

NORTHUMBERLAND TERRACE PHASE 3:
NOS. 798 TO 808 HIGH ROAD AND
LAND TO REAR
798-808 HIGH ROAD
LONDON
N17 0BX

800-802 HIGH ROAD
PROPOSED WEST BOUNDARY ELEVATION

Date	Status
1/03/2020	PLANNING

Drawn By	Checked By	Approved By	Scale	Size	Project Reference
KHW	AC	IL	1 : 50	A1	171121

Project	Agent	Zone	Level	Type	Role	Drawing No.
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EXTERNAL REPAIRS SCHEDULE OF WORKS AND SPECIFICATION NOTES:

Doors:

- D1: Repair doorcase with like for like scarfed timber where timber has rotted or filled.
D2: Allow to replace pediment roof in Code 5 lead with lead flashings.
D3: Allow to replace pediment roof in Code 5 lead with lead flashings.
D4: Install modern gate and glazed screen entrance door, to match no.810-812 and provide symmetry between the pair of properties
D5: Replace C20 8-panel front door to match Percy House (800 and 802).
D6: Reinstall door to rear elevation in C18th design, to match no.810-812

Elevations:

- E1: Reinstall missing/defective brickwork and previous poor repair.
E2: Rake out loose pointing and repoint missing joints and previous poor repointing.
E3: Apply lime fillet to top of projecting brick for weathering 61m (790 - Side Elevation) rear and front of 790 full length (other than doorway).
E4: Tidy loose/redundant cabling and remove redundant fixings.
E5: Clean down efflorescing brick.
E6: Replace plastic waste pipe in painted cast metal.
E7: Replace plastic downpipe in painted cast metal.
E7H: Replace hopper in painted cast metal.
E8: Unblock gulleys and replace in CI.
E9: Install additional fixing ears to match in CI/cast metal to match.
E10: Refurbish downpipes and gutters (all).
E11: Replace plastic vents with CI grilles painted black with insect mesh behind.
E12: Brick arch dropped. Allow to install s/s reinforcement in joint above and repoint open joints.
E13: Brick arch condition poor - bricks damaged or repaired unsympathetically. Allow to prop as necessary and rebuild to match historic adjacent.
E14: Cement rendered. Allow to remove unobtrusive sample section of cement render. Assume replace 20% defective brick face like-for-like.
E15: Remove modern canopy and fixings, and reinstate pointing to match historic adjacent.
E16: Remove satellite dish and make good fixing holes like-for-like to match adjacent pointing
E17: Infill masonry has moved. Allow to install helifix every 3rd course, repoint open joint and monitor.

- E18: Provide tuck pointing to window arch where missing.
E19: Cut back projecting to DPC to face of wall and install peep weeps in open weepholes.
E20: Archway (798) - Remove asbestos soft to vehicular arch.Allow to remove existing lintel. Construct Bulmer Brick arch to front face of opening and matching slip and brick arch to rear face. Build up over concrete face and pin back using stainless steel helfix bars. Provide metal gates and frames to existing opening, automated with ability to hold open. Reinstall fire resisting ceiling to B Regs requirement in plasterboard with painted and skim finish flush.
E21: Scarf in like-for-like section of timber facing to cornice where rotted.
E22: Modern render string course extensively cracked. Replace to same profile in hydraulic lime render.
E23: Modern render applied to brick plinth, with non-original detail that traps water in the brickwork. Render has extensively cracked. Take off render and investigate. Allow to carefully take off railings and put aside for safekeeping and repair and rebuild brick plinth in exposed brick and lime mortar to match main house. Reinstall railings on completion.
E24: Replace modern ply gas meter box in oak.
E25: Stone steps and platform extensively worn and cracked. Repoint open cracks and holes in lime mortar with stonedust. Allow to piece in like-for-like stone where stone is defective or previously cemented (790 - 4 areas pieced in total 600mm²).
E26: Part of retaining wall is leaning. Render cement cracked and part missing. Take off sections of render adjacent cracking to investigate condition of wall and extent of defects and carry out like-for-like remedial work.
E27: Existing modern concrete entrance steps. Take off cement pavers and bedding to reduce height and clad leads and risers in limestone to match historic steps.
E28: Carefully remove handrails and bootscraper and install on completion)
E29: Retain historic pavement- (flight of 3 steps) side steps infill gap in risers using stone slips and apply new stone to 5 upper steps.
E30: Piece in section of missing stonework moulding like-for-like to match adjacent profile.
E31: Carry out conservation like-for-like, repair to decorative rubbed red brick moulding. Replace defective lead flashing and piece in missing brick where practical and carry out localised pinning, lime mortar infill and weathering as necessary and finish with tuck pointing where original is missing.
E32: Subject to sample area investigation to LPA agreement , allow to rake out cement pointing and repoint elevation in flush pointed lime mortar.
E33: Reinstall decorative rubbed red brick moulding where missing, to match the historic detail and profile on the adjacent buildings. Include lead flashing to match.
E34: Include lead flashing to match.

