

York + Kane

Nº 160 Weston Park
Design and Access Statement

1.0 Executive Summary

This *Design and Access Statement* has been prepared in support of a planning application for a single storey rear and side extension and internal alterations to an existing house at 160 Weston Park, London, N8 9PN.

This *Design and Access Statement* has been developed to explain the proposals and to outline the improvements to the functionality, sustainability and appearance of the proposals. Additionally this report seeks to demonstrate how the scheme has been formed in response to potential issues of sustainability, neighbouring amenity, and perceived impacts on the public view and street scene.

This document has been prepared by York+Kane Architects for the purposes of a planning application on behalf of Mr Hodges and Mrs Reid, and is to be used for no other purpose.

This Design and Access Statement is to be read in accordance with the following drawings and reports:

0135-YK-2000	Existing Block Plan
0135-YK-2100	Existing Ground Floor Plan
0135-YK-2101	Existing Roof Plan
0135-YK-2130	Existing Rear Elevation
0135-YK-2160	Existing Section and Side Elevation
0135-YK-2200	Proposed Block Plan
0135-YK-2300	Proposed Ground Floor Plan
0135-YK-2301	Proposed Roof Plan
0135-YK-2330	Proposed Rear Elevation
0135-YK-2360	Proposed Section and Side Elevation

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2.0

Project Context

2.1 Project Context

160 Weston Park is a terraced dwelling, at the eastern end of Weston Park road, which is a long residential road that runs east-west from the centre of Crouch End.

Primarily residential in character, Weston Park contains a mixture of houses and apartment blocks. The houses are predominantly two-storey, and many are either semi-detached or terraced. The street is characterised by houses that are set back from the road by either a driveway or front garden.

The rear garden backs onto the ground of the Hornsey School for Girls at the north of the property.

Conservation and Heritage

The proposal site is not listed and does not sit in a Conservation area.



2.2 Existing Site

The site consists of a front garden and large rear garden, which consists of a large rear lawn and a number of planters, the levels of the rear garden fall away from the house. The dwelling is a terraced property which follows the line of the road.

The plot is largely rectangular in shape running from north to south. At the rear of the property there is a large garden falling away from the house. There are a number of sheds at the rear of the garden which creates the northern boundary with Hornsey School for Girls.

The property was built in the Victorian period and is primarily of masonry construction, with red brick elevations and stone lintels and cills and a tiled pitched roof, with projecting rendered eaves. The house is almost identical to its neighbours, the property is a fairly anonymous example of its type, and is consistent with the character of the area.

Most of the original timber doors and windows are retained, however a contemporary bi-fold door has been installed at the rear of the property which opens out to the garden. The existing rainwater goods are a combination of uPVC and cast iron. Overall the dwelling is typical of its age and location.

The loft was previously converted which added additional bedrooms on the second floor.

The existing property is in a reasonable condition, but the fabric of the building could be improved to increase the thermal performance. As a result of being subdivided some of the internal layouts of the dwelling feel inconsistent with more contemporary living aspirations.



