



J. B. WARD & SONS

DAMP & TIMBER TREATMENT SPECIALIST

9 Box Lane, Minchinhampton, Stroud,
Gloucestershire. GL6 9DH

TEL (08456) 44 54 01

Direct call

Tuesday 20 August 2024

JBW 75001

Dear Mr Douglas Paskin

37 North Road, Highgate

Thank you for the opportunity to carry out a survey on your behalf. Following my inspection of the above property on Wednesday 14 August 2024, I am pleased to attach the required document.

Should you have any queries please do not hesitate to contact me.

Yours sincerely

Alan Creed

REPORT

T 75001

SITE ADDRESS:

37 North Road, Highgate

REQUESTED BY:

Direct call

SURVEYOR:

Alan Creed

REPORT DATE

Tuesday 20 August 2024

INSPECTION DATE:

Wednesday 14 August 2024

REPORT

No D 75001

DAMP

As requested an inspection has been made at:

37 North Road, Highgate

CONDITION OF INSPECTION

Where inspection is restricted by any furniture, floor coverings and fitted items (including plasterboard/dry lining) at the time of the site visit, we may not be able to carry out adequate tests/inspection of these areas. In providing a report it must be taken into account that we are not at liberty to lift floor coverings, move or expose or examine parts of the property that were covered, painted or inaccessible at the time of the inspection. A report must therefore be read with the knowledge of these limitations.

There is no way of telling whether any concealed areas are suffering from any disorders such as damp, or rot without opening up, and lifting all coverings. A full structural survey, exposing all concealed areas is usually advised prior to any legal commitment or purchase.

General structural building repairs, timber replacement and repairs to doors, windows, plumbing, chimney defects, roofing, rainwater goods and drains are not within the scope of the Company and our report does not include dampness caused by these or similar items.

INSPECTION FINDINGS

Internal inspection was carried out to investigate for timber rot

REPORT

No T 75001

TIMBER

As requested an inspection has been made at:

37 North Road, Highgate

TIMBER ROT FOUND

The property has suspended timber floors.

During inspection of the property, rot was evident to areas indicated in **PINK - - - -** on the attached plans and detailed there also.

Where no surface decay is present - there is no way of telling whether hidden timbers are suffering from any disorders such as dry rot without exposures. We therefore recommend a second visit to further inspect hidden areas and allow for a revised quotation to include costs to areas identified following the second inspection. There will be no charge for the second inspection.

Therefore during works it may become apparent that the area of rot is somewhat or considerably larger than shown and quoted for. At which time we will notify you with clear evidence of additional works recommended with an associated quotation to treat the enlarged area.

TIMBER ROT TREATMENT

We recommend affected timbers be removed and disposed of. Typically, JB Wards would quote to remove and dispose of timbers affected by rot where safe to do so and where access to those areas is made available. This may be with the aid of other contractors for access etc.

However, here, we understand rot to timber floors will be removed by other contractors. We can assist with identification of which timbers should be removed following further exposures by other contractors without additional charge. Confirmation of which timbers will be removed by whom will likely be necessary before finalising the quotation.

It is essential that all rot is removed to include timbers and rot spread to adjacent areas of masonry etc. to remove the risk of return.

The report includes for JB Wards to remove all wall plaster from areas as shown on the plans **PINK - - -** and be sterilized with Probor, a Boron based fungicide/preservative to mitigate the risk of rot returning during the drying period and beyond.

The quote does not include replacement of timbers.

In many circumstances it may be worthwhile for the other contractors to, remain on site/be able to attend site, at short notice to assist with the removal of further obstructions as may be required during the tracking of hidden rot.

It is essential prior to dry or wet rot treatment, (or immediately after works), that the client's own appropriate contractor should inspect and repair any current source of either water leakage or damp penetration e.g. defective roofing, rainwater goods, defective brickwork or plumbing. These general maintenance works are not within the scope of this report.

