

Design Statement

Proposed loft extension, garden extension, balcony, street-facing rooflights, street edge railing and solar arrays to a Terraced House in the Highgate Conservation Area

6 Orchard Road, London N6 5TR

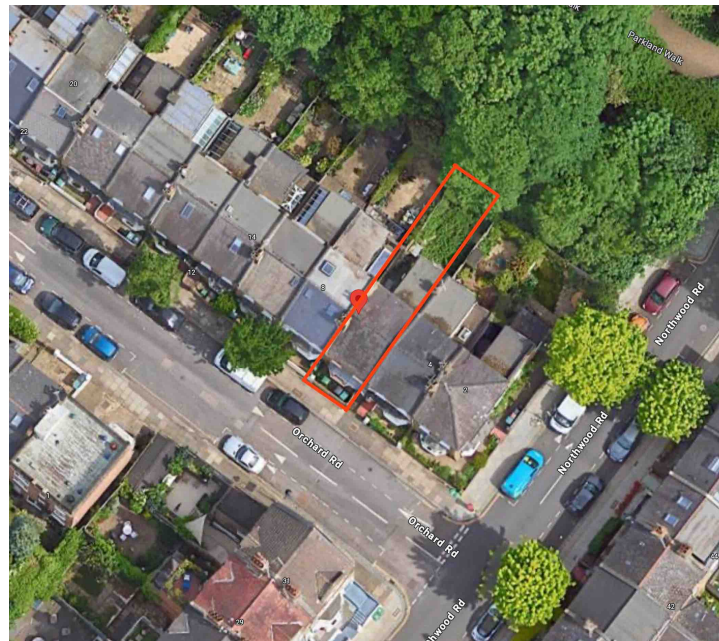
Introduction:

This design statement is submitted in support of a planning application for a rear garden extension, loft extension, rear-facing balcony, front facing rooflights and the installation of new street edge railings at a terraced house within the Highgate Conservation Area. The proposal seeks to provide additional living space and enhance the functionality of the property while ensuring that the design remains respectful of the local architectural character and conservation guidelines.

Site Context:

The property is a late Victorian terraced house located within the Highgate Conservation Area, a district renowned for its historical and architectural significance. The terrace forms part of a cohesive streetscape, characterised by traditional London stock brick, decorative detailing, and a consistent roofline. The property has retained much of its original features, contributing positively to the architectural heritage of the area.

The rear of the property faces a private garden, with limited visibility from the public realm, providing an opportunity for sensitive development that enhances the homeowner's enjoyment of the space while minimising impact on the broader streetscape.



Design Objectives:

The proposal aims to meet the following objectives:

1. Create additional living space through a rear garden and loft extension that enhances the usability of the home.
2. Introduce a rear-facing balcony to improve the connection between the indoor and outdoor living areas.
3. Replace existing street edge railings with new, historically sympathetic designs that enhance the property's visual appeal and contribute to the street's character.
4. Ensure that all interventions are designed in accordance with local conservation area guidelines, respecting the historic context of the property and its surroundings.

Rear Garden Extension:

The proposed rear garden extension will be a single-storey addition, extending the ground-floor living area to provide an open-plan kitchen and dining space. The extension will be modest in scale and sensitively designed to blend with the existing architecture.

The external materials will be chosen to harmonize with the original building, using brickwork that matches the London stock brick of the house. Large, floor-to-ceiling glazed doors will open onto the garden, allowing natural light to flood the interior space and creating a seamless transition between indoor and outdoor areas. The extension will remain subordinate to the main structure, ensuring that it does not overwhelm the original house or negatively impact neighbouring properties.

Loft Extension:

The loft extension is designed to be a discreet addition to the property, providing valuable extra bedroom and storage space. It will involve the creation of rear dormer windows, set back from the roofline, to maintain the terrace's uniformity when viewed from the street. The mansard roof will match existing loft extensions to neighbouring properties and the dormers will be modest in scale and in keeping with the architectural proportions of the terrace.

Materials for the dormer will include lead cladding to match the existing roof detailing with timber-framed windows that reflect the traditional sash window finish seen throughout the terrace. Careful attention has been paid to ensure that the extension does not detract from the historic character of the property or the wider conservation area.

The proposed solar arrays will be set-back from the existing roof apex so that they aren't visible from the street.

This proposal closely matches existing approved loft and rear extensions to neighbouring properties, most notably:

8 Orchard Road - Ref: HGY/2013/0798

10 Orchard Road - Ref: HGY/2010/1227

12 Orchard Road - Ref: HGY/2010/1204

Rear-Facing Balcony:

A small rear-facing balcony will be incorporated at second-floor level, extending from the rear of the property and accessible via French doors. The design will feature slim, black metal railings in a simple, understated style, ensuring that the balcony remains visually lightweight and does not dominate the rear elevation.

The balcony will be set back from the boundaries with neighbouring properties, reducing any potential for overlooking and preserving the privacy of adjacent homes. The overall design has been crafted to minimise visual impact while enhancing the living experience of the occupants.



