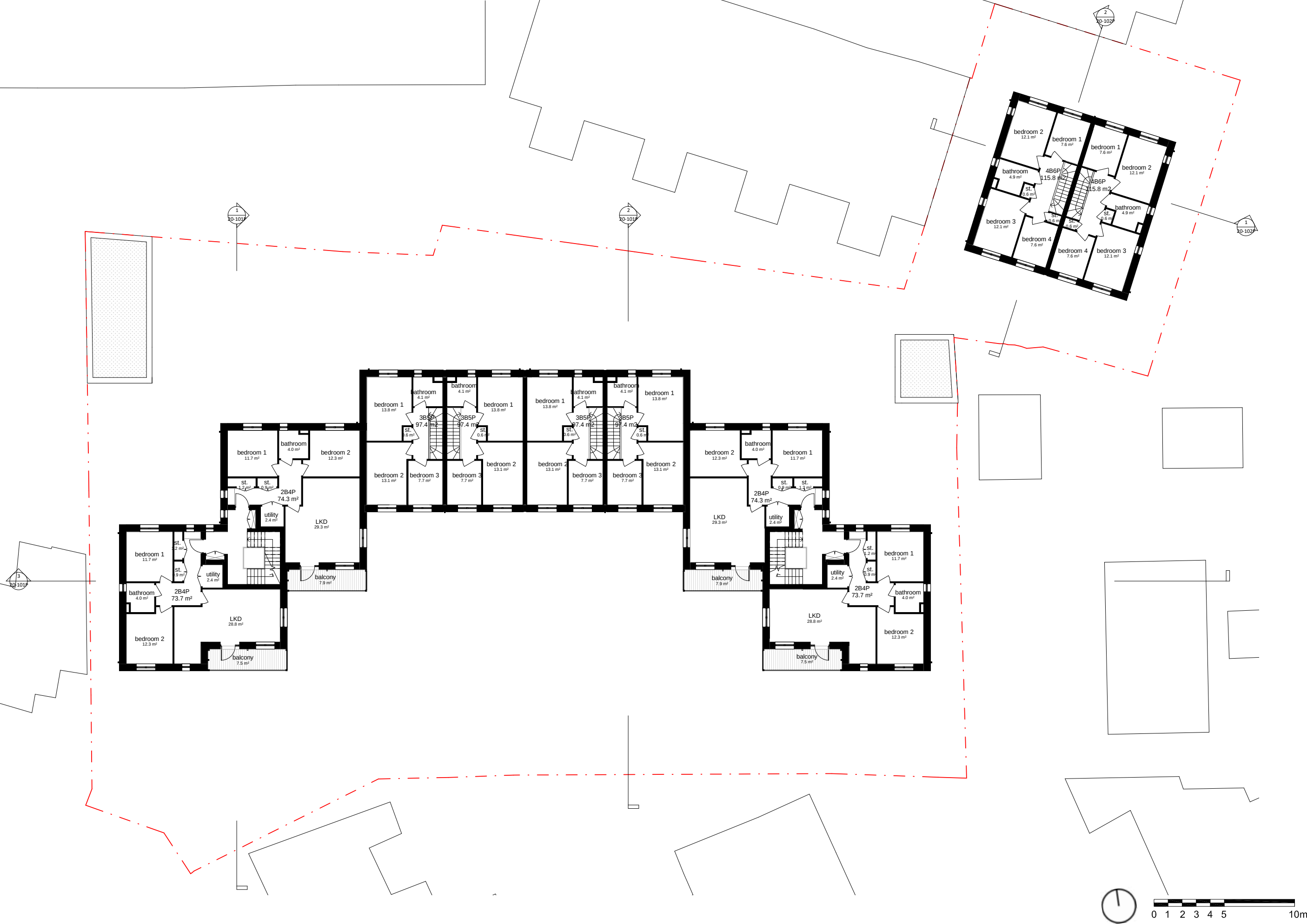
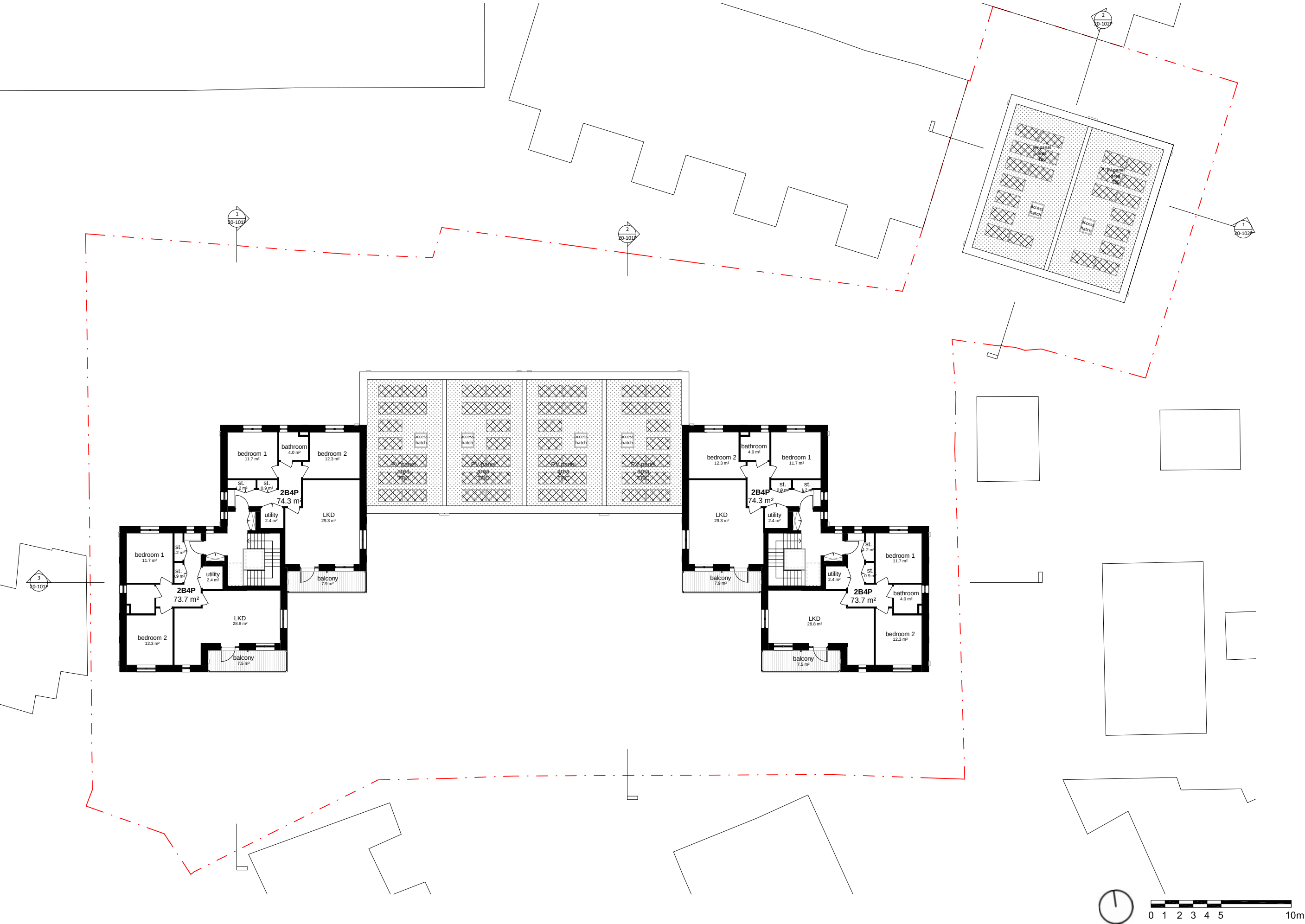