SUMMARY OF WORKS AND COSTS

37 North Road, Highgate

**TO CARRY OUT ALL WORKS AS DETAILED IN OUR
REPORT AND ESTIMATE**

T 75001

**THE TOTAL COST FOR THE WORK SPECIFIED INCLUDES A 2.5% DISCOUNT FOR
PAYMENT OF THE OUTSTANDING BALANCE ON SITE ON THE DAY OF COMPLETION.**

DRY ROT TREATMENT TO AREA/S SHOWN ON PLAN (PINK AREAS)

**COST OF WORKS TO FOLLOW PENDING A 2ND INSPECTION TO CLARIFY SCOPE OF
WORKS**

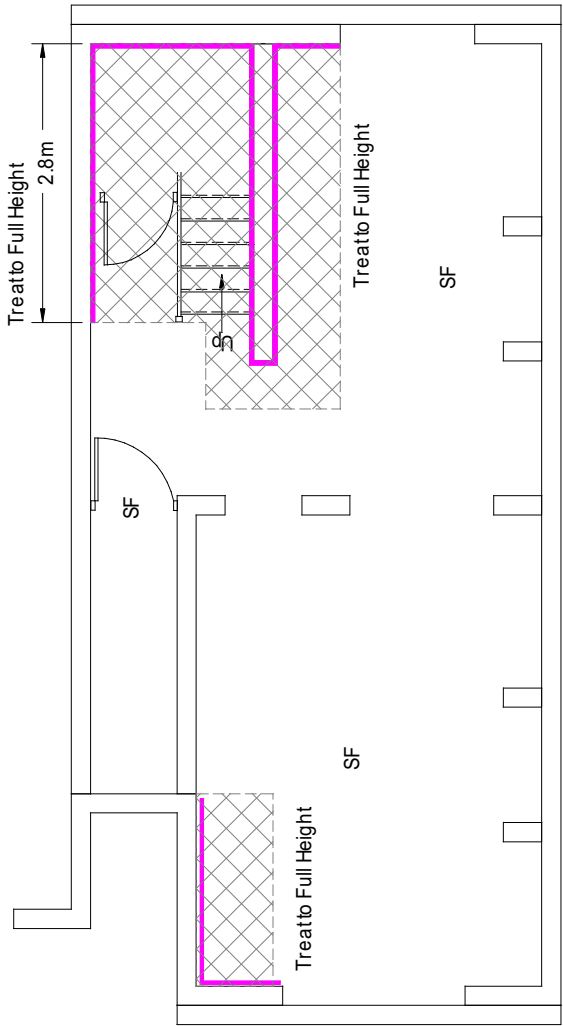
ORDER REQUIREMENTS

- 30% deposit with your order.
- Balance due on date of completion of works.
- Current minimum charge to apply to all orders.

Should you wish to accept all or part of the above offer, please contact our office on 08456 44 54 01. All verbal orders will be confirmed by our office in writing in the form of a written order together with an invoice for the required deposit.

The required deposit (post-dated cheques cannot be accepted) and signed copy of the order is to be received by our office before the client's specified commencement date can be confirmed as reserved. Non-completion of additions and variations shall not form a reason for delaying payments due on contracts completed to the original specification. Variations to the works specified within this estimate will only be carried out upon the receipt of a written variation order and may affect previously agreed completion dates and the final cost of the works.

WE RECOMMEND A 2ND INSPECTION FOLLOWING EXPOSURES BY OTHER CONTRACTORS TO FURTHER DETERMINE EXTENT OF ROT.