- E35: Allow to remove unsympathetic modern signage to expose historic shopfronts. Allow to make good like-for-like painted timber to match.
E36: Remove unsympathetic wall vents and repair brick and pointing like-for-like. Replace in decorative cast iron with insect mesh behind.
E37: Assume to relocate boiler vent away from front elevation and repair brick and pointing like-for-like.
E38: Carry out conservation repair to reinstate decorative plaster pilasters from C 1900.
E39: Remove cracked terrazzo panel to expose plaster pilaster for inspection. Subject to LPA approval reinstate pilaster.
E40: Structural crack. Allow to carefully take out individual cracked bricks and reinstate to match adjacent bricks and build in stainless steel reinforcement in every third vertical joint. Repoint as required.
E41: Deformed brickwork. Provide access to inspect. Allow to replace rotted wall plate and rebuild brickwork like-for-like
E42: Remove plant growth and point in missing joints and flaunching like-for-like in lime
E43: Replace leadwork to discharge to hopper
E44: Rebuild leaning chimney like-for-like
E45: Remove external metal security bars. Make good damaged surfaces and fixing holes to match adjacent historic fabric like-for-like
E46: Area of modern brickwork to be tinted to match adjacent historic like-for-like
E47: Reinstall rear elevation to original C18th design, following demolition of later extensions and/or alterations.
E48: Install CCTV Camera

Landscape:

- L1: Take up dislodged and deformed stone paving. Carry out prior record in order to re-lay like-for-like. Make good with stone to match where existing slabs have previously been replaced in concrete and where slabs are incomplete or defective.
L2: Take up concrete paving and replace with limestone.
L3: Allow for stone path to entrance and basement access ; and soft landscaping elsewhere.
L4: Add take up and planter)
L5: Replace modern railings, gate and wall plinth to match C19 photographs of frontage. (792 - frontage railings retain. Replace basement railings).
L6: Subject to sample area investigation to LPA agreement , allow to rake out cement pointing and repoint elevation in flush pointed lime mortar.
L7: New side gate to match railings in C18th design
L8: Replace modern handrail to front steps and balustrading with C18th design.
L9: Take up concrete and provide soft landscaping (to match 796 Percy House)

Roof: (Rear and Side)

- R1: Point in open joints in coping.
R2: Replace loose and damaged lead.
R3: Replace cement copings in stone.
R4: Rebuild loose brick hopper outlet like-for-like and re-lead
R5: Unstable chimney to be photographed, carefully reduced to roof finish level. Rebuild upright reusing sound bricks in lime mortar. Make good using like-for-like stock second hand bricks. Form hydraulic lime haunching and re-fix sound pots. Allow to replace 1 terracotta pot to match.
R6: Carefully turn back adjoining lead flashings as necessary for access and take up asphalt valley gutter finish and dispose. Allow to scarf repair timber valley boards to match like-for-like where rotted and provide new Code 8 stepped valleys. Renew defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance with the recommendations of the Lead Sheet Association. Allow provisional replacement of 40% flashings, 25% replacement boards and 10 metres of total replacement valley timbers like-for-like, scarfed to existing.
R7: Rebuild defective access dormer like-for-like.
R8: Allow to rebuild defective lead roof to bay window, all in accordance with the recommendations of the Lead Sheet Association.
R9: Replace rusted Velux roof window, with conservation rooflight to fit existing structural opening. Make good like-for-like finishes.
R10: Re-tile using existing handmade clay tiles where sound. Allow to replace where tiles do not match, or are unsound, in tiles like-for-like. Allow 20% replacement tiles within hatched areas.
R11: Re-slate using existing natural welsh slates where sound. Allow to replace where small sections are unsound in second hand welsh slates to match and allow 40% replacement using slate from area to be demolished under HGV2016/3310. Where a whole pitch is hatched as defective or in modern concrete, allow to replace in new natural welsh slate.
R12: Allow to replace modern bonnet hip detail and defective tiles using half round terracotta hip tiles to match number 794.
R13: Renew defective Code 3 soakers and Code 4 lead flashings and drips, all in accordance with the recommendations of the Lead Sheet Association.
R14: Replace cracked haunching using hydraulic lime.