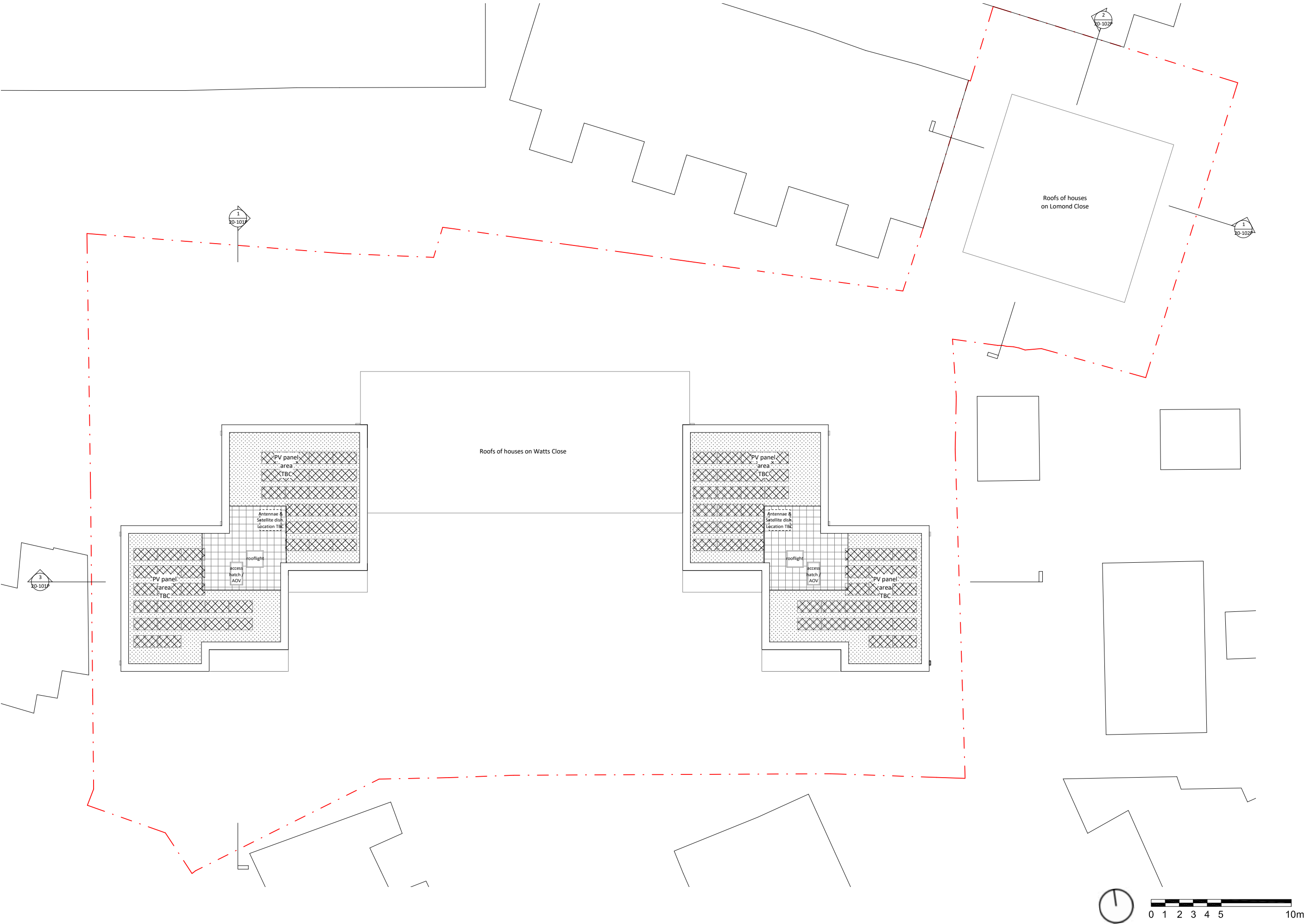
4.3 Proposed floor plans - First floor plan



4.3 Proposed floor plans - Second floor plan



4.3 Proposed floor plans - Roof plan

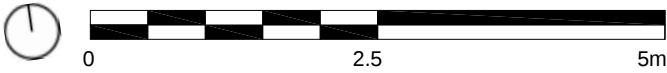
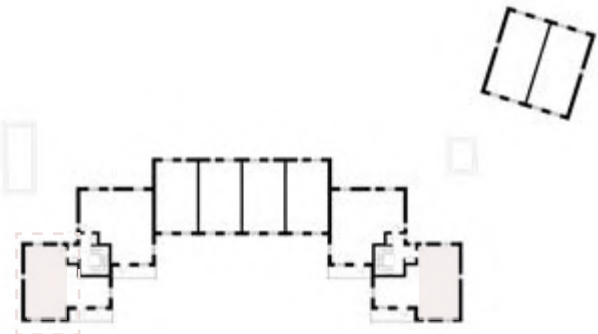


4.4 Dwelling layouts and access

All proposed homes have been designed to meet local and national planning requirements and Building Regulations.

The overall internal space standards are in accordance with Nationally Described Space Standards set out in the DCLG Technical Housing Standards 2015, Policy D4 Housing and Quality Standards of the London Plan March 2021 and Haringey’s Employer’s Requirements (ERs) incorporating design standards. Floor-to-ceiling height in all habitable room is 2.5m. All flats enjoy dual or multiple aspects.

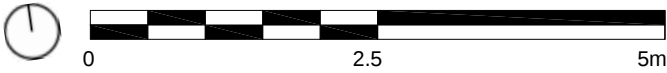
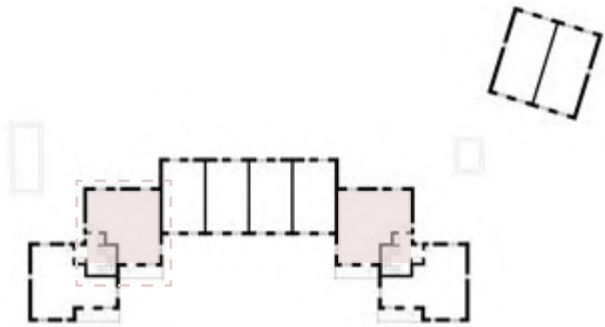
1B2P Flat - Ground-floor plan