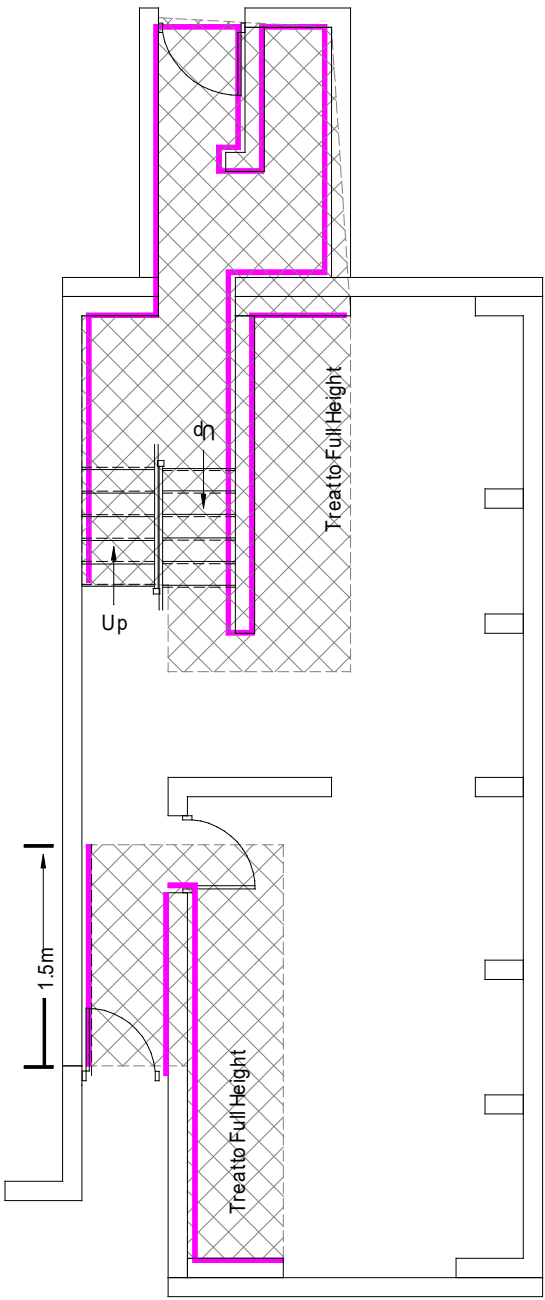
- Dry Rot noted to Wall Plaster, Staircase and Adjacent Timbers/Floor Joists as present etc. within the areas indicated on the attached plan.
- Others to:
- Remove all obstructions from the indicated area in conjunction with JB Wards to determine the full extent of Rot. THE AREA INDICATED MAY NOT BE THE FULL EXTENT OF THE ROT.
- JB Wards to:
- Remove and dispose of Rot
 - Sanitize areas indicated..
- Others to:
- Reinstate with pre treated timbers.

37 North Road
(LOWER GROUND FLOOR)
London N6 4BE

Please Note 14th August 2024
IMPORTANT
All Wall & Floor Obstructions in areas to be removed prior to JB Wards works by OTHER CONTRACTORS UNLESS OTHERWISE AGREED; Including; Plug/Light Sockets, Sanitary Fittings, Radiators, Water & Gas Pipes Kitchen Units, Appliances, Shelves, Cupboards, Boilers, Light Fittings etc. ALTERNATIVELY; Where Pipes, Door Frames & Meters etc. remain they will be worked around AS IS POSSIBLE WITH ASSOCIATED RISKS.
This Drawing is not to scale and is for representational purposes only.

- SF
- Solid Floor
- Remove Wall Render to Full Height & Sanitize. 28sm approx
- Ceiling Joists to be removed by other Contractors.

WE RECOMMEND A 2ND INSPECTION FOLLOWING EXPOSURES BY OTHER CONTRACTORS TO FURTHER DETERMINE EXTENT OF ROT.



Dry Rot noted to Wall Plaster, Staircase and Adjacent Timbers/Floor Joists as present etc. within the areas indicated on the attached plan.

Others to:
Remove all obstructions from the indicated area in conjunction with JB Wards to determine the full extent of Rot. THE AREA INDICATED MAY NOT BE THE FULL EXTENT OF THE ROT.

JB Wards to:
Remove and dispose of Rot
Sanitize areas indicated..

Others to:
Reinstate with pre treated timbers.