Windows:

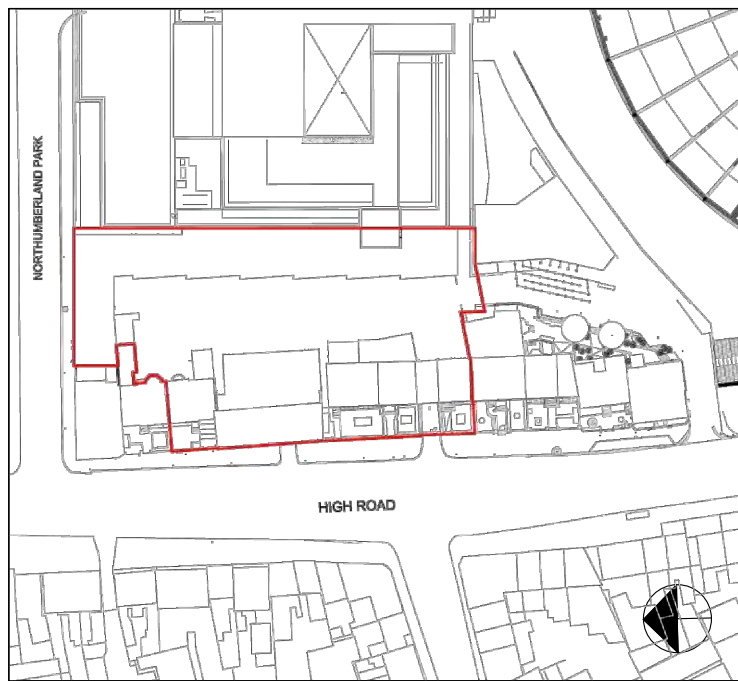
- W1: Remove loose paint and refurbish putty and paintwork.
W2: Allow to tighten bottom joints of sash.
W3: Remove inset fan, re-glaze.
W4: Allow to install CI brick vent in adjacent modern brick.
W5: Clean paint from stone cills.
W6: Replace window complete.

- W7: Replace stone cill.
W8: Pin and repair crack in stone cill.
W9: Carry out minimal like-for-like timber scarf repair to bottom rail and bottom of stile.
W10: Re-putty.
W11: Re-glaze to replace modern obscure glass in clear conservation glass (single glazed). Apply removable frosted film if required for amenity.
W12: Replace UPVC windows as painted sash windows to match original on North elevation.
W13: Reinstall sash window to C18th design.
W14: Proposed bay window, to match no.810-812 and provide symmetry between the pair of properties
W15: New Slimline glazing system

General Notes:

- E4 Remove redundant cabling and tidy on all elevations
- W1 and W4 redecoration for all windows and cills.
- Consolidate meters and replace gas meter boxes.
- All basement elevations to be re-rendered where patchy or cracked.
- E30 Re-point open joints, E31 Redecoration to all arches.
- All brickwork to be cleaned as 796 Percy House and re-surveyed following cleaning. Allow for additional re-pointing to match historic like-for-like following cleaning. Remove modern and loose paint, redecorate all joinery and metalwork as required.
- Allow for redecoration of all railings, handrails and soft landscaping to forecourts to match completed 796 Percy House

KEY	
	Proposed works/ Reinstatement of original feature to C18th design
	Rebuild/ Repair to historic like-for-like
	Rebuild
	Repoint
	Replace rotted joinery like-for-like
	Re-render
	Brick tinting of stained or modern brick to match adjacent historic
	Proposed boundary line



KEY PLAN

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REVISION HISTORY	
PI No.	DATE
11/03/2020	PLANNING
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info@f3architects.com	CHK

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Health and Safety

Based on the use of experienced and competent contractors working to an approved method statement.

