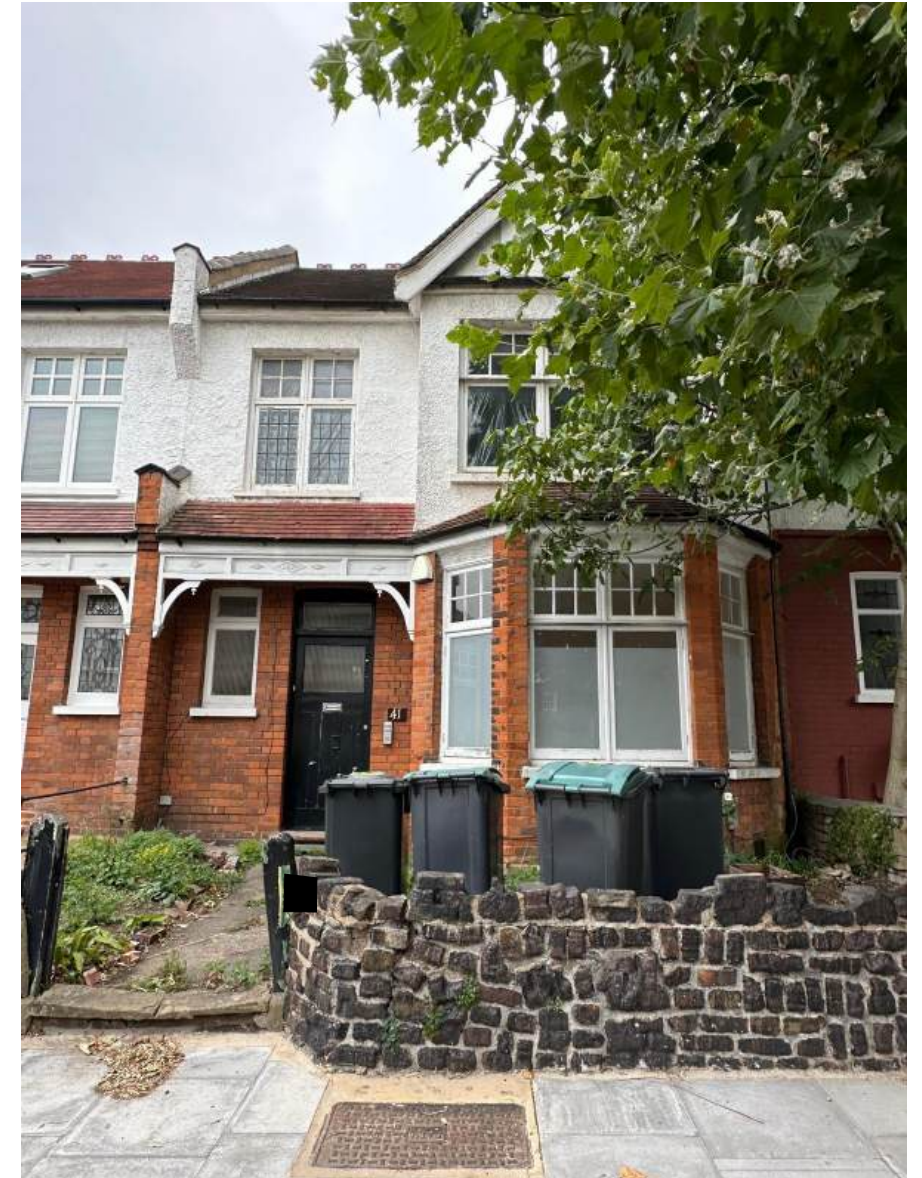




PLEMON STUDIO Ltd.



DESIGN AND ACCESS STATEMENT

41 Midhurst Avenue
N10 3EP; Haringey, London

PLANNING APPLICATION
AUG 2024

INTRODUCTION

Plemon Studio has been appointed by the Owner of the property at 41 Midhurst Avenue to prepare and submit planning application in relation to proposed changes to the property.

LOCATION PLAN

Site address: 41 Midhurst Avenue, N10 3EP, Hornsey, London

EXISTING

The site is located on the West side of Midhurst Avenue within Haringey Borough.
A two storey mid-terraces house contains 2 flats. Flat one occupies ground floor. Flat 2 occupies first floor and loft area with partly unhabitable/unheated attic.
In its current state the building proves to be energy inefficient and requires upgrade works.
The property has access to a generous back garden.
The building is not listed however it is located in Muswell Hill Conservation Area.
There are no trees that are subject to a Tree Preservation Order.
This site is not at risk of flooding.

