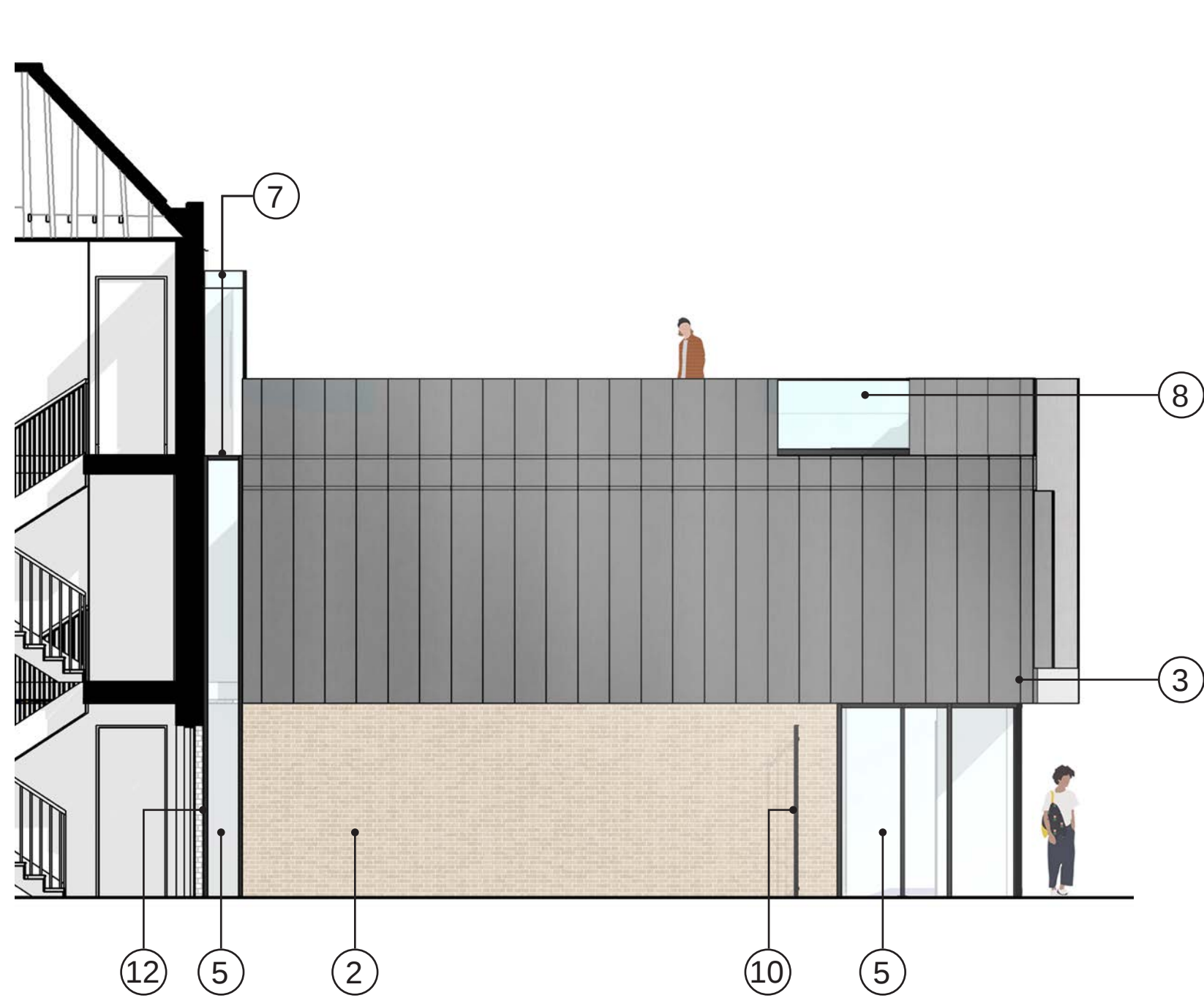