Project Name

NORTHUMBERLAND TERRACE PHASE 3: NOS. 798 TO 808 HIGH ROAD AND LAND TO REAR
798-808 HIGH ROAD LONDON N17 0BX

Drawing Title

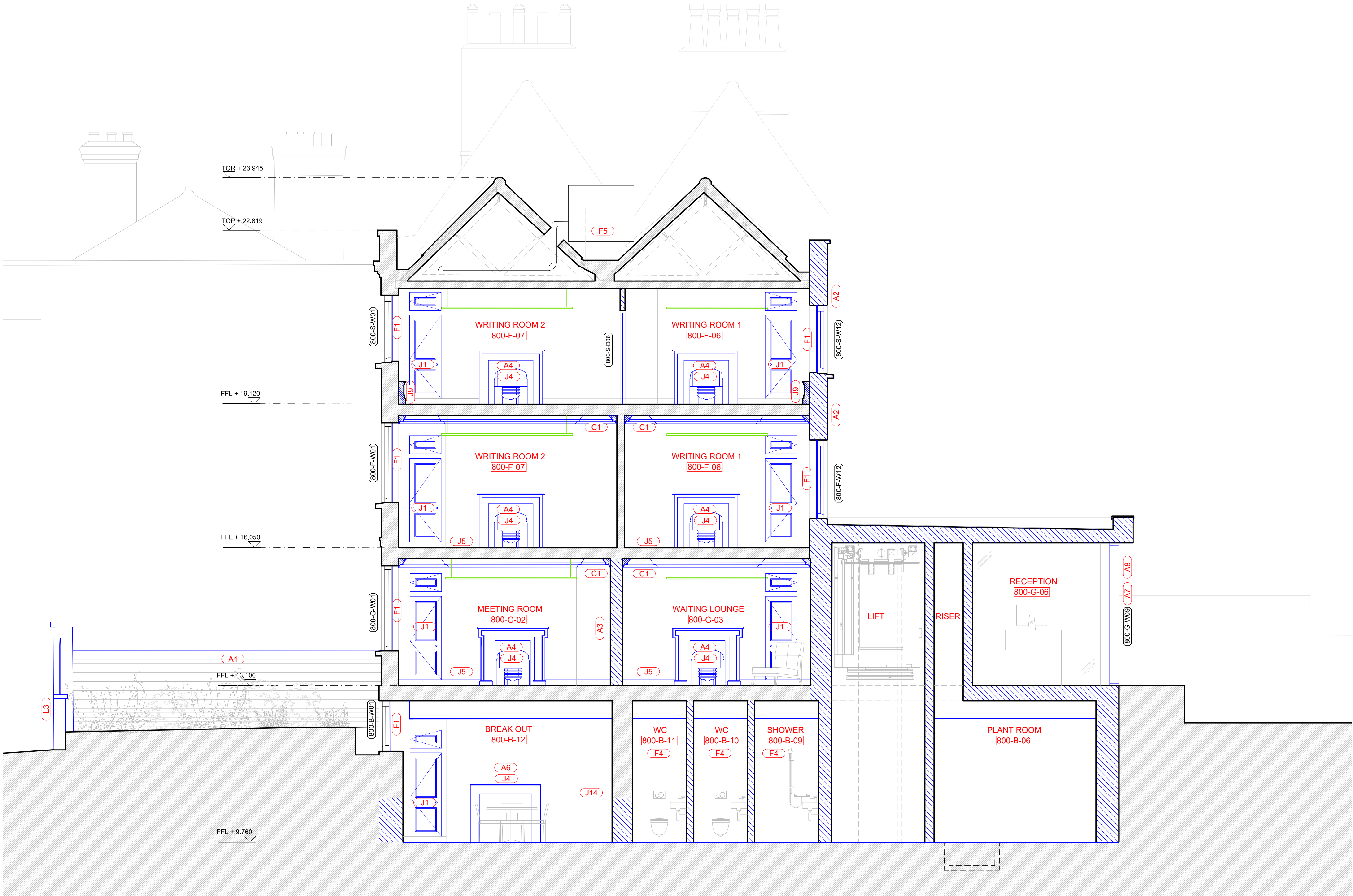
800-802 HIGH ROAD PROPOSED EAST ELEVATION