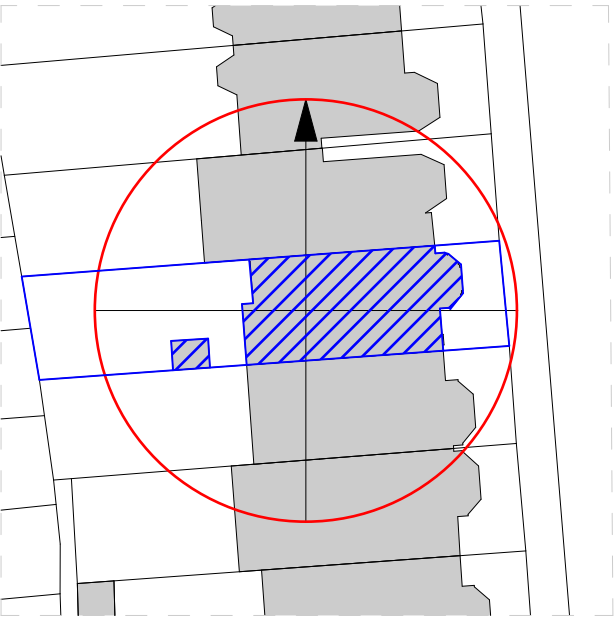
PROPOSAL

- 1. Merging two flats and reverting property back to its original purpose as one single family dwellinghouse,
- 2. Erection of single storey rear extension,
- 3. Erection of first floor rear infill extension,
- 4. Application of external insulation to rear elevation,
- 5. Conservation-style rooflights to front roofplane, and
- 6. Replacement of all existing front windows and door.

HERITAGE CONTEXT

Muswell Hill Conservation Area
SPATIAL AND CHARACTER ANALYSIS
Sub Area 4. Midhurst Avenue to Hillfield Park Overall character and appearance states:
"..This sub area is predominantly residential, developed primarily by William Collins during the period 1896-1909..."
"..The area is characterised by mainly quiet, tree-lined residential streets."

"There is a variety of linked semi-detached and terraced houses with varying elevation treatments along the roads. A set back articulates the form of the blocks in the street. Although the house types vary, there is a general homogeneity within the streets as a result of the constant heights, use of contrasting materials, consistent fenestration and door details as well as the repeated forms of elements such as gables, bays, chimneys and porches. The properties have a consistent building lines, low front garden walls and small front gardens."
"The influence of a single developer and the short time period during which the area was developed means that although there are a wide range of house types, there is considerable consistency in architectural style, the use of materials and common details that make this area particularly distinctive."



SCALE 1:500

Site Boundary Plan



Midhurst Avenue - Street elevation



41 Midhurst Avenue



Muswell Hill - Conservation Area (extract)



Midhurst Avenue

"..The architectural style, scale, appearance and detailed treatment of the properties are consistent with much of the adjacent residential area. The quality of the streetscape and the frontages is also similar to the adjoining area. All of the properties within the street are identified as positive contributors."

To stay in keeping with the character of Muswell Hill Conservation Area and to maintain unique streetscene lines, proposed changes to front elevation are subtle. The design goal is to remain sympathetic and enhance the character and appearance of the surrounding buildings. Front windows are to be replaced with new timber casement, double glazed units with an upper fanlight with timber glazing bars to match existing. Colour white - to match existing. New timber door to match existing in the surrounding area and conservation style rooflights at roof level. A new timber, low level, front gate is being proposed in keeping with the character of the surrounding area.

Proposed changes to the rear at ground and first floors are not visible from the street level and would not result in unacceptable harm to the character and appearance of the host building or the Muswell Hill Conservation Area.



Midhurst Avenue - Street scene sample elevations

PLANNING CONTEXT

The following have been taken under consideration during design process:

- Haringey's Local Plan (2013)
- Haringey - Development Management DPD (2017)
- London Borough of Haringey Conservation Area No. 3 Muswell Hill Conservation Area Character Appraisal (2008)
- The London Plan (2021)
- NPPF (2021)

Properties at Midhurst Avenue are located within Family Housing Protection Zone.

RELEVANT PLANNING HISTORY

HGY/2021/2489 (2021)

Address: 45 Midhurst Avenue

Construction of a single-storey rear extension. Reinstall timber-framed windows and restore front bay window. Remove pebbledash render to front elevation at ground floor level, installation of 3no. conservation style rooflights to front roof slope. Erection of timber-framed refuse storage and timber gate and 2no. bicycle parking spaces in front garden to facilitate the conversion of self-contained flats into a single family dwelling.
Planning Permission - Granted on 04/10/2021



Haringey - Family Housing Protection Zone Map

SITE PLANNING HISTORY

PRE/2024/0249 (July 2024)- Pre-application Advice

Address: 41 Midhurst Avenue

Proposal: Merging 2 flats into one single family dwellinghouse, erection of single storey rear extension, erection of first floor rear infill extension, application of external insulation to rear elevation, conservation-style rooflights to front roofplane, and replacement of all existing front windows and door

Summary of the pre-application advice:

1. Merging two flats and reverting property back to its original state as one single family dwellinghouse,

.. "Principle of development The London Plan 2021 further supports the essential need for more homes and currently has a 10-year target set for the delivery of 15,920 new dwellings between 2019/20 and 2028/29 in Haringey, of which 2,600 should be from small sites. Policy DM10 of the Haringey Development Management Plan DPD (2017) outlines that the Council will resist the loss of all existing housing, including affordable housing and specialist forms of accommodation, unless the housing is replaced with at least equivalent new residential floorspace. In this instance, the proposal seeks to convert the property from its existing use as two self-contained flats back into its original use as a single family dwellinghouse. Whilst it would result in the net loss of one residential unit on site, it is acknowledged that the proposal would solely be reverting the use of the property back into its original use as a single family dwellinghouse. Furthermore, it would not conflict with policy DM10, as there would be no net loss of residential floorspace. As such, the principle of development is acceptable."