New Street Edge Railings:

The existing brick boundary wall at the front of the property will be replaced with new railings that are more in keeping with the historic character of the terrace. The proposed railings will be designed to reflect traditional Victorian ironwork, featuring simple, elegant vertical bars with decorative finials. The height and design of the railings will respect the proportions of the house and the existing streetscape.

The new railings will sit atop a low brick wall, matching the original materials used throughout the terrace. This approach will enhance the property's front façade while preserving the architectural integrity of the street.

Impact on the Conservation Area:

The proposed works have been carefully designed to respect the historic character of the Highgate Conservation Area. The rear extensions and balcony will be minimally visible from the public realm, ensuring that the impact on the conservation area is negligible. The choice of materials and design details has been made to blend seamlessly with the original architecture of the house and the surrounding terrace.

The new street edge railings will enhance the appearance of the property and contribute positively to the character of the street, reflecting the traditional design of the conservation area's period homes. Overall, the proposal is in keeping with the area's architectural heritage, adhering to local conservation policies.



Relevant Planning Policies

For a loft extension, rear extension, and new front railings within a conservation area in Haringey, several planning policies are relevant to ensure that the development is sympathetic to the character of the conservation area and compliant with local and national guidelines. Below is an overview of the appropriate planning policies:

1. Haringey Local Plan

The Haringey Local Plan includes a range of policies that are particularly relevant to developments in conservation areas like Highgate. Key policies to consider include:

SP12: Conservation

This policy emphasises the importance of preserving and enhancing Haringey's heritage assets, including conservation areas. It requires that any development proposal within a conservation area respects the character, scale, materials, and historic significance of the area. Loft and rear extensions must be designed to ensure they do not detract from the conservation area's appearance, and any new structures (like front railings) should align with the area's traditional architectural features.

SP11: Design

SP11 ensures that all new development in Haringey is high-quality and sustainable, respecting the local context and character. For loft and rear extensions, designs must be in harmony with the original building in terms of scale, massing, and materials. Proposals that are out of scale or unsympathetic to the surrounding environment may be refused.

2. Haringey Development Management Policies (DMP)

The Development Management Policies provide detailed guidance on specific types of development, ensuring compliance with broader Local Plan policies:

DM9: Management of the Historic Environment

This policy ensures that development proposals affecting conservation areas or heritage assets are designed in a way that conserves or enhances the historic character of the area. In the case of a loft extension or rear extension, the design must reflect the architectural details of the existing building and the surrounding properties, ensuring minimal visual impact on the streetscape.

DM12: Housing Design and Quality

DM12 specifies that extensions to existing residential buildings should be subordinate in scale and designed to maintain the character and appearance of the original building. This policy is particularly important for rear and loft extensions, ensuring they are proportionate and use materials that complement the existing structure.

DM1: Delivering High Quality Design

This policy outlines the design principles that should inform all developments, particularly the need for high-quality, sustainable design that respects the historic and local context. It requires that loft and rear extensions, as well as new front railings, be sympathetic to the surrounding built environment and improve the overall quality of the area.

3. Highgate Conservation Area Appraisal & Management Plan

Conservation Area Design Guidance

For properties within the Highgate Conservation Area, any loft or rear extension should be designed to preserve or enhance the character of the area. This includes using appropriate materials, maintaining original architectural features, and ensuring that the scale of the extensions does not dominate the original building or disrupt the uniformity of the terrace. For loft extensions, dormers should be modest in scale and set back from the roofline to preserve the roof's original appearance.

Boundary Treatments

Changes to front boundary treatments, such as new railings, are closely monitored to ensure that they are in keeping with the traditional character of the area. New railings should be of a similar style and height to those historically found in the area, typically black metal railings with simple, elegant designs that are historically appropriate.

5. Haringey Supplementary Planning Documents (SPDs)

Haringey has produced SPDs to provide additional guidance for development within the borough:

House Extensions in Haringey SPD

This document provides guidance on designing extensions that respect the scale and character of existing homes, particularly within conservation areas. It sets out specific criteria for loft and rear extensions, including guidance on materials, window placement, rooflines, and the scale of dormer windows. The SPD also provides advice on maintaining appropriate boundary treatments like front railings in a conservation context.

Sustainable Design and Construction SPD

This document encourages high standards of sustainability in building design and construction. While it addresses energy efficiency, it also provides guidance on how to incorporate modern design principles in a way that respects the historic fabric of conservation areas.

6. London Plan (Regional Policy)

The London Plan also contains policies relevant to conservation areas and residential developments:

Policy HC1: Heritage Conservation and Growth

This policy ensures that developments affecting heritage assets, including conservation areas, contribute to the positive enhancement of these areas. Extensions must maintain the significance of the conservation area while allowing for sensitive development.

Policy D4: Delivering Good Design

This policy emphasises that all development must meet high standards of design and integrate well with the surrounding built environment. Loft and rear extensions should be designed to blend seamlessly with the existing structure and neighbourhood.