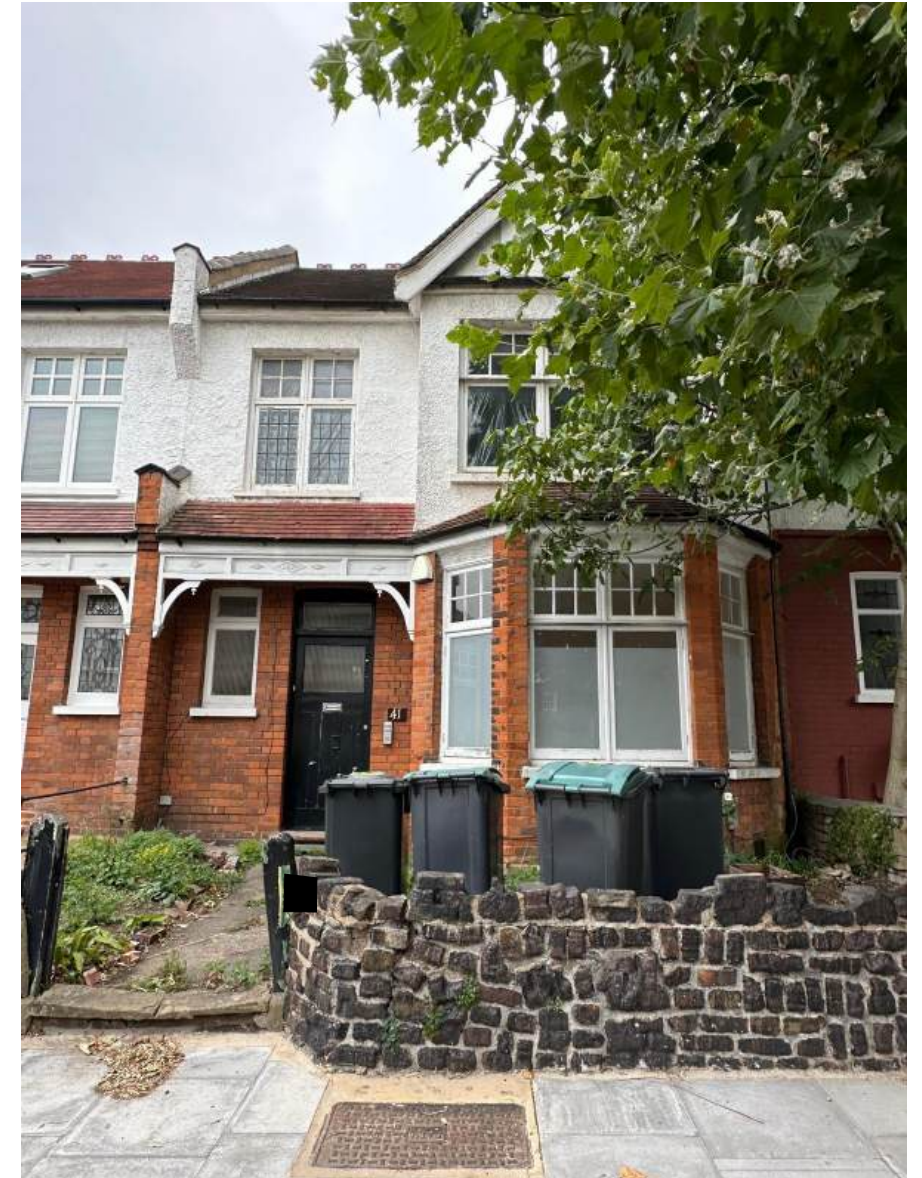




PLEMON STUDIO Ltd.



HERITAGE STATEMENT

41 Midhurst Avenue
N10 3EP; Haringey, London

PLANNING APPLICATION
AUG 2024

SITE ADDRESS

Site address: 41 Midhurst Avenue, N10 3EP, Hornsey, London

EXISTING

The site is located on the West side of Midhurst Avenue within Haringey Borough.

A two storey mid-terraced house contains two flats. Flat one occupies ground floor. Flat 2 occupies first floor and loft area with partly uninhabitable/unheated attic.