2. Erection of single storey rear extension,

.. "Single storey rear extension Whilst the proposed extension in conjunction with the existing ground floor additions would result in a sizeable addition at ground floor level, it would not unduly harm the scale and composition of the property."

3. Erection of first floor rear infill extension,

.. "First floor infill extension Whilst the host building belongs to a group of 6 buildings that benefit from a two storey rear outrigger feature, it is acknowledged that the architectural form of other properties vary, including no. 39-29 adjacent to the site which do not have the outrigger feature. Whilst the proposed first floor infill would remove the existing outrigger feature, it would maintain the existing mono-pitch roof design of the existing outrigger feature. Given the mix of architectural forms on the rear elevations of properties within this part of the street and wider locality, the infill rear extension would not result in unacceptable harm to the character and appearance of the host building or the Muswell Hill Conservation Area."

4. Application of external insulation to rear elevation,

.. "External insulation to rear elevation The proposed external insulation is shown on the elevations to be proposed as a render finish. Whilst the existing external rear face of the building is brick clad, it is acknowledged that there are a number of properties nearby within the terrace and wider group of buildings that have since been clad with light-coloured render. As the external render would be isolated to the rear of the building, taking into consideration the number of other properties that have been subject to similar alterations, as long as the render is a light or white colour, the application of render would be acceptable in design terms and would preserve the character and appearance of the Muswell Hill CA.' It is also acknowledged that the application of external wall insulation will enhance the thermal efficiency of the building and reduce energy demand. Any formal submission will need to provide more detail on the external finish, and section drawings that demonstrate the increase in wall thickness resulting from the alteration, which must be kept to the minimum."

5. Conservation-style rooflights to front roofplane, and 6. Replacement of all existing front windows and door.

"Window/door replacements to front elevation and rooflights Limited detail is provided with regards to the design of the replacement front windows and door. The existing front casement windows are white painted timber units with an upper fanlight with timber glazing bars. One first floor casement window appears to have lead glazing bars in the lower casement."

The replacement windows would be required to be timber framed casement units that seek to replicate the design, dimensions, opening arrangement and timber external glazing bar treatment of the existing units. Further details of the replacement front door will need to be provided, which should be timber and be in keeping with the character of the Edwardian building. Given the prevailing character of the street, the installation of 3 front rooflights is acceptable subject to them being conservation-style."

Amenity

Due to the staggered rear building line, with the original rear building line of no. 39 projecting approximately 2.3 metres beyond the host building at first floor level, the infill of the first floor as proposed would not result in the loss of light or outlook by any neighbouring property.

The height, massing and scale of the extension would not result in an unacceptable loss of light, outlook, or result in any visually overbearing impact on neighbouring properties. Given the marginal projection resulting from the application of external wall insulation, this would not result in any material loss of light or outlook.

Conclusion

Subject to the front windows satisfactorily replicating the materials and design of the original units and a satisfactory replacement timber front door design, the proposal would be acceptable in design terms and preserve the character and appearance of the conservation area. The proposal would not result in an unacceptable impact on neighbouring amenity."

Summary:

Following comments received during pre-planning stage, more details have been added to describe proposed changes to front elevation. Windows and door are to be replaced in fashionable manner to complement the surrounding area. Existing and proposed sections drawing has been added to demonstrate the extent of thermal insulation at the rear.



