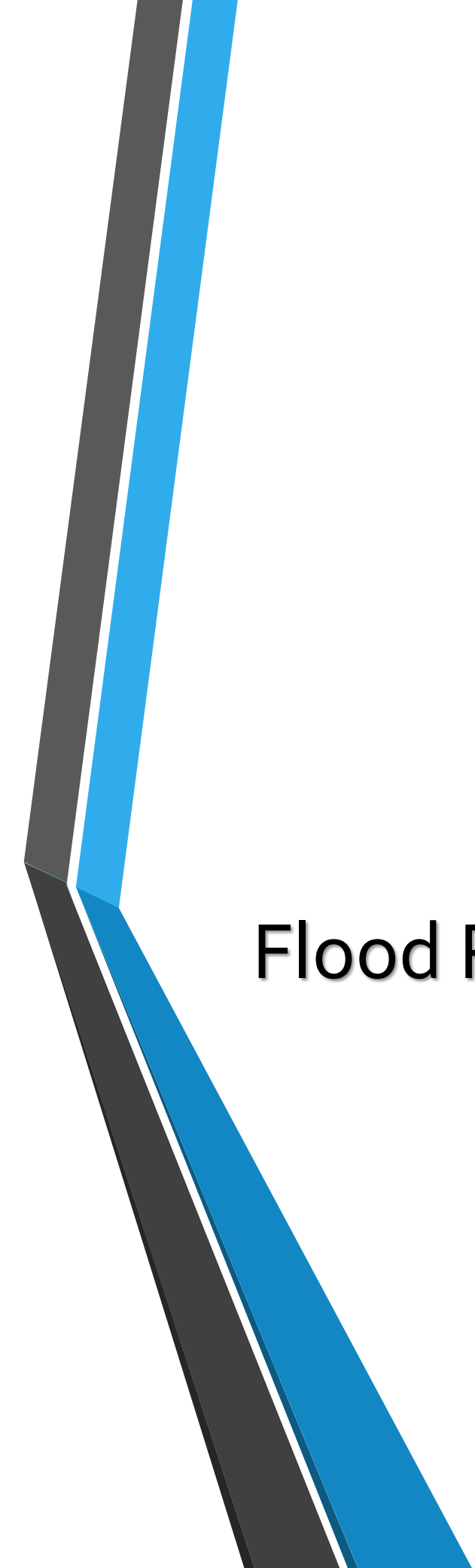




Flood Risk Assessment

105 Brantwood Road

N17 0DX

Introduction

This comprehensive Flood Risk Assessment (FRA) has been conducted in association with the proposed project for the retrospective erection of an outbuilding. The analysis adheres meticulously to the National Planning Policy Framework (NPPF) technical guidance, taking into consideration the potential flood hazards identified in the Environment Agency's Flood Map for the site.

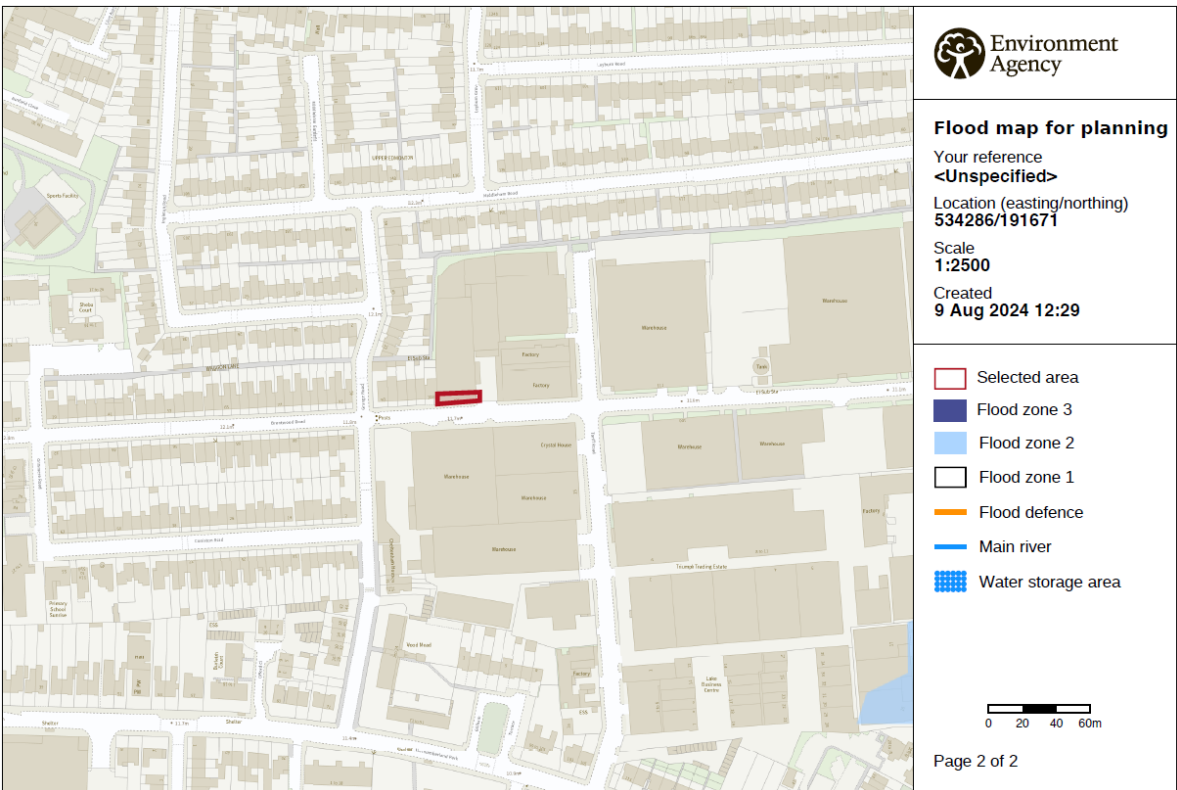
Site

The site address is 105 Brantwood Road, N17 0DX.