Date: 11/03/2020 Status: PLANNING

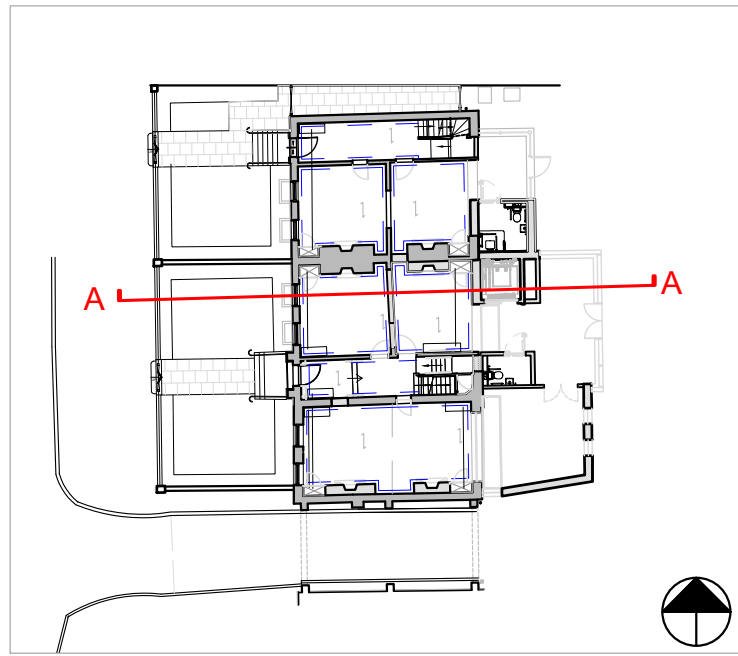
Drawn By: KHW Checked By: AC Approved By: IL Scale: 1: 50 Size: A1 Project Reference: 171121

Project: NT-1000-Z3-LZZ-EL-A- Agent: 25322 Drawing No.: P1

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A-A PROPOSED SECTION A-A LOOKING NORTH
26330
Scale 1:50



KEY PLAN

- KEY
- Proposed walls/ roof structure
 - Proposed works/ Reinstatement of original feature to C18th design
 - Existing Walls
 - Services route in floor (between joists)
 - Property boundary wall

INTERNAL REPAIRS SCHEDULE OF WORKS AND SPECIFICATIONS NOTES:

Walls:
A1 - Reinstale party wall between properties, as C18th original.
A2 - Reinstale facade to original C18th design.
A3 - Reinstale internal partition to original C18th layout.
A4 - Reinstale original fireplace opening and cast iron insert, where missing.
A5 - Make good opening, following removal of modern window and apron. Allow to provide matching C18th architrave and beaded timber reveal.
A6 - Reinstale opening of former kitchen/ scullery fireplace and clean chimney to reinstale stack ventilation. Plaster reveals and install stone hearth. Allow for painted timber surround/ mantle shelf.
A7 - New Slimline glazing system/ glazed doors
A8 - New acoustic glazing/ glazed doors

Ceilings:
C1 - New cornice to ground and first floor rooms. Cornice to be of C18th design and appropriate for the hierarchy of the room within the property.
C2 - New cornice to match surviving cornice over fireplace like-for-like.
C3 - Existing cornice (part of joinery) - repair where required and redecorate.

Fixtures, Fittings & Finishes:
F1 - Install new discrete slim-line sash secondary glazing, as no.796 Percy House. Refer to drawing 31010 for details.
F2 - Tiling to new or existing screed floor.
F3 - Floor finish TBC, subject to opening up works. Where original floorboards survive below modern finishes, they are to be restored, repaired & left exposed.
F4 - Contemporary bathroom fittings
F5 - Acoustic condenser enclosure

Joinery:
J1 - New timber paneled cupboard to C18th design to conceal riser or fan coil unit (FCU). Design to match original like-for-like, and to be templated from surviving original cupboards on the first floor of no.800 (2no.) and no.802 (1no.).
J2 - New joinery unit to conceal free-standing fan coil unit (FCU).
J3 - New timber panelled door to C18th design
J4 - Reinstale timber surround and mantel-piece to fireplace, to match C18th detail and hierarchy of Percy House fire surrounds.
J5 - Replace modern skirting with C18th design
J6 - Replace modern architrave with C18th design
J7 - Like-for-like scarf repairs to historic paneling, as required and redecorate
J8 - Reinstale internal window cill
J9 - Reinstale panel below window, to match others within the property like-for-like
J10 - Refurbish/ reinstale shutters to full working order
J11 - Utilise existing cupboard to conceal services and fan coil unit (FCU).
J12 - Replace upper modern cupboard door with C18th design to match original
J13 - Reinstale panelling/ cupboard door to match original like-for-like
J14 - Contemporary kitchen fittings