PHOTOS OF EXISTING



VIEW 1



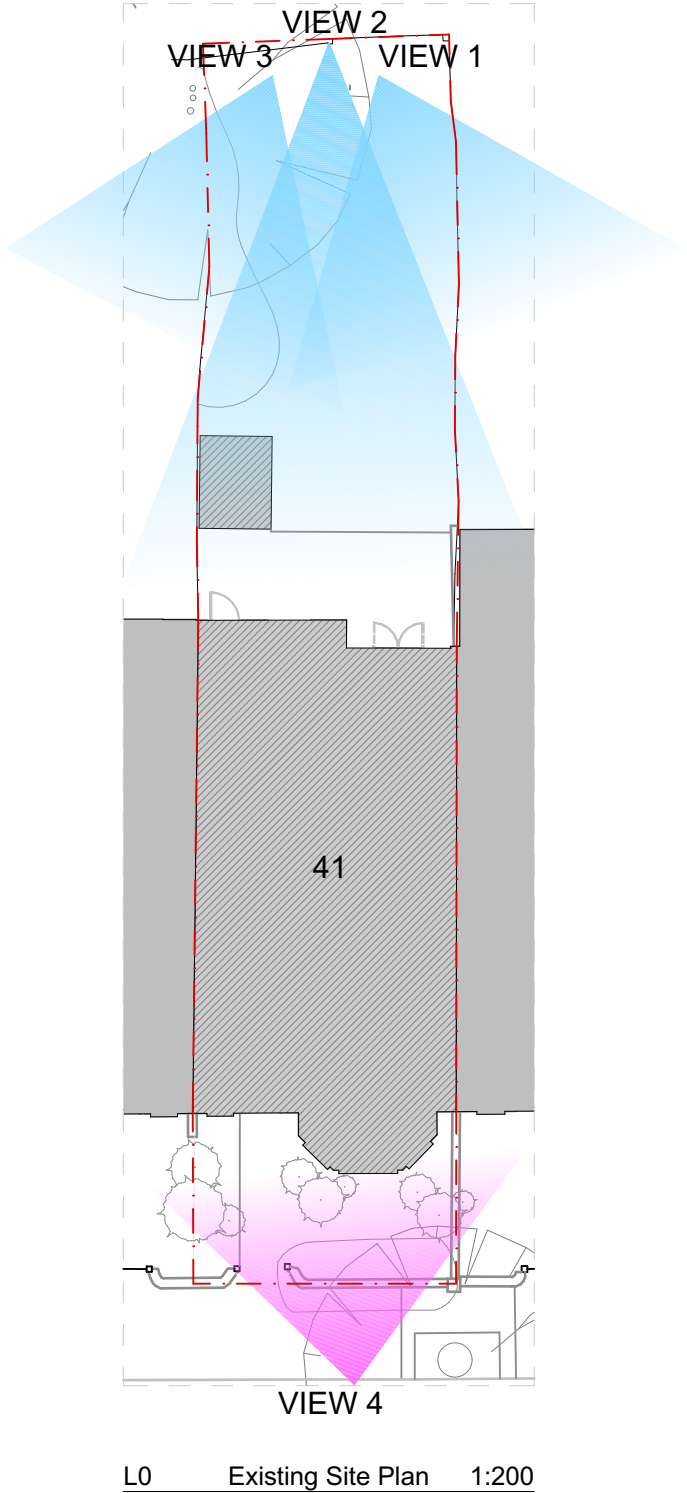
VIEW 2



VIEW 3



VIEW 4



USE

The existing property is a residential building.

LAYOUT

A two storey mid-terraced house contains two flats. It is being proposed to merge these two existing flats and revert property layout back into its original state as single family unit.

Ground Floor:

Rear ground floor extension is being proposed to house new kitchen/dining area. It is to be aligned with an existing neighbouring extension of No. 39.

First floor:

Infill extension is proposed within existing "recess" formed between side wall of no.39 and 41 Midhurst Avenue. No. 41 benefits from being last in line of its type of houses and at first floor level ends against side wall of neighbouring property No.39. (See drawings attached for reference).

Loft: New layout is being proposed to the loft to include new conservation-style rooflights to the front.

MATERIALS

Front elevation:

Existing brick and white render to be retained and made good. Front windows are to be replaced with new timber casement, double glazed units with an upper fanlight with timber glazing bars to match existing. Colour white - to match existing. New timber door to match existing in the surrounding area and conservation style rooflights at roof level. A new timber, low level, front gate is being proposed in keeping with the character of the surrounding area.

Rear elevation:

Thermal insulation + white render finish are being proposed to rear elevation.

TREES

No trees will be affected by this proposal.

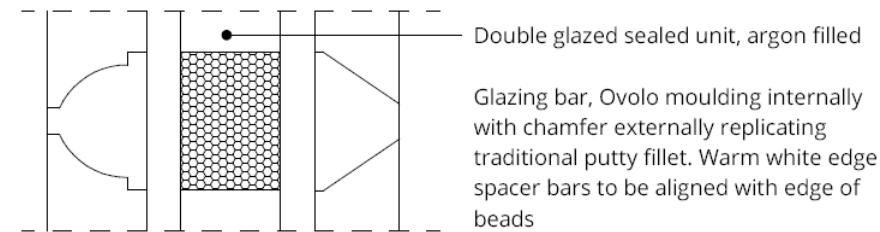
ASSESSMENT OF FLOOD RISK

The property is within flood zone 1.

The property has been indicated by gov.uk data as 'Low Probability' of flooding from rivers and the sea.

WINDOW DETAIL

Sample detail for replacement timber casement window bars:



PARKING

Proposed changes will not impact on existing parking provisions.

BICYCLE PROVISION

Two secure cycle spaces will be accommodated within new timber shed at the front.

REFUSE AND RECYCLING

External bin store will be provided within new timber 'Waste Bin Enclosure' at the front.

Cycle and Bin enclosures to be of a timber structure similar to those existing in the surrounding area.