Vulnerability Classification

The vulnerability classification for the proposed outbuilding is judiciously determined to be "more vulnerable" according to 'Table 2 in the NPPF technical guidance'. This classification considers the potential flood hazards and underscores the resilience and adaptability of the structure to mitigate risks associated with flooding from seas, rivers, land, and sewers

The site is location in Flood Zone 1 according to the Environment Agency flood map.



The Sequential Test, mandated by the NPPF, substantiates the ‘compatibility’ of the outbuilding in Flood Zones 1 and 2, considering the “More Vulnerable” classification. This ensures that the development is appropriate, balancing the project's needs with the identified flood hazards.

Table 3: Flood risk vulnerability and flood zone ‘compatibility’

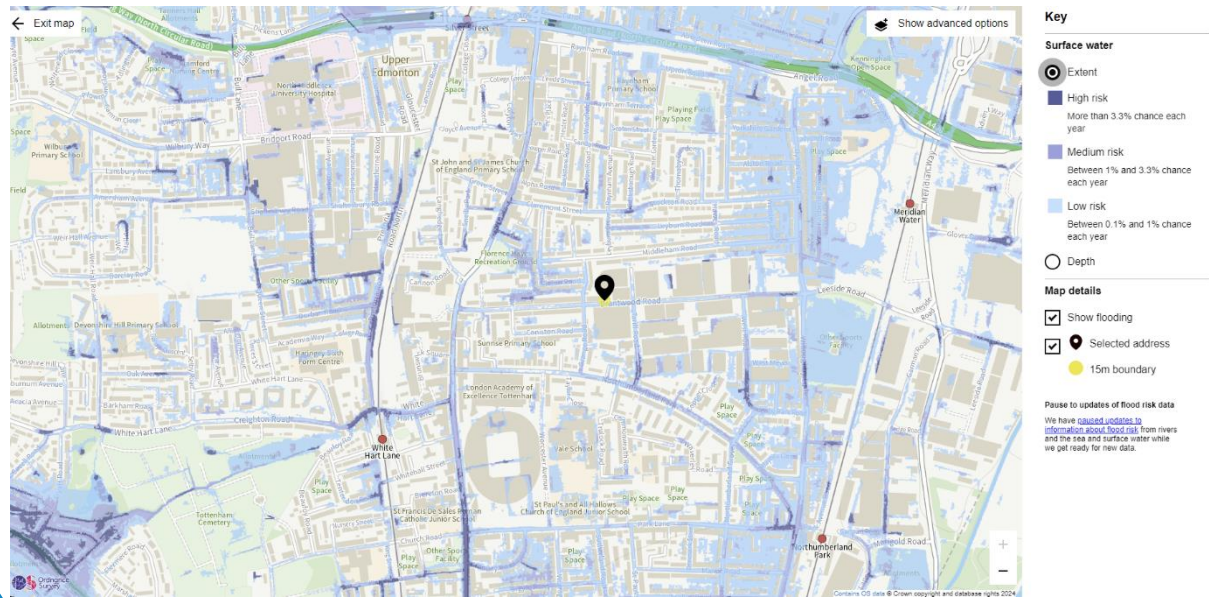
Flood risk vulnerability classification (see table 2)		Essential infrastructure	Water compatible	Highly vulnerable	More vulnerable	Less vulnerable
Flood zone (see table 1)	Zone 1	✓	✓	✓	✓	✓
	Zone 2	✓	✓	Exception Test required	✓	✓
	Zone 3a	Exception Test required	✓	✗	Exception Test required	✓
	Zone 3b functional floodplain	Exception Test required	✓	✗	✗	✗

Key: ✓ Development is appropriate.
 ✗ Development should not be permitted.

Identification of potential flood hazards

Flooding from land

Local flooding can occur when heavy rains, which are frequently brief and unable to seep into the ground or enter drainage systems, run off the land fast. The site falls in a zone of “Low risk Between 0.1% and 1% chance each year”



Flooding from the Sea and Rivers

Flooding from Sea and river is unlikely in this area.

Flooding from Groundwater

Flooding from groundwater is unlikely in this area.

Reservoirs

Flooding from reservoirs is unlikely in this area.

The development will not impair the site's permeability, there will no increase of the building size due extensions.

Risk Assessment Considering the site's classification in Flood Zone 1 and the more vulnerable vulnerability classification, the proposed development is suitable for the minor proposal.

Conclusion

The planned development at 105 Brantwood Rd does not increase the danger of flooding or create considerable future flood risk due to climate change.