Staircase:
S1 - Proposals subject to opening up works to remove modern boxing and confirm if any historic fabric remains. Allow for balustrade to be raised (if original) to meet Part K height requirements. If no original spindles or balustrade remain, allow to replace with C18th design, but to Part K compliant height.
S2 - Subject to opening up works to confirm if any original fabric remains, allow for refurbishment / reinstatement of timber treads with bull-nose edge detail. Install brass nosing with contrasting coloured inlay to meet Part M requirements.
S3 - Reinstale staircase from ground floor down to basement.
S4 - Extend staircase to suit new lower floor level.
S5 - Subject to opening up works, allow for raising of balustrade to meet current Part K requirements

Landscape:
L1 - Take up dislodged and deformed stone paving. Carry out prior record in order to re-lay like-for-like. Make good with stone to match where existing slabs have previously been replaced in concrete and where slabs are incomplete or defective.
L2 - Take up concrete paving and replace with limestone.
(792 - Allow for stone path to entrance and basement access ; and soft landscaping elsewhere. 798 - Add take up and planter)
L3 - Replace modern railings, gate and wall plinth to match C19 photographs of frontage. (792 - frontage railings retain. Replace basement railings).
L4 - Replace non-original railings, plinths and copings with new, to C18th design.
L5 - Allow to rebuild entrance steps in stone (and brick arch where applicable)
L6 - New side gate to match railings in C18th design
L7 - Replace modern handrail to front steps and balustrading with C18th design.
L8 - Take up concrete and provide soft landscaping (to match 796 Percy House)
L9 - New gate to restrict access and prevent anti-social behaviour
L10 - Channel drain (or similar) required next to solid brick historic wall, to keep water level sufficiently lower than existing timbers. Specialist Consultant to assess moisture curve and advise on suitable detailing to ensure new water levels do not affect historic joists or cause rot. Connect to proposed surface water drainage

General notes:
- For external repairs to external elevations, please refer to proposed elevations.
- Sump chamber to be formed under plant room as shown

ELECTRICAL LEGEND

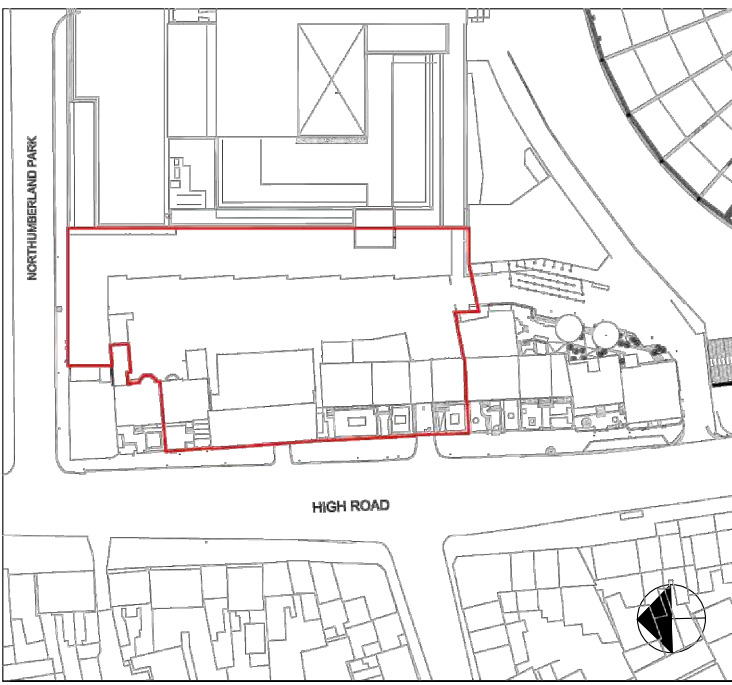
- Lighting
- Ceiling light - recessed only where ceilings are modern plasterboard
 - Suspended lighting track with adjustable and movable spotlights
 - Wall Lamp - Surface Mounted
 - Ceiling Mounted Pendant Light

Fire Safety

- Fire Alarm Interface
- Fire Alarm Panel
- Smoke detector
- Smoke detector with integral sound and beacon
- Manual Call Point
- Door-Hold Open - Closes with Fire interface