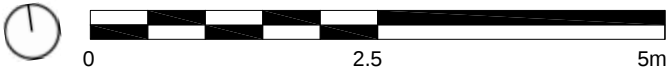
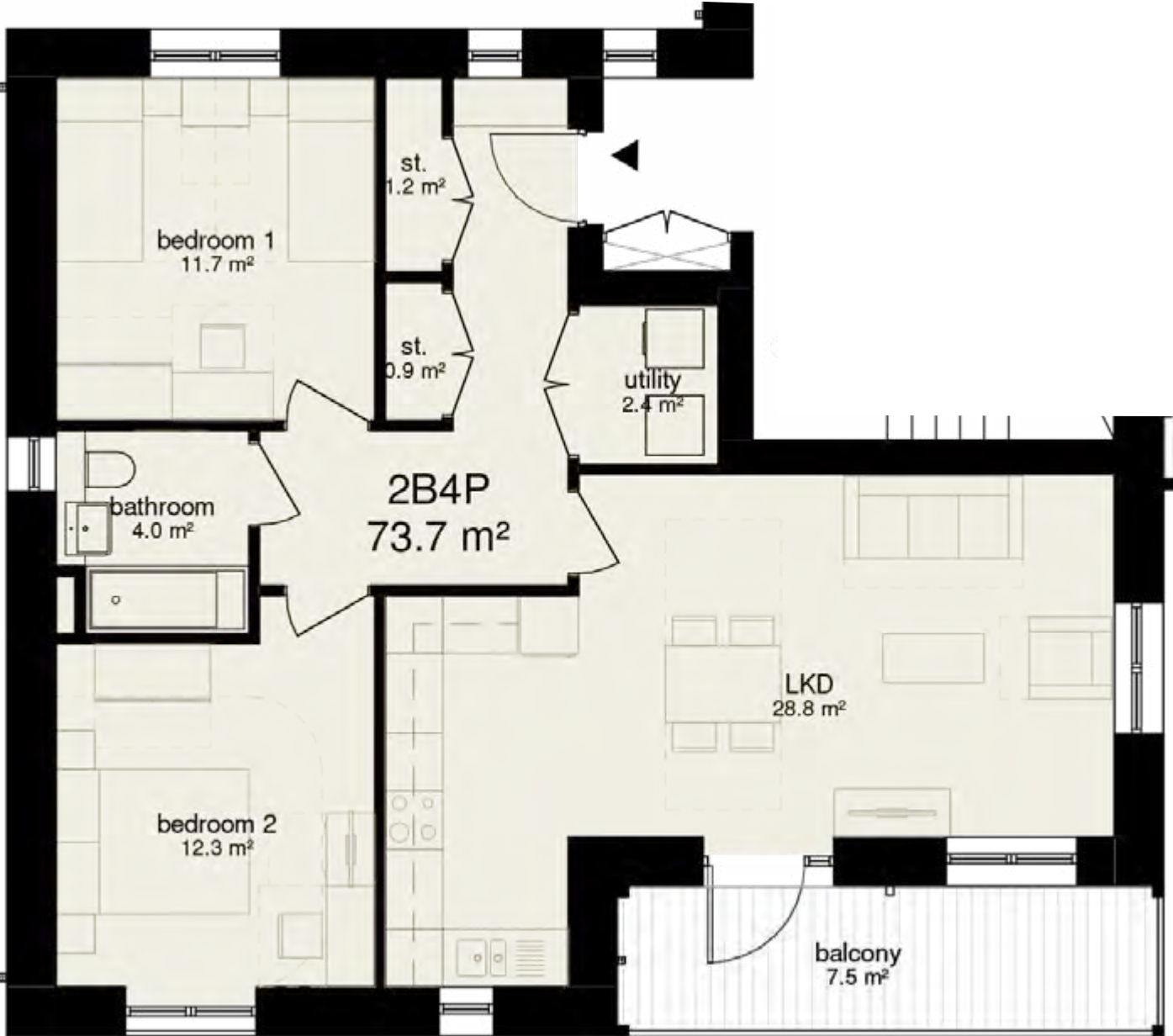
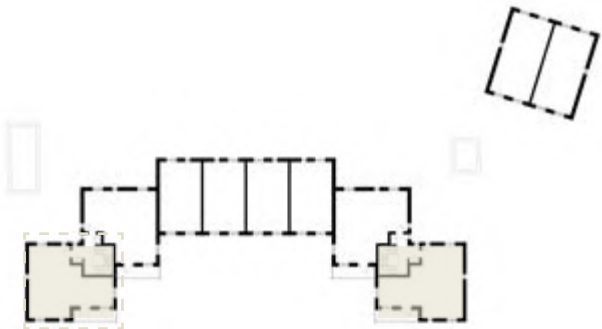
4.4 Dwelling layouts and access

Two of the 1-bedroom flats meet M4(3) requirements for wheelchair access and have been designed with input from Haringey’s occupational therapist. The remaining 89% of the proposed homes comply with the Approved Document Part M4(2) of the Building Regulations, excluding lift access to flats above ground floor.

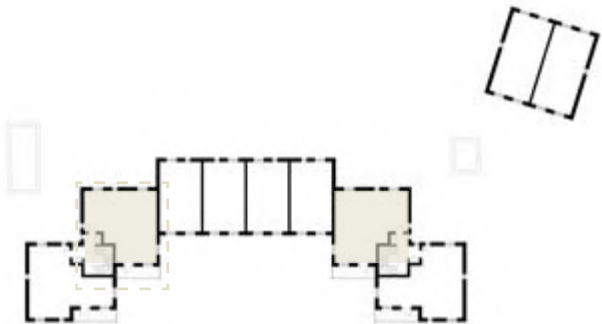
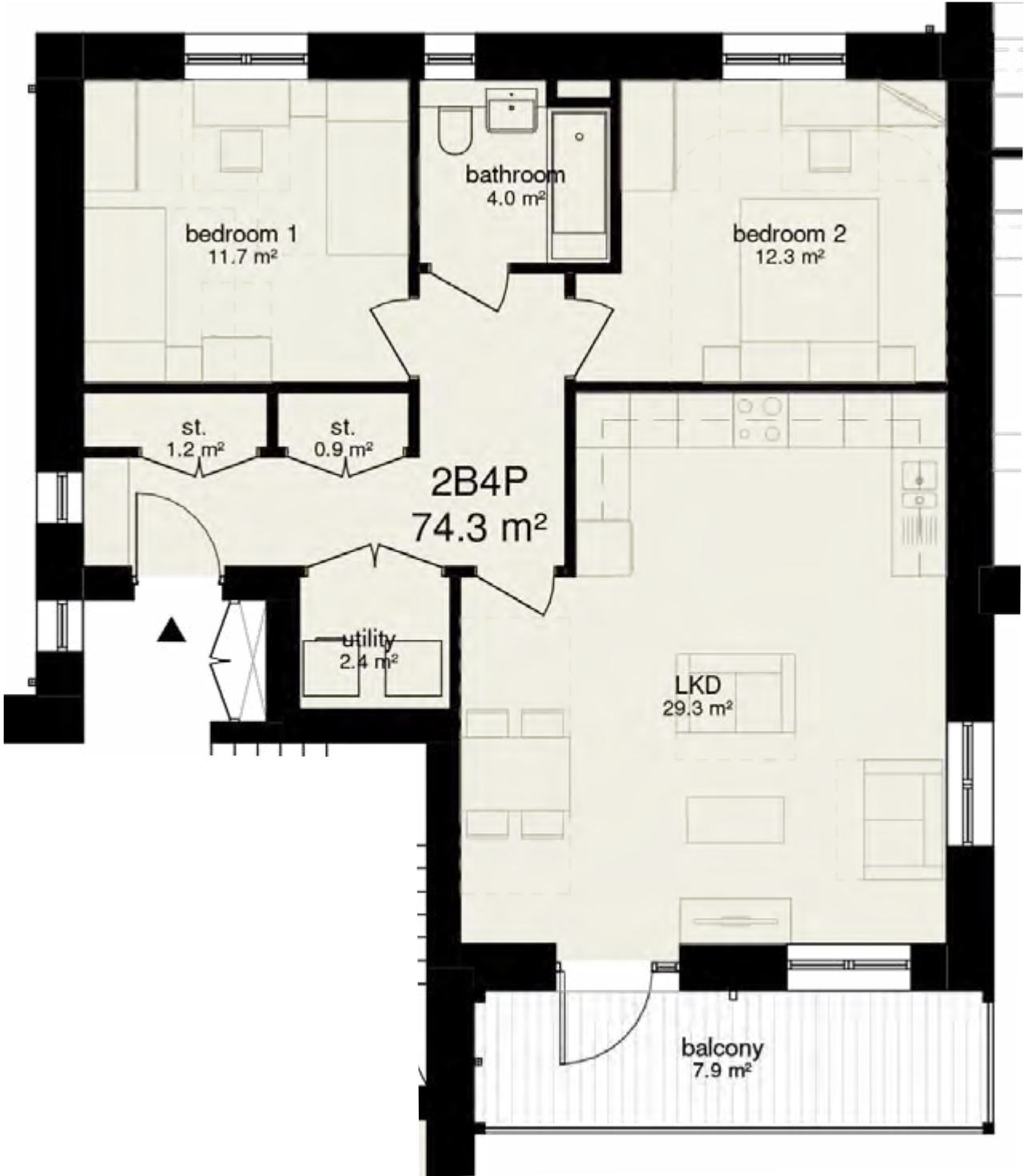
1B2P WCH Flat - Ground-floor plan