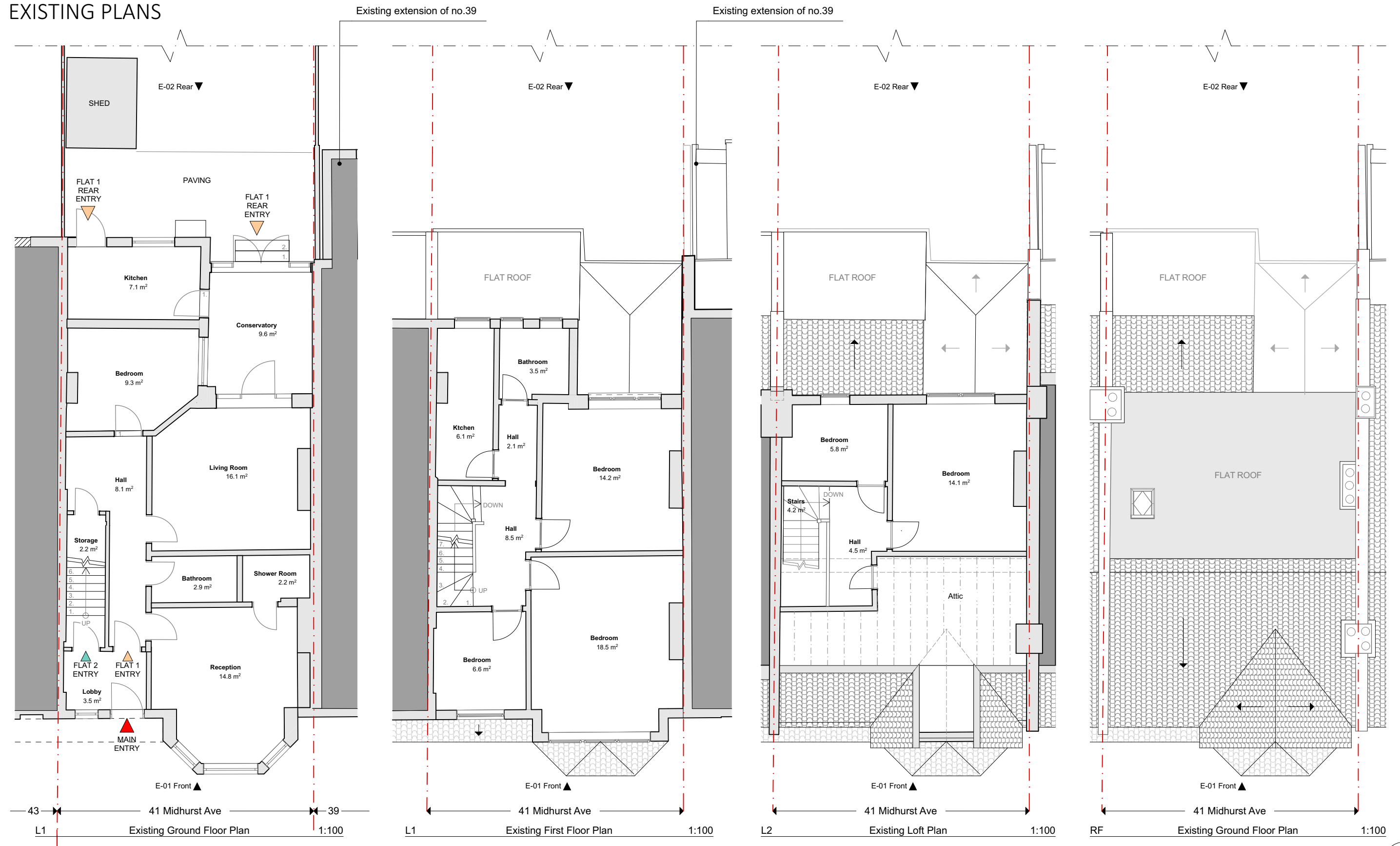
Please refer to the following documents for details of the proposal:

- 100_2441_Site Location Plan
- 101_2441_Existing Site Block Plan
- 102_2441_Existing and Proposed Site Plan
- 103_2441_Existing Plans
- 104_2441_Existing Elevations
- 105_2441_Existing and Proposed Section
- 201_2441_Proposed Site Block Plan
- 203_2441_Proposed Plans
- 204_2441_Proposed Elevations
- 301_2441_Photos of Existing
- DAS_2441_Design and Access Statement
- HS_2441_Heritage Statement