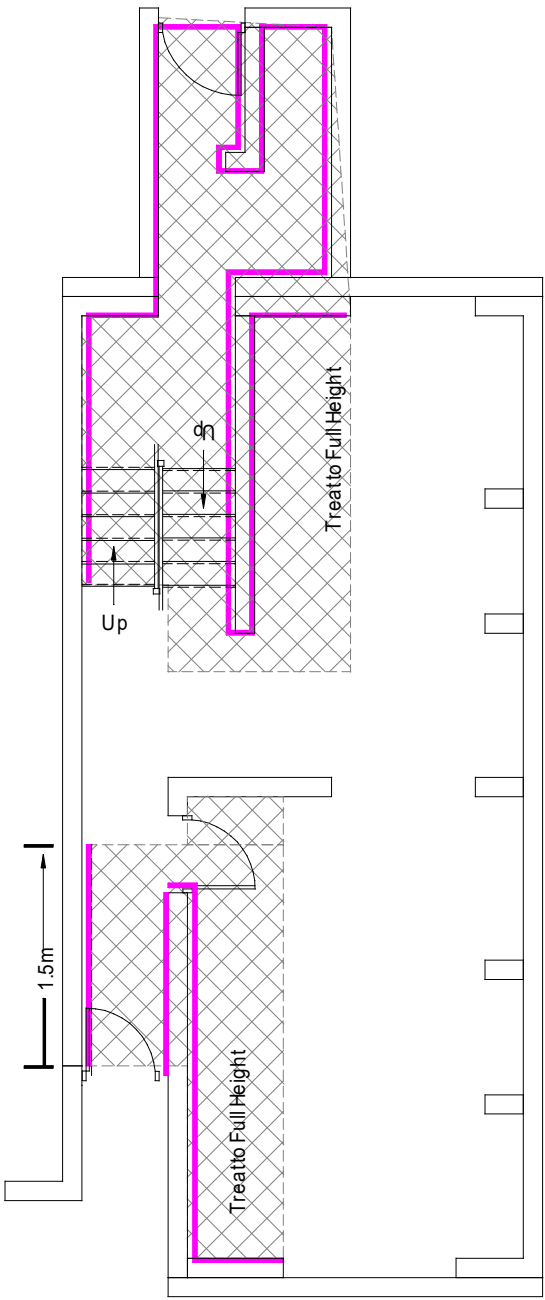
37 North Road
(GROUND FLOOR)
London N6 4BE

Please Note 14th August 2024
IMPORTANT
All Wall & Floor Obstructions in areas to be removed prior to JB Wards works by OTHER CONTRACTORS UNLESS OTHERWISE AGREED; Including, Plug/Light Sockets, Sanitary Fittings, Radiators, Water & Gas Pipes Kitchen Units, Appliances, Shelves, Cupboards, Boilers, Light Fittings etc. ALTERNATIVELY; Where Pipes, Door Frames & Meters etc. remain they will be worked around AS IS POSSIBLE WITH ASSOCIATED RISKS.
This Drawing is not to scale and is for representational purposes only.

SF
Solid Floor
Remove Wall Render to Full Height & Sterilise. (50sm approx)
Ceiling Joists to be removed by other Contractors.

Section A

WE RECOMMEND A 2ND INSPECTION FOLLOWING EXPOSURES BY OTHER CONTRACTORS TO FURTHER DETERMINE EXTENT OF ROT.



- Dry Rot noted to Wall Plaster, Staircase and Adjacent Timbers/Joists as present etc. within the areas indicated on the attached plan.
- Others to:
Remove all obstructions from the indicated area in conjunction with JB Wards to determine the full extent of Rot. THE AREA INDICATED MAY NOT BE THE FULL EXTENT OF THE ROT.
- JB Wards to:
Remove and dispose of Rot
Sanitize areas indicated..
- Others to:
Reinstate with pre treated timbers.

37 North Road
(1ST FLOOR)
London N6 4BE

Please Note 14th August 2024
IMPORTANT
All Wall & Floor Obstructions in areas to be removed prior to JB Wards works by OTHER CONTRACTORS UNLESS OTHERWISE AGREED; Including; Plug/Light Sockets, Sanitary Fittings, Radiators, Water & Gas Pipes Kitchen Units, Appliances, Shelves, Cupboards, Boilers, Light Fittings etc. ALTERNATIVELY; Where Pipes, Door Frames & Meters etc. remain they will be worked around AS IS POSSIBLE WITH ASSOCIATED RISKS.
This Drawing is not to scale and is for representational purposes only.

SF

Solid Floor

Remove Wall Render to Full Height & Sterilise. (67sm approx)

Joists to be removed by other Contractors.