2B4P Flat Type A - First- and second-floor plan

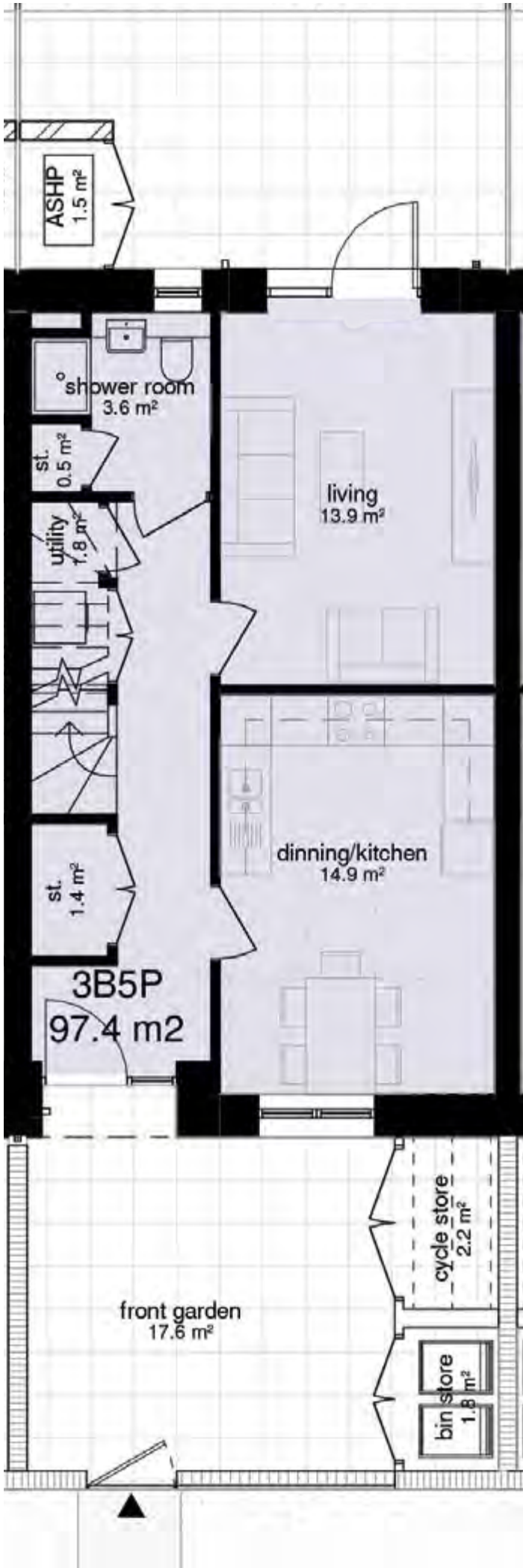


2B4P Flat Type B - First- and second-floor plan

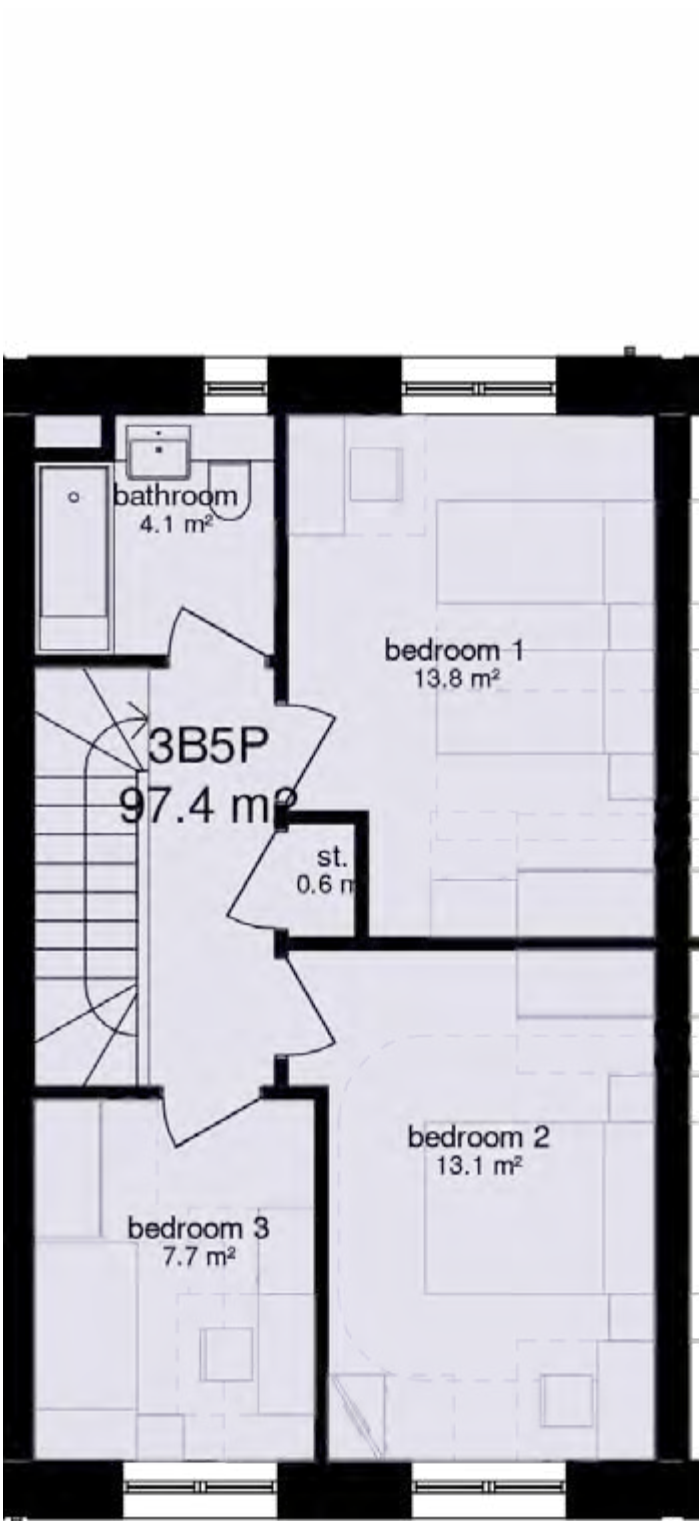


4.4 Dwelling layouts and access

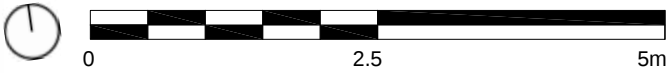
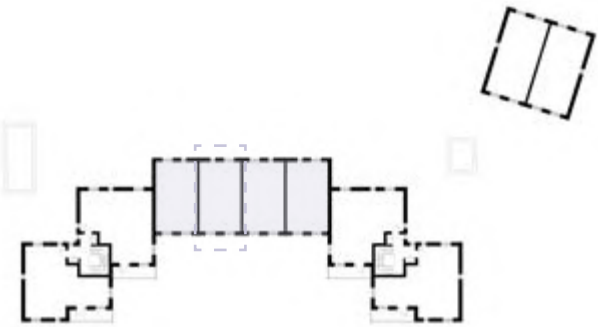
3B5P Houses - Watts Close