Small Power

- Floor Box - bespoke brass trimmed unit to suit existing joist/ floor board positions
- TV Outlet
- 13 amp double power socket
- 13 amp double power socket high level/ in network
- 13 amp single power socket (C=cleaner's socket)
- 13 amp single power socket high level/ in network
- 13 amp single unswitched power socket
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- FCU - Fan Coil Unit
- Distribution Board
- Lighting Control Panel
- Light switch



KEY PLAN

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PT	11/03/2020	PLANNING	KHW	AC
No.	DATE	DESCRIPTION	DRN	CHK
REVISION HISTORY				

Architect

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Project Name

**NORTHUMBERLAND TERRACE PHASE 3:
NOS. 798 TO 808 HIGH ROAD AND
LAND TO REAR
798-808 HIGH ROAD
LONDON
N17 0BX**

Drawing Title

**800-802 HIGH ROAD
PROPOSED SECTION A-A**

Date Status

11/03/2020 PLANNING

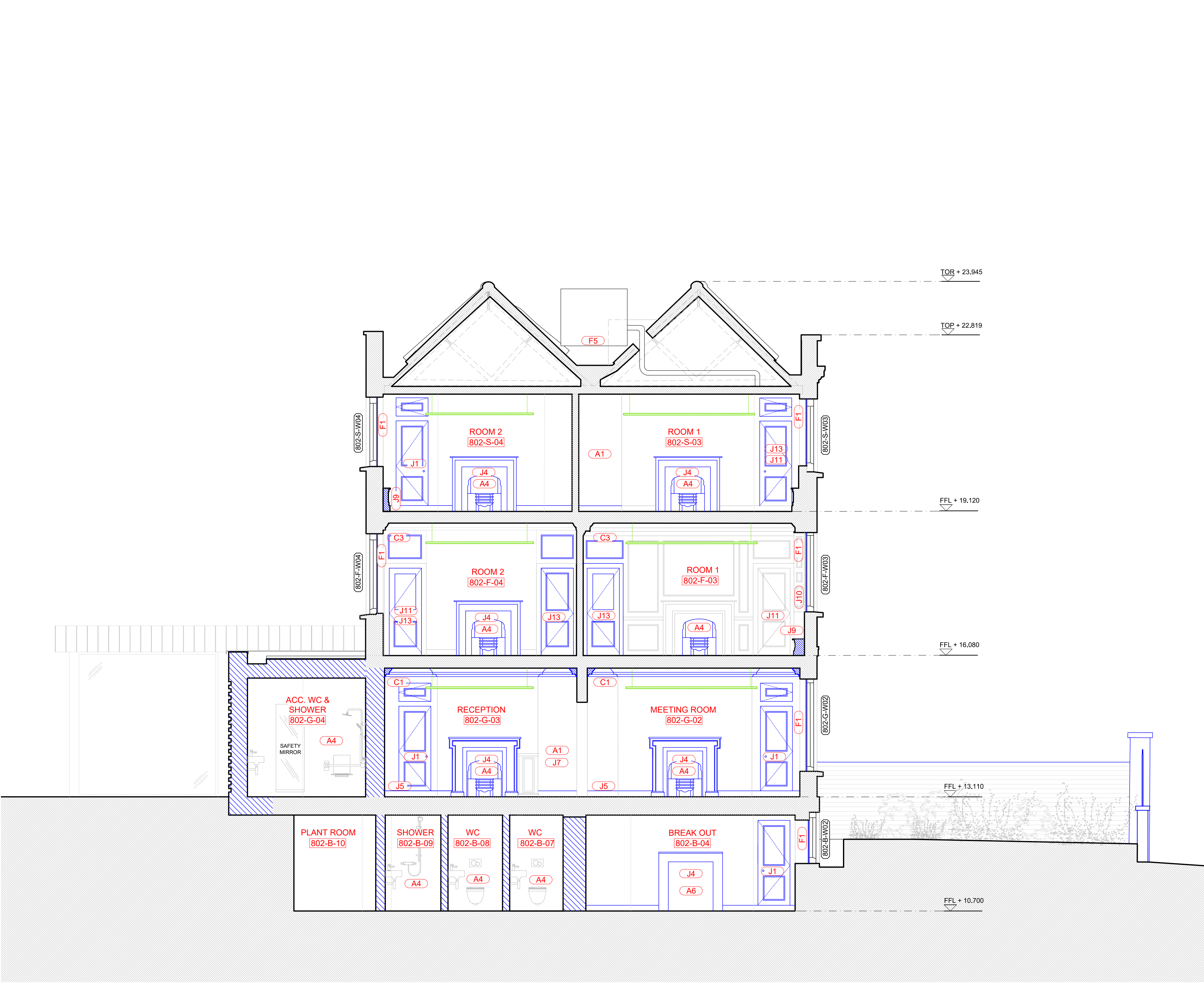
Drawn By Checked By Approved By Scale Size Project Reference