In its current state the building proves to be energy inefficient and requires upgrade works.

The dwelling has access to a generous back garden.

The building is not listed however it is located in Muswell Hill Conservation Area.

There are no trees that are subject to a Tree Preservation Order.

This site is not at risk of flooding.

PROPOSAL

1. Merging two flats and reverting property back to its original purpose of one single family dwellinghouse,
2. Erection of single storey rear extension,
3. Erection of first floor rear infill extension,
4. Application of external insulation to rear elevation,
5. Conservation-style rooflights to front roofplane, and
6. Replacement of all existing front windows and door.

HERITAGE CONTEXT

Muswell Hill Conservation Area

SPATIAL AND CHARACTER ANALYSIS

Sub Area 4. Midhurst Avenue to Hillfield Park Overall character and appearance states:

"..This sub area is predominantly residential, developed primarily by William Collins during the period 1896-1909..."

"..The area is characterised by mainly quiet, tree-lined residential streets."

"There is a variety of linked semi-detached and terraced houses with varying elevation treatments along the roads. A set back articulates the form of the blocks in the street. Although the house types vary, there is a general homogeneity within the streets as a result of the constant heights, use of contrasting materials, consistent fenestration and door details as well as the repeated forms of elements such as gables, bays, chimneys and porches. The properties have a consistent building lines, low front garden walls and small front gardens."

"The influence of a single developer and the short time period during which the area was developed means that although there are a wide range of house types, there is considerable consistency in architectural style, the use of materials and common details that make this area particularly distinctive."

Midhurst Avenue

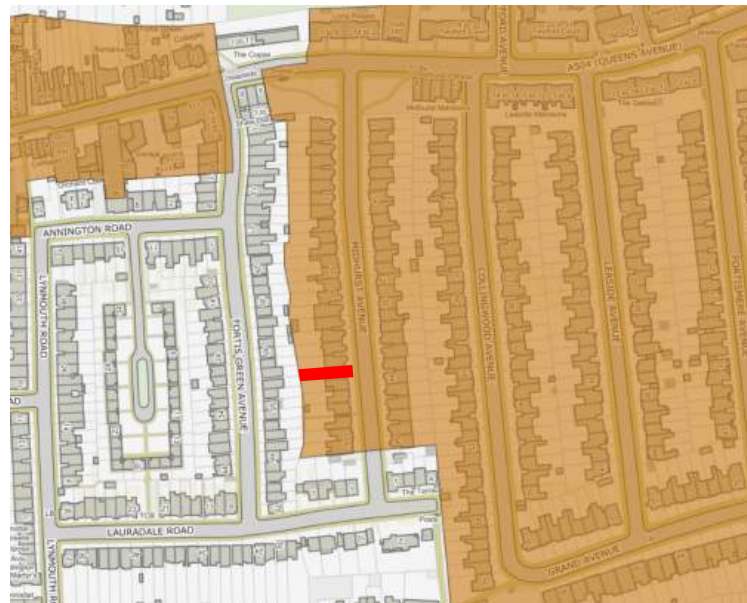
"..The architectural style, scale, appearance and detailed treatment of the properties are consistent with much of the adjacent residential area. The quality of the streetscape and the frontages is also similar to the adjoining area. All of the properties within the street are identified as positive contributors."



Midhurst Avenue - Street elevation



41 Midhurst Avenue



Muswell Hill - Conservation Area (extract)

To stay in keeping with the character of Muswell Hill Conservation Area and to maintain unique streetscene lines, proposed changes to front elevation are subtle. The design goal is to remain sympathetic and enhance the character and appearance of the surrounding buildings. Front windows are to be replaced with new timber casement, double glazed units with an upper fanlight with timber glazing bars to match existing. Colour white - to match existing. New timber door to match existing in the surrounding area and conservation style rooflights at roof level. A new timber, low level, front gate is being proposed in keeping with the character of the surrounding area.

Proposed changes to the rear at ground and first floors are not visible from the street level and would not result in unacceptable harm to the character and appearance of the host building or the Muswell Hill Conservation Area.

(See proposed elevation drawings for details and Pre-application advice notice references attached to the Design and Access Statement)



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