Ground Floor Plan

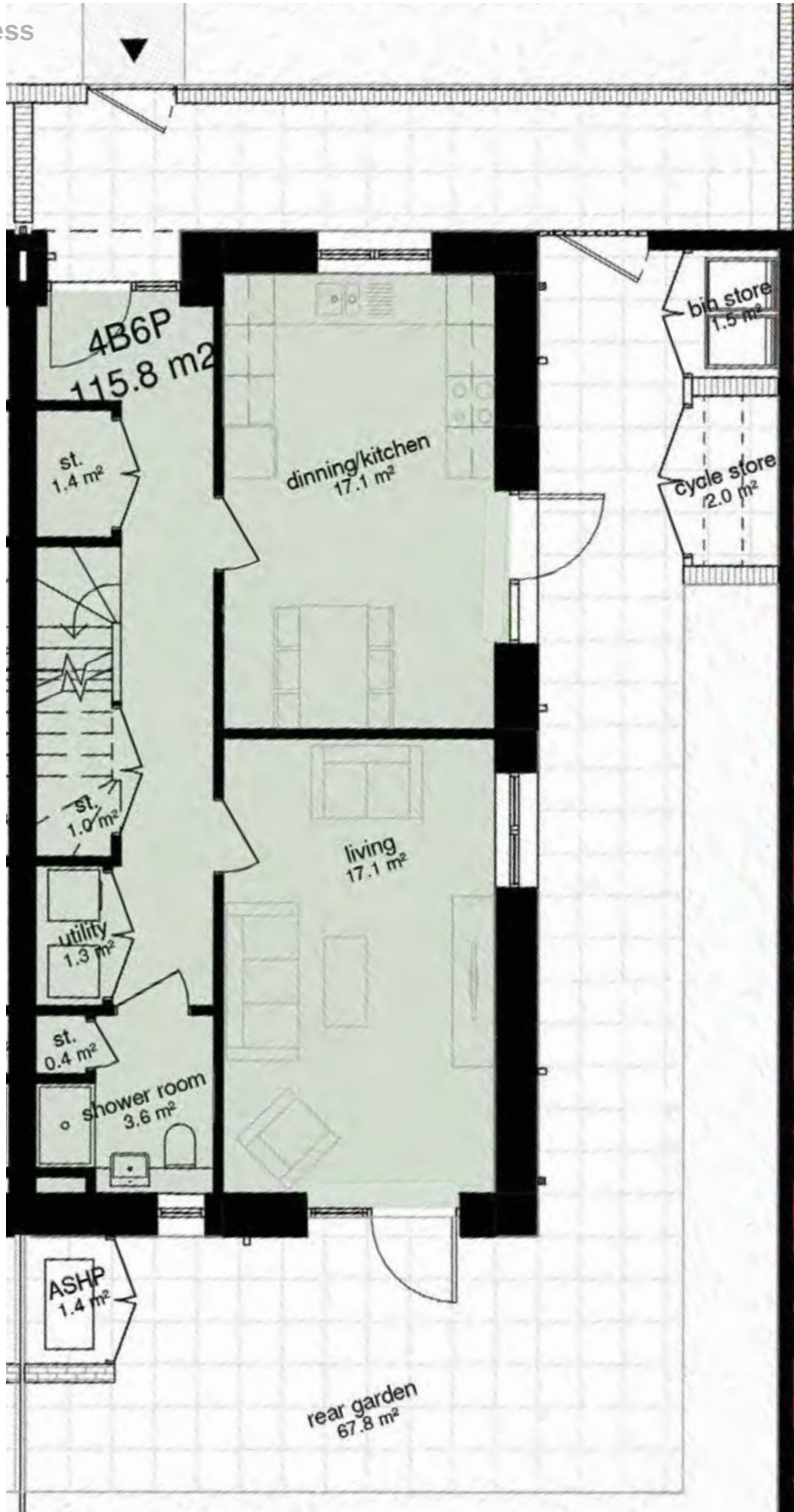


First Floor Plan

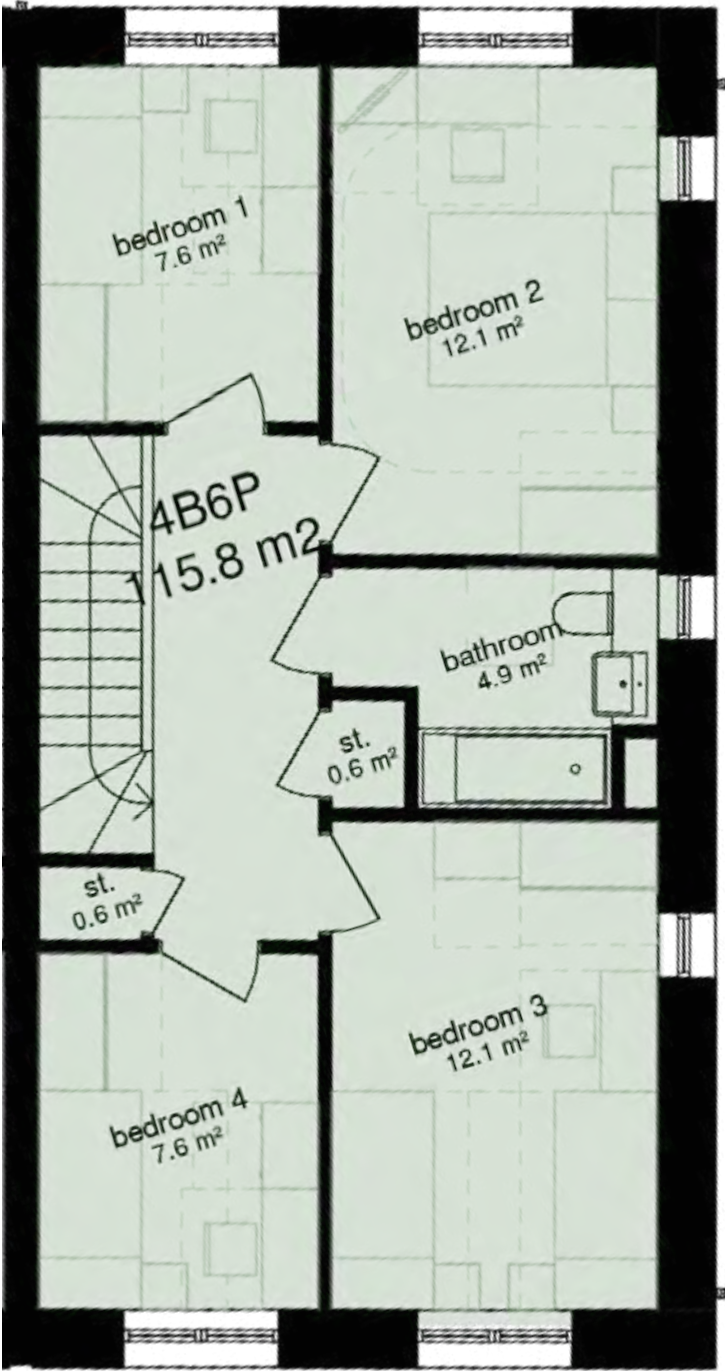


4.4 Dwelling layouts and access

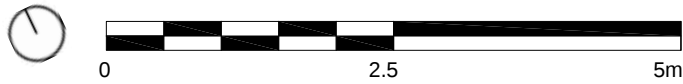
4B6P Houses - Lomond Close



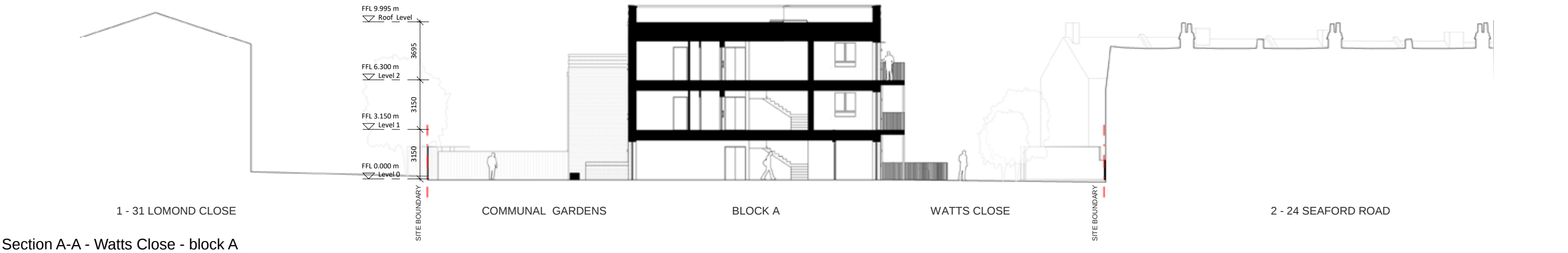
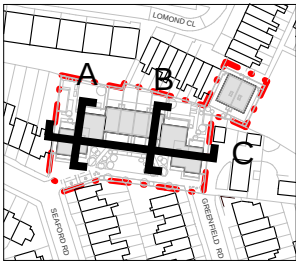
Ground Floor Plan



First Floor Plan



4.5 Sections



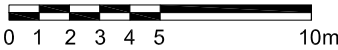
Section A-A - Watts Close - block A



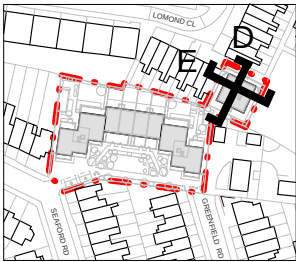
Section B-B - Watts Close - 3-bedroom houses



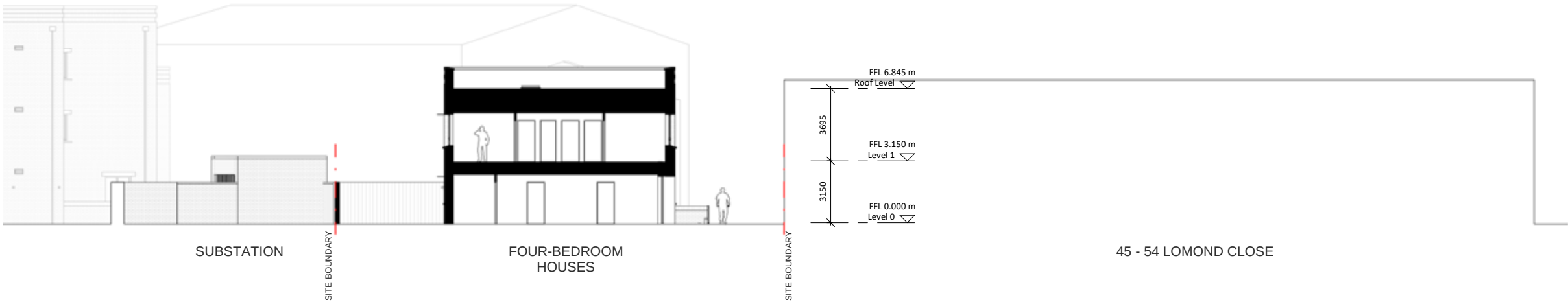
Section C-C - Watts Close - blocks of flats



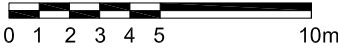
4.5 Sections



Section D-D - Lomond Close - 4-bedroom houses



Section E-E - Lomond Close - 4-bedroom houses



4.6 Appearance

A logical plan composed of a few well-resolved repeated dwelling types underpins the efficiency of the scheme at all levels from maximising the use of space to simplifying structural, servicing and detailing solutions.

The two 3-storey blocks of flats mirror one another at either end of the site. The stepping of the plan enhances relationships to the central garden play space while breaking up the mass of blocks and providing a degree of privacy between the balconies of adjacent flats.

The facade is a simple reflection of the rational plan. A limited number of carefully selected materials have been used in well-considered details to ensure that the building ages well and requires minimal maintenance. Load-bearing masonry construction is envisaged to keep costs and complexity down, using tried-and-tested techniques appropriate for this scale of development.

The brick facade is broken up with well-proportioned repeated window types. Deep window reveals, precast cills and expressed lintels are intended to give an impression of solidity and permanence, while also giving the building its own character, which sits comfortably with adjacent Victorian terraces.

Facade brickwork is offset with contrasting precast elements, including surrounds to entrances and matching lintels and cills to windows, adding texture and interest. The choice of red/pink brick for the new houses at Lomond Close is intended to harmonise with the existing neighbouring houses and flat blocks. The use of the same palette of materials for Watts Close, which has a variety of existing materials and treatments nearby, provides consistency throughout the proposed development.



Street view of proposed development from Seaford Road

4.6 Appearance

The brickwork is varied at high level for visual interest from a stretcher bond to a recessed double soldier course, where it meets copings to parapet walls. A similar detail is proposed for the front garden and patio walls, where a single soldier course is used. All other brick walls, including dwarf walls to the houses' front gardens, will have brick on edge coping.