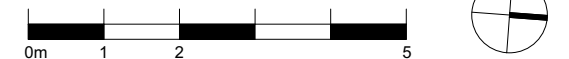


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EXISTING PLANS



KEY:
- . - . - . - - Assumed boundary line

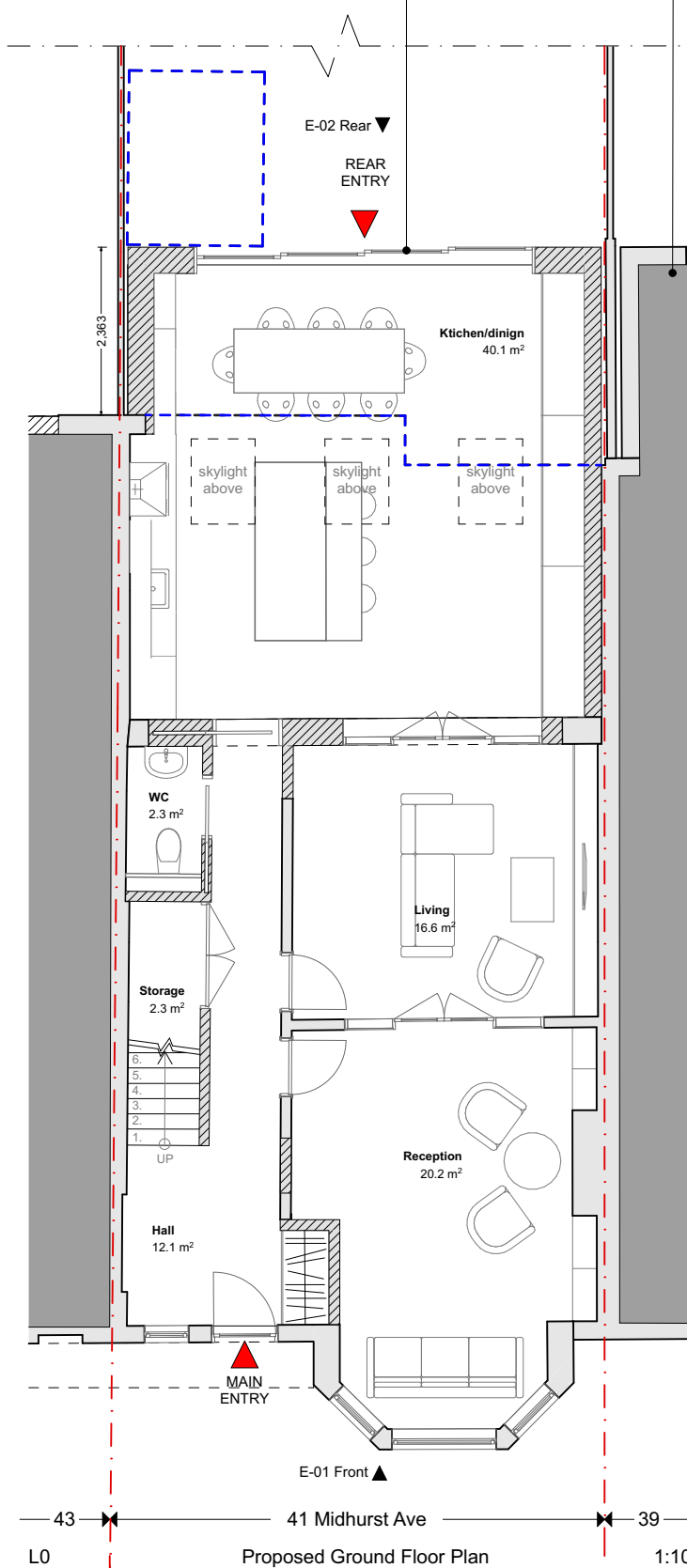


PROPOSED PLANS