KHW AC IL 1 : 50 A1 171121

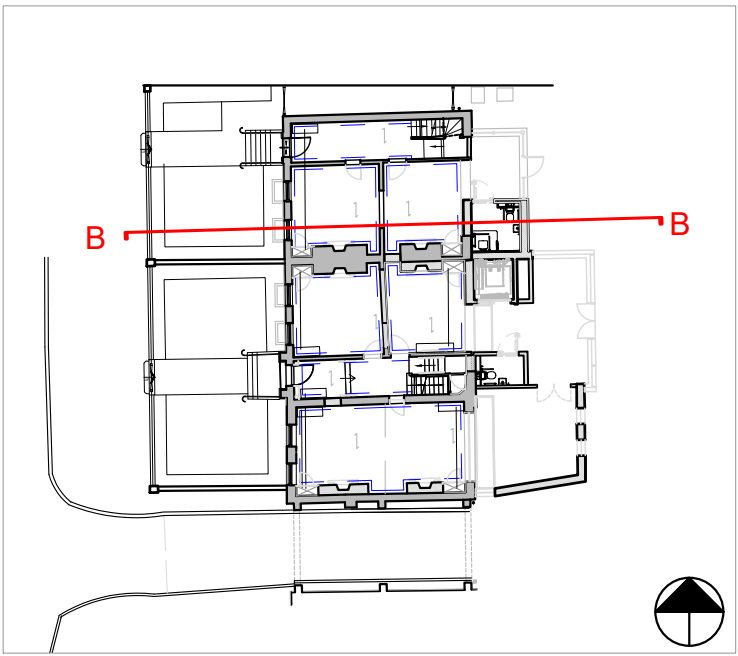
Project Agent Zone Level Type Role Drawing No. Revision

NT-1000-Z3-LZZ-SE-A- 26330 P1

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B-B
26331
PROPOSED SECTION B-B LOOKING SOUTH
Scale 1:50



KEY PLAN

- KEY
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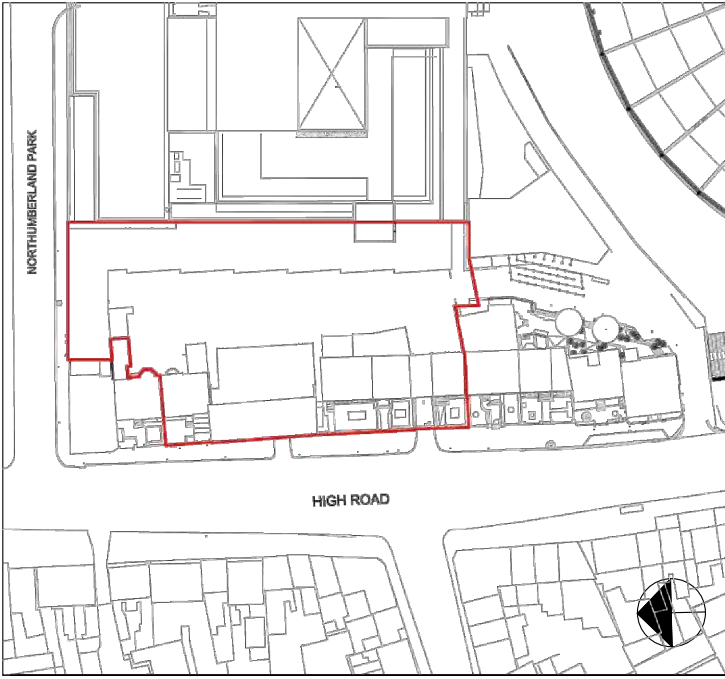
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Drawing Title

**800-802 HIGH ROAD
PROPOSED SECTION B-B**

Date Status

11/03/2020 PLANNING

Drawn By Checked By Approved By Scale Size Project Reference

KHW AC IL 1: 50 A1 171121

Project Agent Zone Level Type Role Drawing No. Revision

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