The individual houses in the terrace are demarcated by subtle vertical recesses in brickwork along party walls, which also accommodate the rainwater pipes where applicable. The balconies are treated as separate elements and have angled flat metal balusters for privacy. The colour of all metalwork, including balconies, matches that of window frames.

The simple rear façade is characterised by the same stepping of the central space, which divides into short sections and helps avoid overlooking of the neighbouring properties.

Composite windows with aluminium externally and timber internally are set in deep reveals and have subdivisions for safety and ease of operation. The deep masonry reveals throughout give the buildings a sense of solidity and permanence, as well as offering protection against overheating. Following an initial overheating assessment, additional protection to reduce the risk of future overheating is provided in the form of projecting elements to heads of south- and west-facing windows, except where protected by balcony overhangs.



View of the two proposed houses on Lomond Close

4.7 Context facade materials



Diagram illustrating the main facade material
Watts Close | Haringey



Yellow brick with red brick banding



Render



Pebble-dash



Wood cladding and red brick



Red brick



Buff brick with dark brick banding

4.8 Elevations



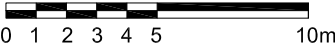
28 and 26 Seaford Road Block A 3-bedroom houses Block B Existing substation and rear view of 4-bedroom houses in the background

Proposed south front elevation - Watts Close



Existing substation Block B 3-bedroom houses Block A 26 and 28 Seaford Road

Proposed north rear elevation - Watts Close



4.8 Elevations

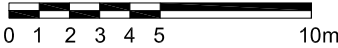
----- Outline of 26 Seaford Road



Proposed east side elevation - Watts Close



Proposed north front elevation - Lomond Close

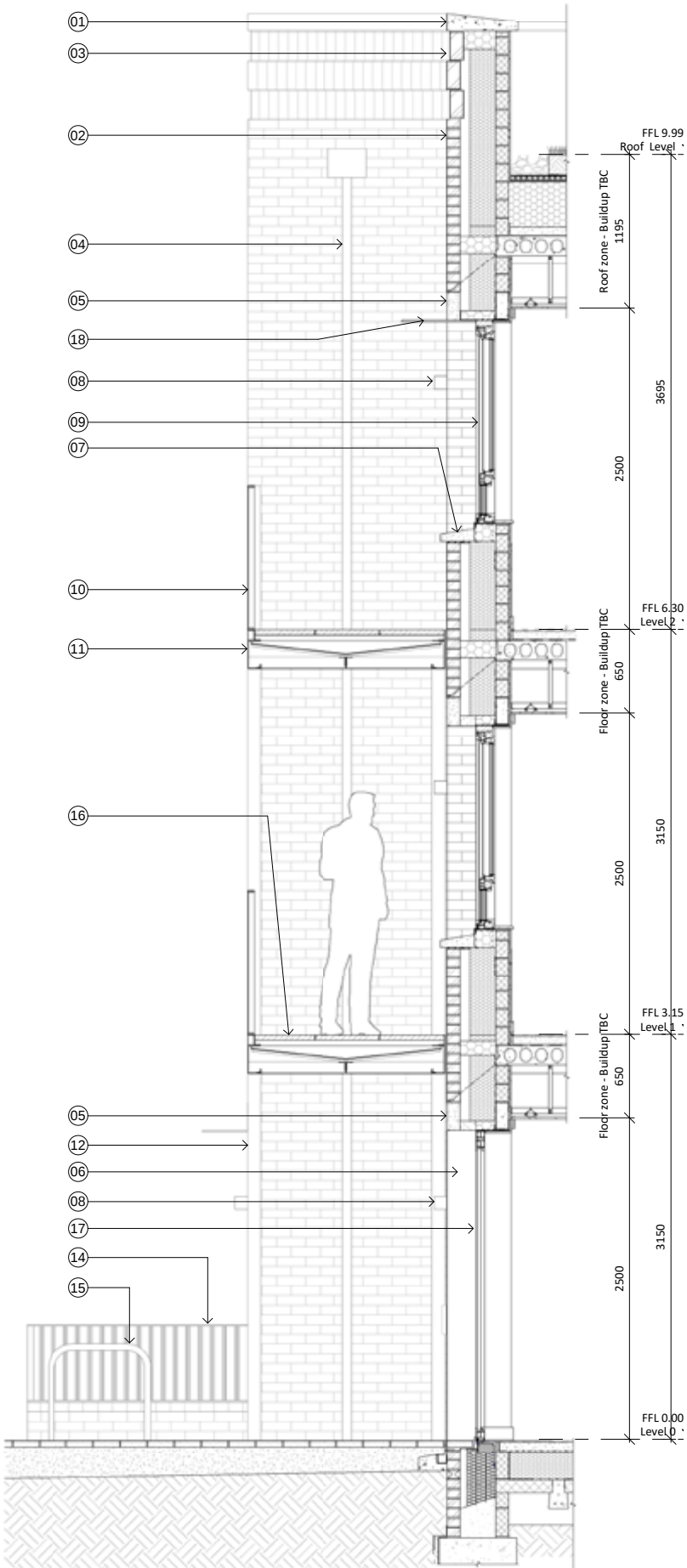


4.9 Elevation detail study



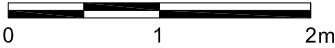
South front elevation - Watts Close - block of flats

Watts Close | Haringey



Material key

- 01 Concrete coping with fall and projection to inside. Colour and finish TBC
- 02 Brickwork: Vandersanden - Cayenne brick or similar approved. Stretcher bond, flush pointing, mortar colour TBC
- 03 Brickwork: Vandersanden - Cayenne brick or similar approved. Soldier course, flush pointing, mortar colour TBC
- 04 Powder coated aluminium rainwater hopper and square downpipe. Colour to match window frames
- 05 Bespoke load-bearing concrete lintel. Colour and surface texture TBC
- 06 Glass reinforced concrete panel to surrounds. Colour to match cill and lintel.
- 07 Bespoke precast concrete cill, colour and surface texture to match lintel, TBC
- 08 Wall-mounted IP rated LED up-down cylinder light, surface mounted external. Colour: TBC to match window frame
- 09 Windows, balcony and terrace doors: proprietary composite system, colour coated aluminium external and painted timber internal. Slim profile frame. No visible weep holes or trickle vents. Colour RAL 7038 (Agate Grey) and system TBC
- 10 Factory colour coated galvanised steel balustrades, comprising steel flats at 100mm max spacings. Vertical balustrades to be angled. Colour: to match window frame - RAL 7038 (Agate Grey)
- 11 Factory colour coated galvanised steel to balcony edge. Colour: to match window frame - RAL 7038 (Agate Grey)
- 12 Galvanised SHS corner posts, factory colour coated/ppc colour to match window frame - RAL 7038 (Agate Grey)
- 13 Communal glazed entrance door: Proprietary curtain walling system with fixed panel incorporating video entry system. Colour: RAL 7038 (Agate grey) Ironmongery: Simple brushed stainless steel (600mm cranked D handles inside and out)
- 14 Factory colour coated galvanised steel fencing and gates, comprising steel flats at 100mm max spacings. Colour: to match window frame - RAL 7038 (Agate Grey)
- 15 Stainless steel sheffield cycle stand
- 16 Concrete paviors with stone aggregate. Kellen Breccia Bianco or similar approved
- 17 Perforated metal door. Pattern TBC Colour: RAL 7038 (Agate grey) Ironmongery: Simple brushed stainless steel (600mm cranked D handles inside and out)
- 18 Shading device to head of all south and west facing windows where shown on GA elevations. Colour to match lintel