Proposed extension
to be aligned with existing
extension of no.39

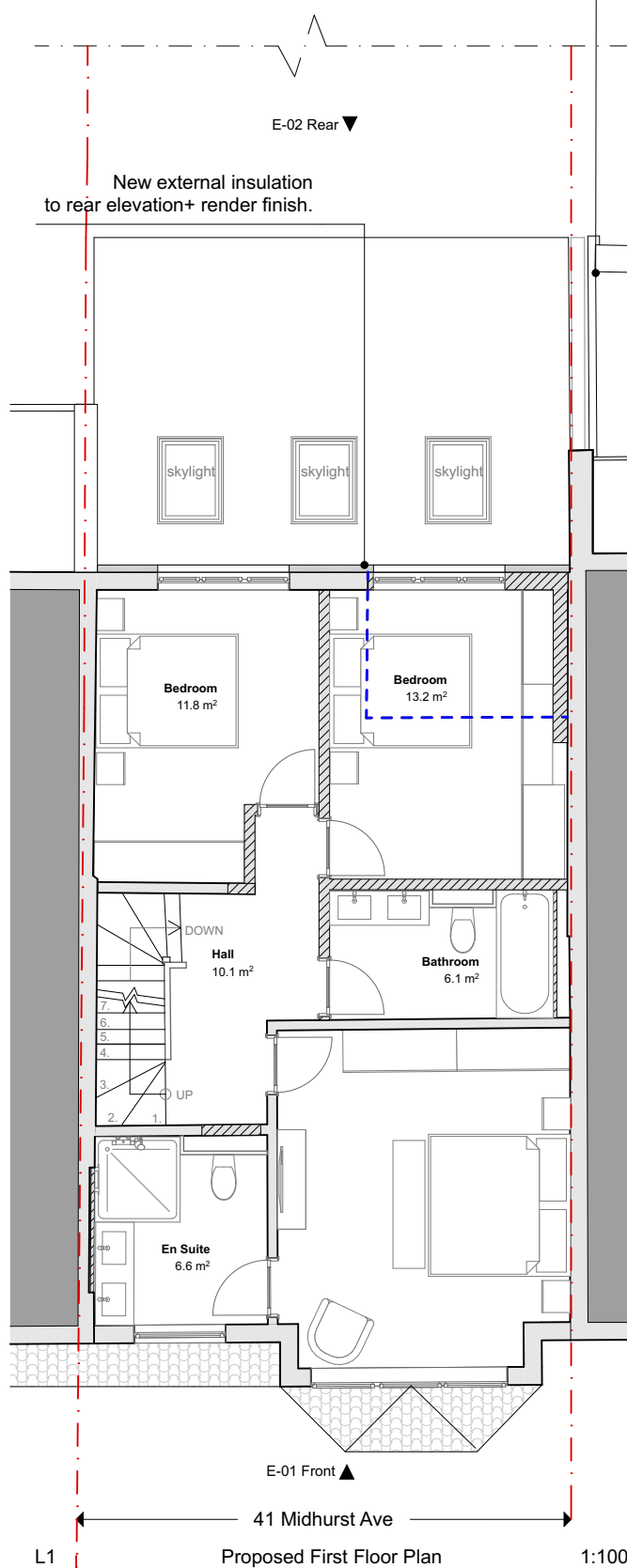
Existing extension of no.39

Existing extension of no.39



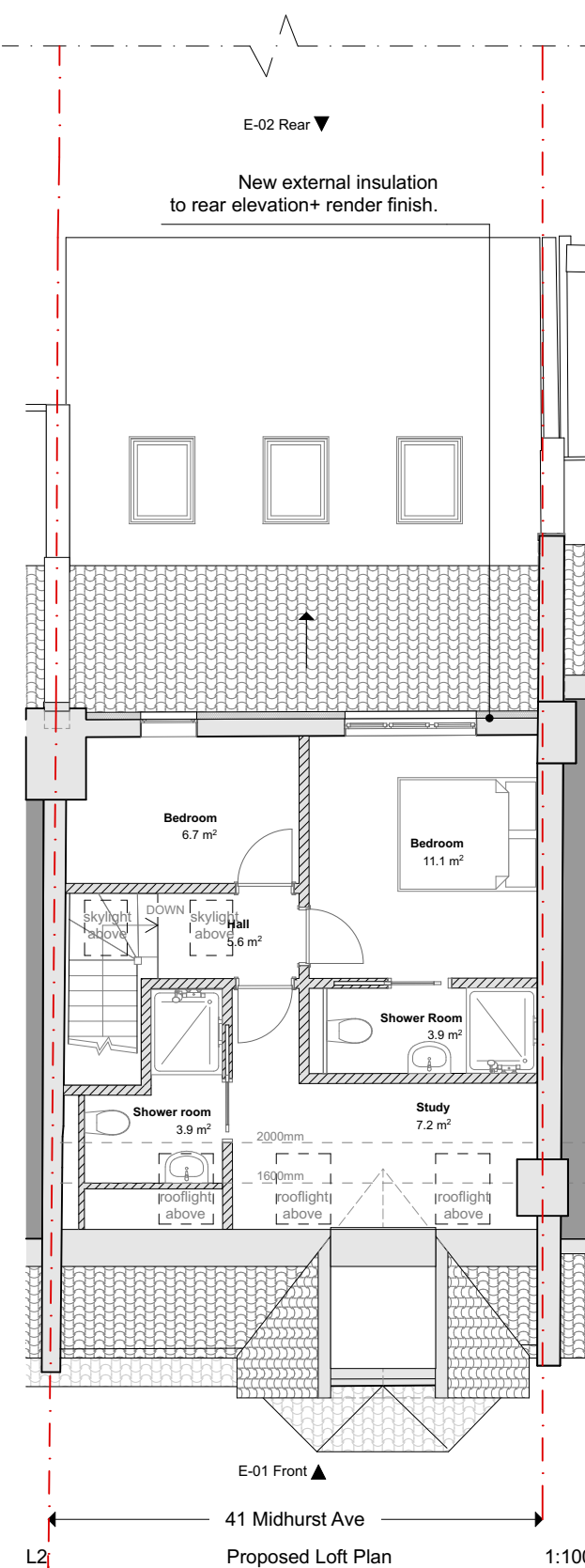
KEY:

- Proposed walls

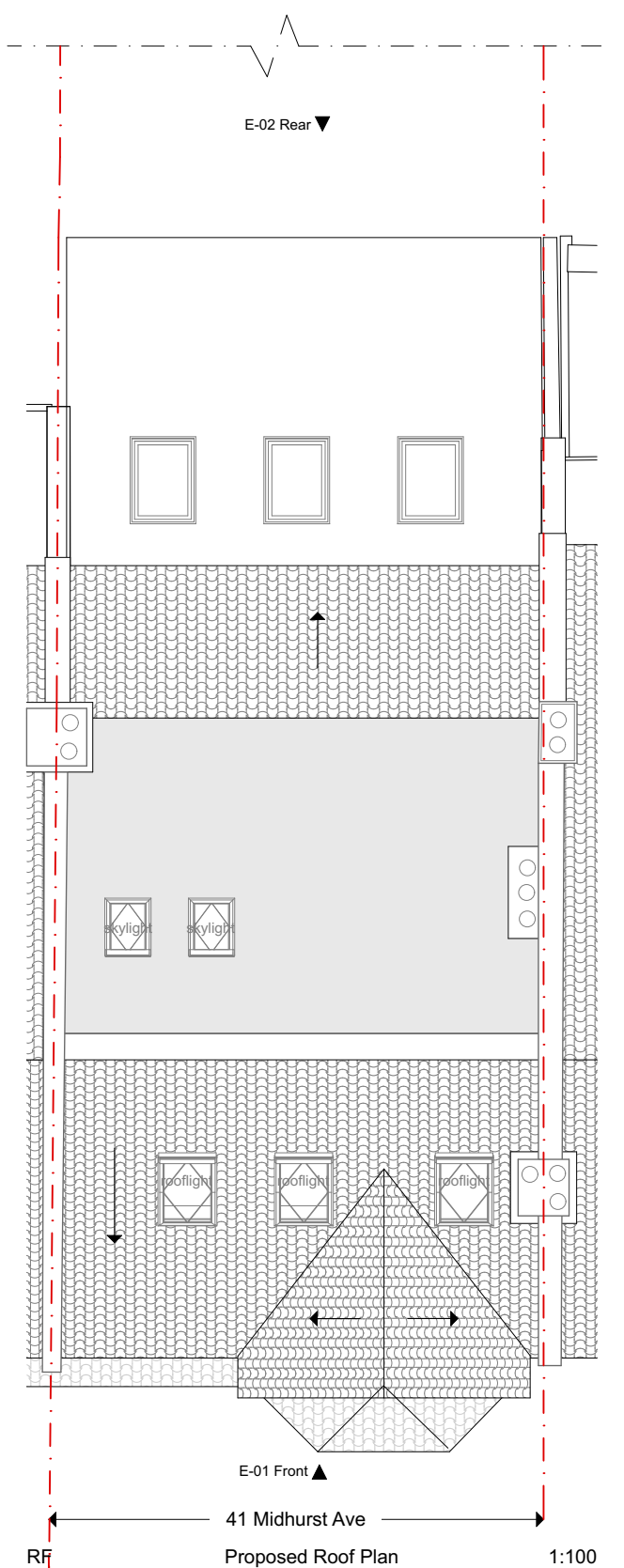


- Existing walls

- Existing building outline



- Assumed boundary line



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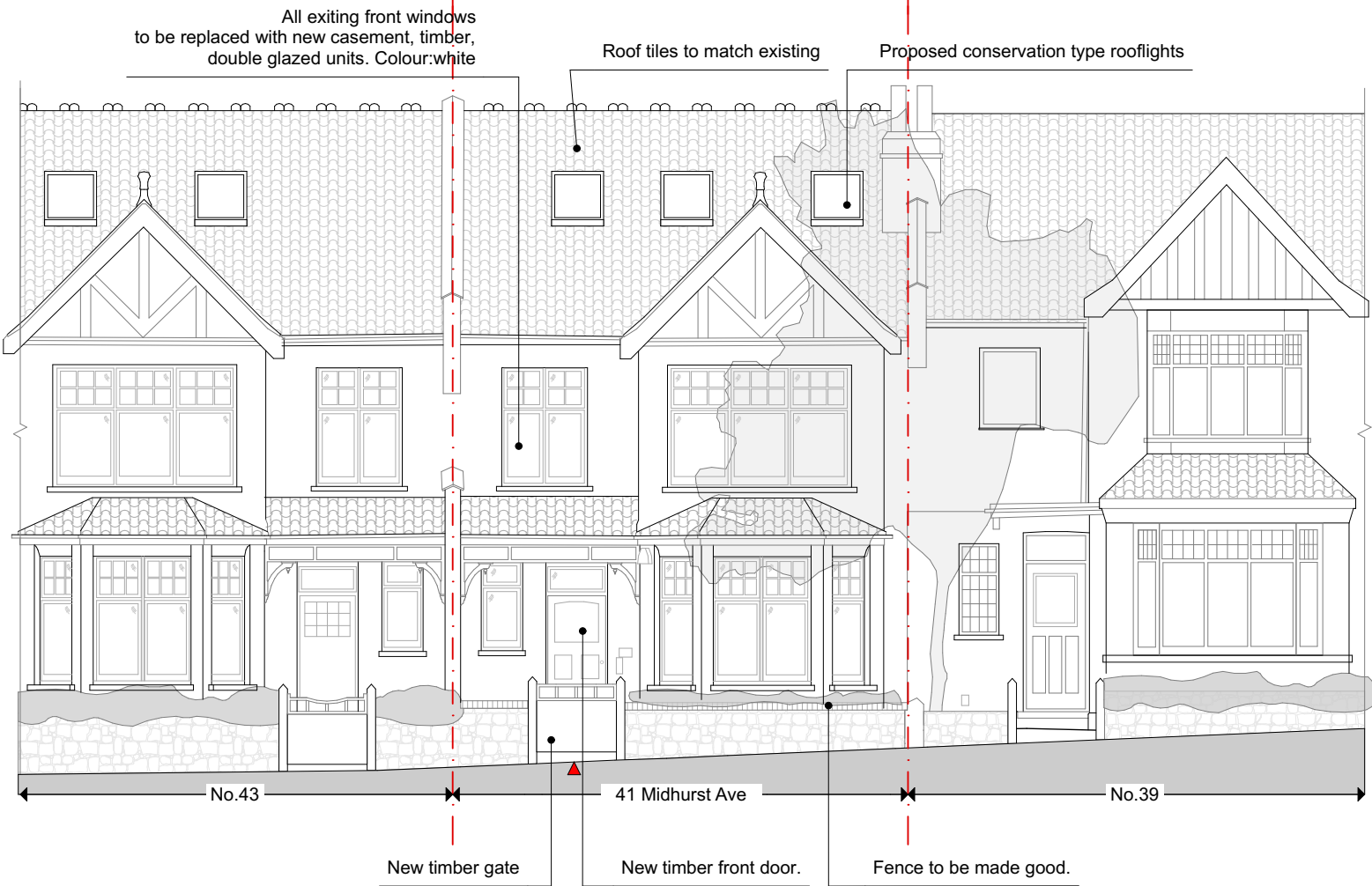
P8

STREET ELEVATION
EXISTING AND PROPOSED

EXISTING



PROPOSED



KEY:
- Assumed boundary line

Scale 1:100 @A3
0m 1 2 5

REAR ELEVATION
EXISTING AND PROPOSED