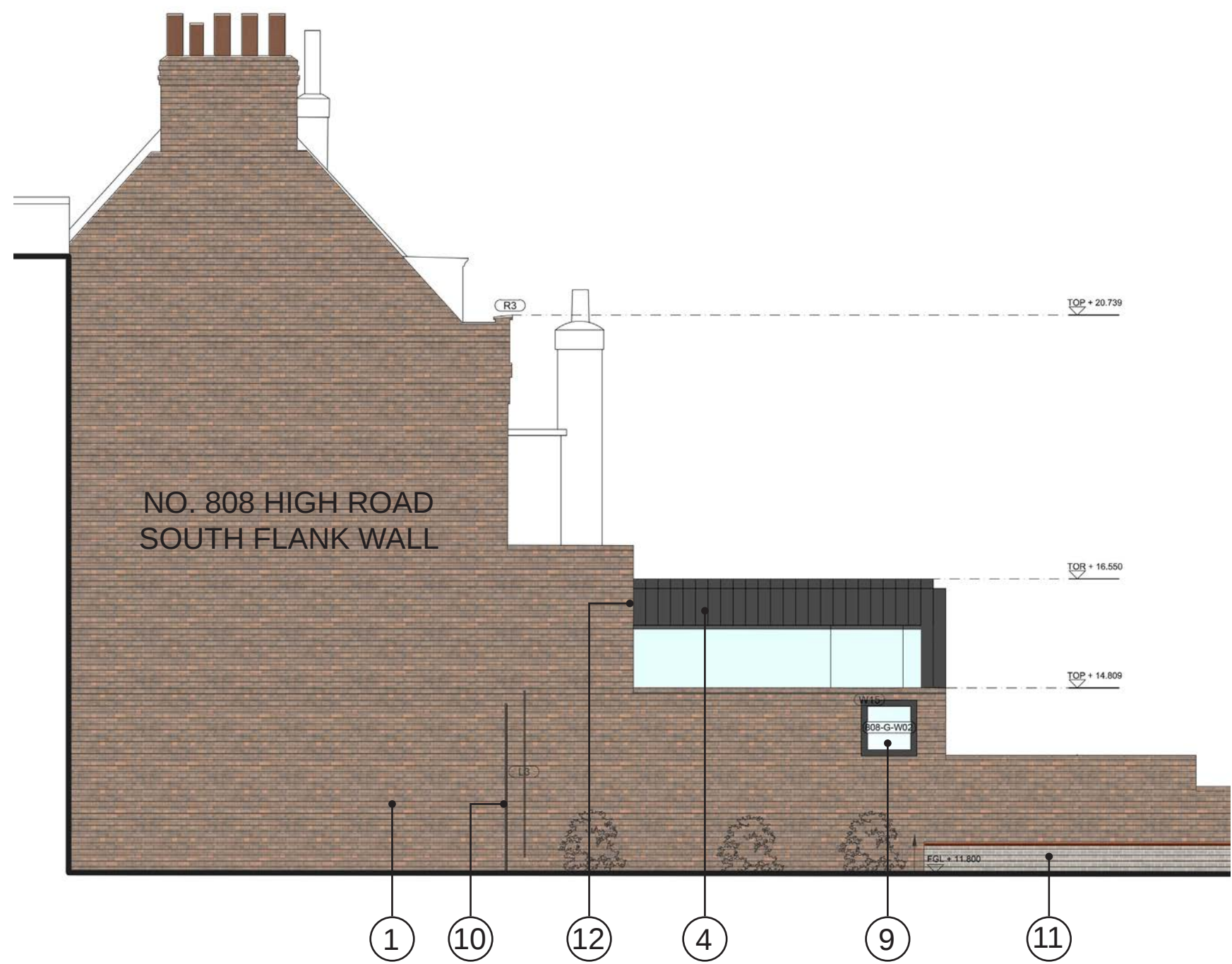