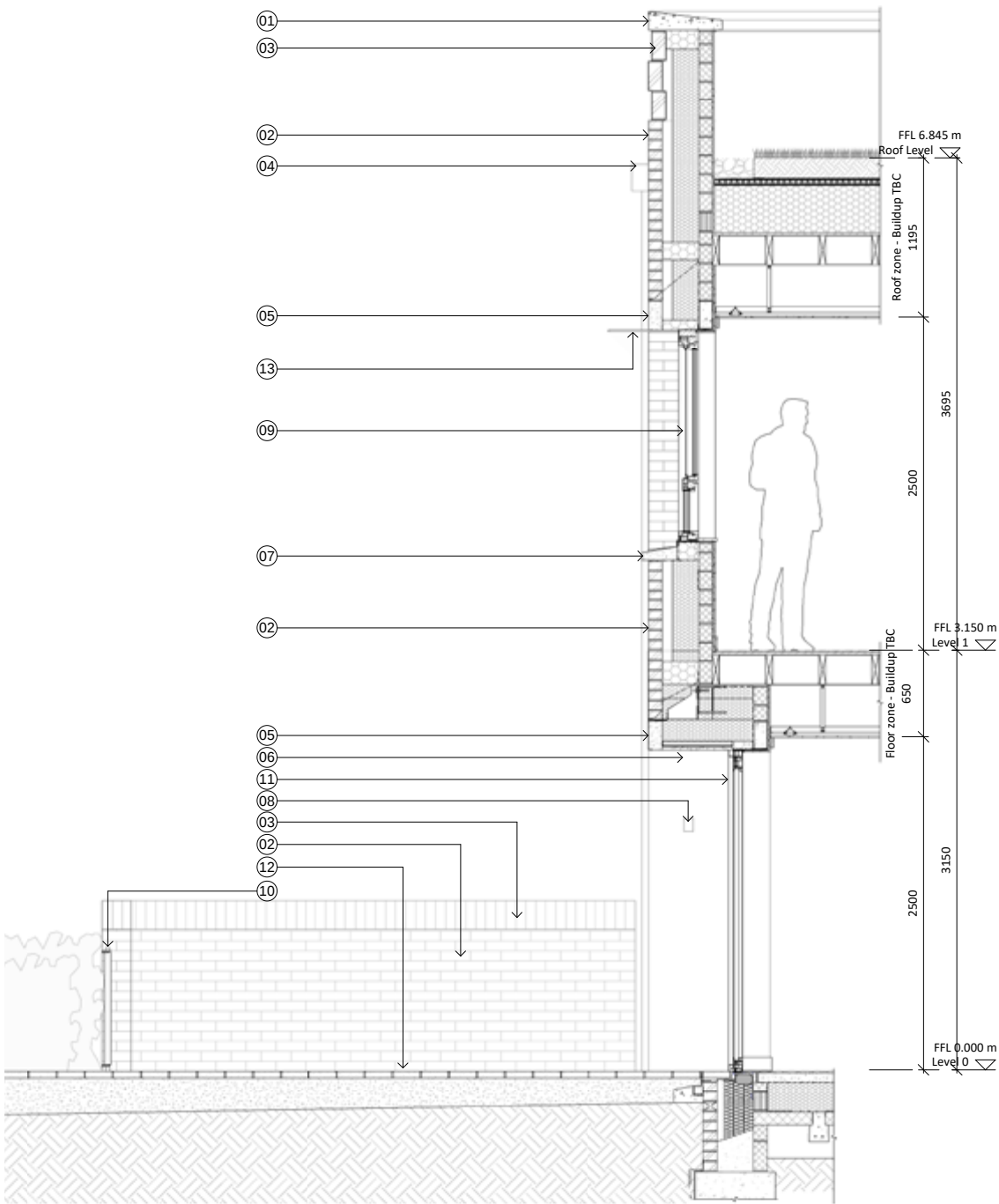


4.9 Elevation detail study



South front elevation - Watts Close -3-bedroom houses

Watts Close | Haringey



Material key

- 01 Concrete coping with fall and projection to inside. Colour and finish TBC
- 02 Brickwork: Vandersanden - Cayenne brick or similar approved. Stretcher bond, flush pointing, mortar colour TBC
- 03 Brickwork: Vandersanden - Cayenne brick or similar approved. Soldier course, flush pointing, mortar colour TBC
- 04 Powder coated aluminium rainwater hopper and square downpipe. Colour to match window frames
- 05 Bespoke load-bearing concrete lintel. Colour and surface texture TBC
- 06 Glass reinforced concrete panel to the entrance surrounds. Colour to match cill and lintel
- 07 Bespoke precast concrete cill, colour and surface texture to match lintel, TBC
- 08 Wall-mounted IP rated LED up-down cylinder light, surface mounted external. Colour: TBC to match window frame
- 09 Windows, balcony and terrace doors: proprietary composite system, colour coated aluminium external and painted timber internal. Slim profile frame. No visible weep holes or trickle vents. Colour RAL 7038 (Agate Grey) and system TBC
- 10 Factory colour coated galvanised steel fencing and gates, comprising steel flats at 100mm max spacings. Colour: to match window frame - RAL 7038 (Agate Grey)
- 11 Solid flush external entrance doors with glazed sidelight – PPC aluminum facing with plain profile - with simple brushed stainless steel ironmongery (300mm D handles inside and out). Colour - RAL 7038 (Agate Grey)
- 12 Concrete paviors with stone aggregate. Kellen Breccia Bianco or similar approved
- 13 Shading device to head of all south and west facing windows where shown on GA elevations. Colour to match lintel



4.9 Elevation detail study



North front elevation - Lomond Close - 4-bedroom houses

Watts Close | Haringey

Material Key

- 01 Concrete coping with fall and projection to inside. Colour and finish TBC
- 02 Brickwork: Vandersanden - Cayenne brick or similar approved. Stretcher bond, flush pointing, mortar colour TBC
- 03 Brickwork: Vandersanden - Cayenne brick or similar approved. Soldier course, flush pointing, mortar colour TBC
- 04 Powder coated aluminium rainwater hopper and square downpipe. Colour to match window frames
- 05 Bespoke load-bearing concrete lintel. Colour and surface texture TBC
- 06 Bespoke precast concrete cill, colour and surface texture to match lintel, TBC
- 07 Windows, balcony and terrace doors: proprietary composite system, colour coated aluminium external and painted timber internal. Slim profile frame. No visible weep holes or trickle vents. Colour RAL 7038 (Agate Grey) and system TBC
- 08 Factory colour coated galvanised steel fencing and gates, comprising steel flats at 100mm max spacings. Colour: to match window frame - RAL 7038 (Agate Grey)
- 09 Concrete paviors with stone aggregate. Kellen Breccia Bianco or similar approved