EAST ELEVATION



NORTH ELEVATION A



NORTH ELEVATION B

MATERIALS DESCRIPTION

- ① FACADE FINISH - BRICK WORK
Existing facing stock brickwork cleaned, repointed and repaired where necessary. New stock brickwork in heritage stock to match existing.

② FACADE FINISH - BRICK WORK
Brick work (flemish bond) to distinguish new elements from the existing.

③ FACADE FINISH - STANDING SEAM CLADDING
Standing seam bronze zinc coloured metal roof / cladding. Cladding to match existing on The Paxton Building. Drawing shows ultimate weathered tone of cladding.

④ FACADE FINISH - STANDING SEAM CLADDING
Standing seam red-brown zinc cladding.

⑤ FACADE FINISH - CURTAIN WALL
Full height clear glazing within dark grey proprietary frame system.

⑥ ROOF FINISH - FLAT ROOF
Standing seam grey metal roof and fascia downstand.

⑦ ROOF FINISH - GLAZED ROOF LIGHTS
Glazed roof lights which run the width of the existing building provide a distinct glazed break between existing and the new extension.

⑧ BALUSTRADES - GLASS
Glass balustrades to roof terrace.

⑨ WINDOW / DOOR FINISH
Clear glazing within dark grey proprietary frame system.

⑩ FENCE / GATE FINISH
Steel fencing / gates. Colour to match metal wall cladding.

⑪ PLINTH & TERRACE FINISH - BRICK WORK
Grey Engineering Brick.

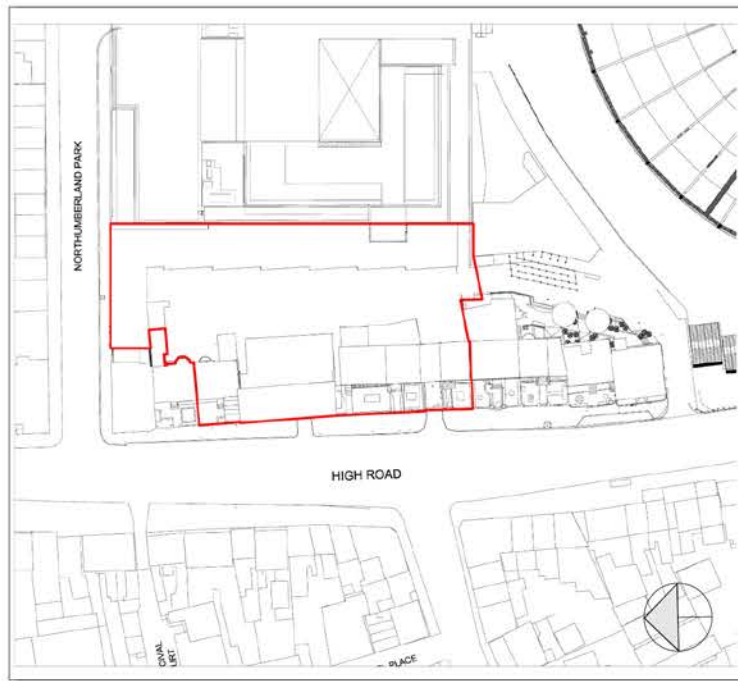
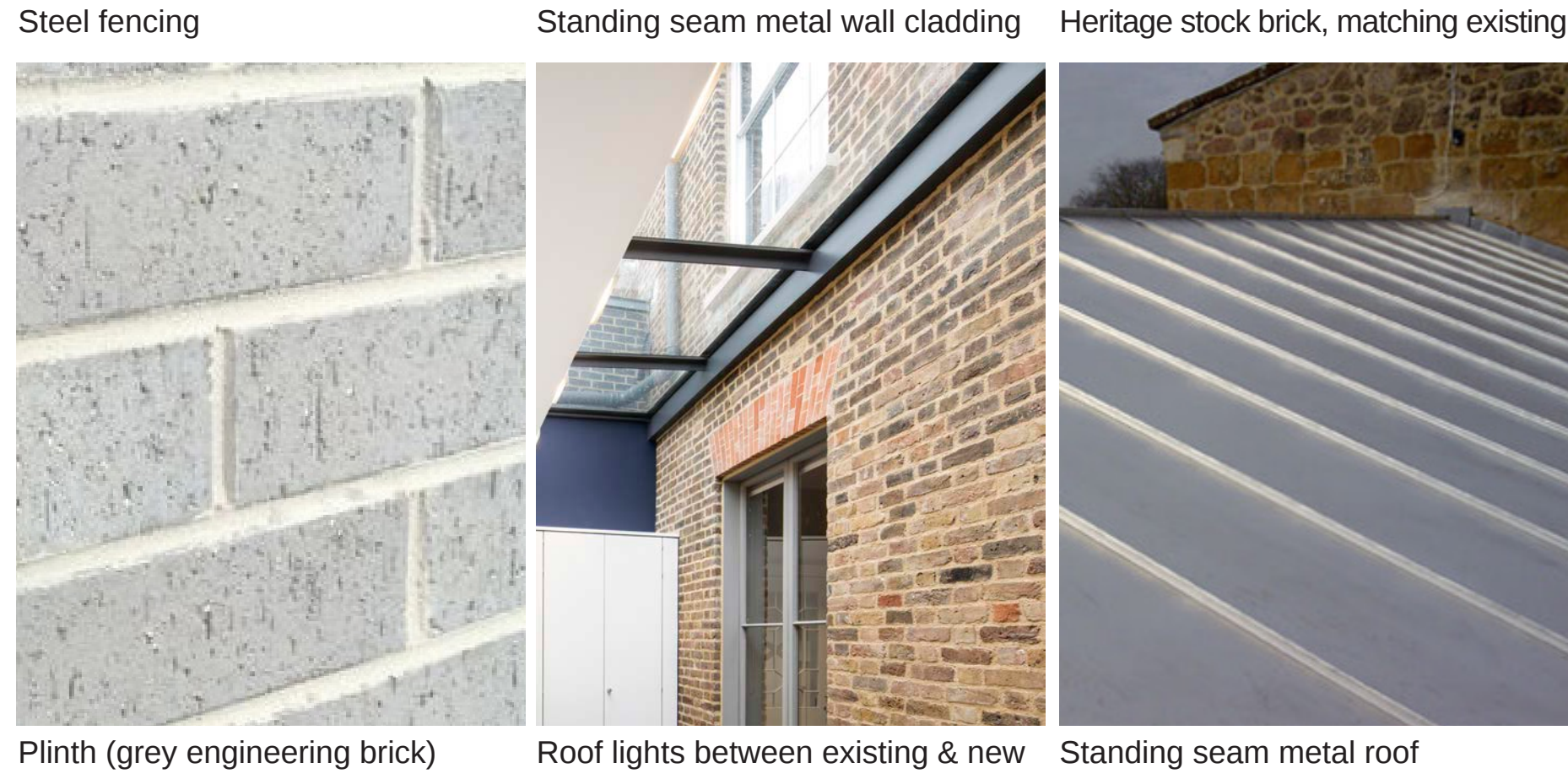
⑫ JUNCTION DETAIL - EXISTING AND NEW EXTENSION
Soft joint between existing house and new extension to maintain minimal intrusion to the rear facade.
- GENERAL NOTE:

WINDOW FINISH - REPLACEMENT HERITAGE WINDOWS
To match existing.

PRECEDENT IMAGES



MATERIAL PALETTE



KEY PLAN

NOTES:

DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, DOCUMENTS AND CONSULTANT INFORMATION.

CAD DRAWINGS BASED ON SURVEY INFORMATION BY OTHERS; ALL DIMENSIONS TO BE SITE CHECKED.

MAKE ITEMS SHOWN INDICATIVELY AND ARE SUBJECT TO FURTHER SITE INVESTIGATIONS AND END USER SPECIFICATION REQUIREMENTS.

INTERNAL FURNITURE LAYOUTS SHOWN FOR INDICATIVE PURPOSES.

LANDSCAPING/PUBLIC REALM SHOWN FOR INDICATIVE PURPOSES ONLY - REFER TO RE-FORM LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS.

No.	DATE	DESCRIPTION	BY	AC	RM	AC	DRN	CHK
P2	02/10/2020	PLANNING - Revised elevation/landscape to 800, 804-806 & 808	BY	AC				
P1	25/03/2020	PLANNING	RM	AC				

ARCHITECT

F3 ARCHITECTURE + INTERIORS

A: 5 Rochester Mews - London - NW1 9JB
T: 020 7267 8352
W: f3architects.com
E: info@f3architects.com

Except for Planning purposes, figured dimensions only are to be taken from this drawing.
All dimensions are in millimetres unless otherwise stated.
All dimensions shall be checked on site prior to works commencing.
Any discrepancies shall be reported to the Architect.
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Health and Safety

Based on the use of experienced and competent contractors working to an approved method statement.

Project Name

**NORTHUMBERLAND TERRACE PHASE 3:
NOS. 798 TO 808 HIGH ROAD AND
LAND TO REAR
798-808 HIGH ROAD
LONDON
N17 0BX**

Drawing Title

**PROPOSED ILLUSTRATIVE ELEVATIONS
& MATERIALS PALETTE**

Date Status

25/03/2020 PLANNING

Drawn By Checked By Approved By Scale Size Project Reference

MH AC IL NTS A1 171121

Project Agent Zone Level Type Role Drawing No. Revision

NT-1000-ZZ-LZZ-DR-A- 41002 P2

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