Front Elevation



Rear Elevation



Rear Garden



Kitchen - looking to garden



Kitchen - looking towards front door

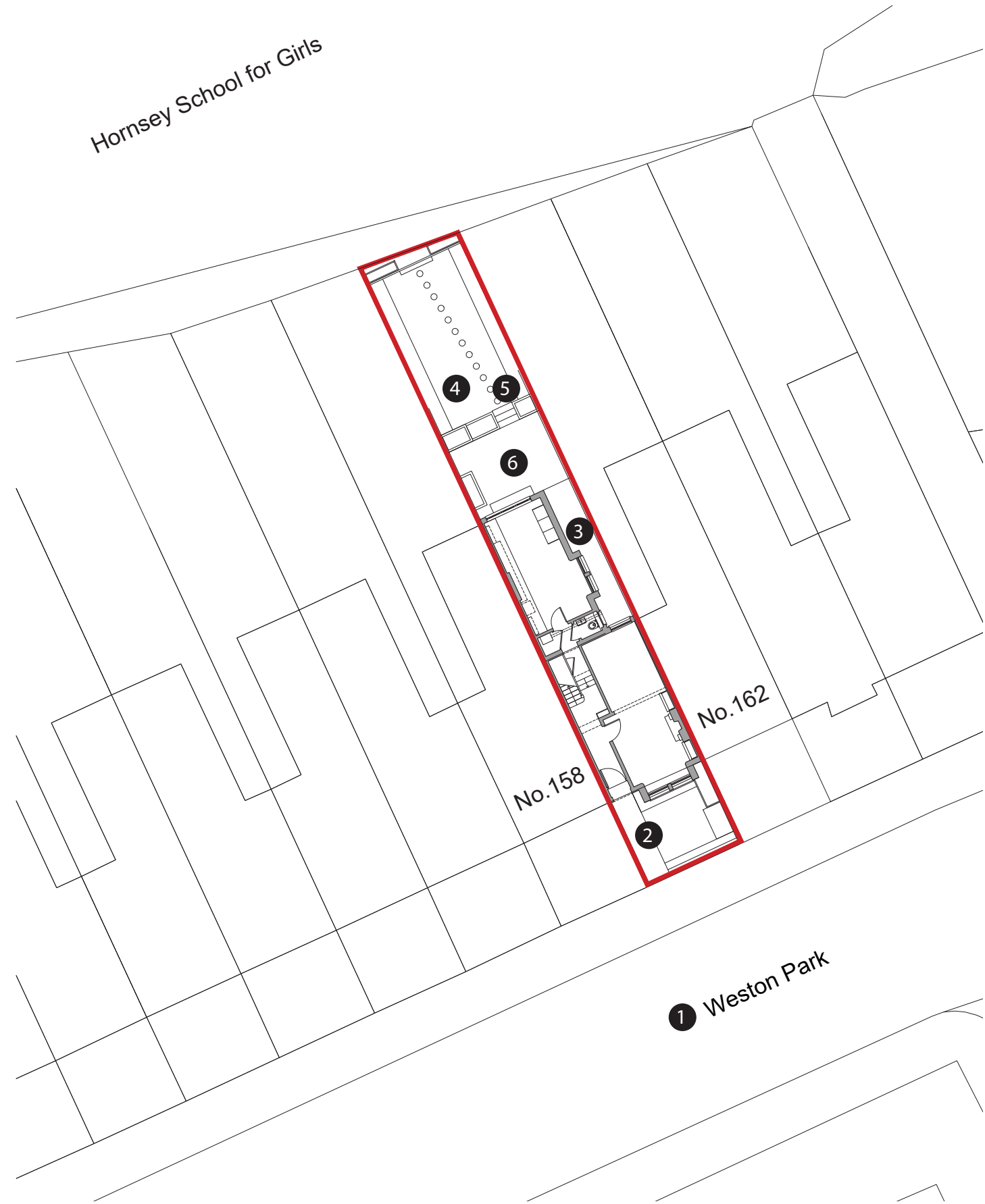
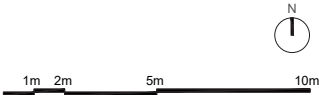


Entrance Hall - looking towards kitchen

2.3 Existing Site Plan

Key:

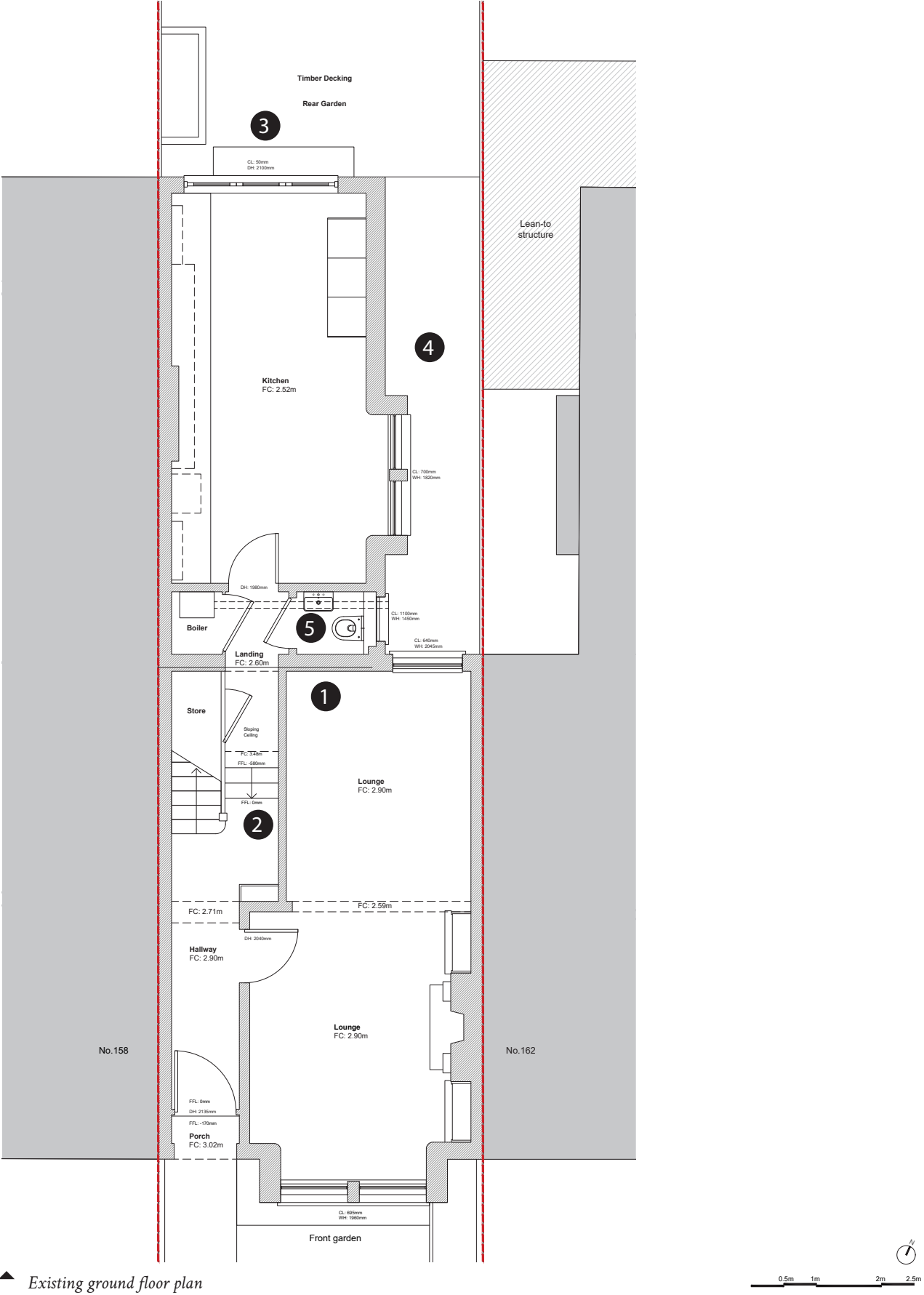
- 1. Weston Park road
- 2. Paved path in front garden
- 3. Side access to outrigger
- 4. Garden lawn
- 5. Steps in garden due to level change
- 6. Hardstanding/Terrace



2.4 Existing Plans

The plan opposite shows the existing internal layouts of the ground floor and its relationship with the external spaces, highlighting the issues identified with the current dwelling.

1. No connection between living spaces and kitchen / dining
2. Level change splits the functions of the front and rear of the house
3. Further level change between kitchen floor level and garden level restrict access
4. Side alley creates narrow kitchen area and is largely unused external space
5. WC acts as a further divide between kitchen and living spaces

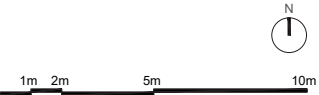


3.0

Proposals

3.1 Proposed Site Plan

- Key:**
- 1. Weston Park road
 - 2. No changes to front garden or front elevation proposed
 - 3. Single storey side extension to maximise width of kitchen
 - 4. Garden lawn unchanged
 - 5. Steps in garden due to level change unchanged
 - 6. Rear extension, connecting to side extension, with sunken seating area to improve connection with garden, refer to proposed section for further information



▲ Proposed Site plan

3.2 Proposed Plans

The plan opposite show the proposed internal layouts, highlighting the improvements achieved as part of the new dwelling.

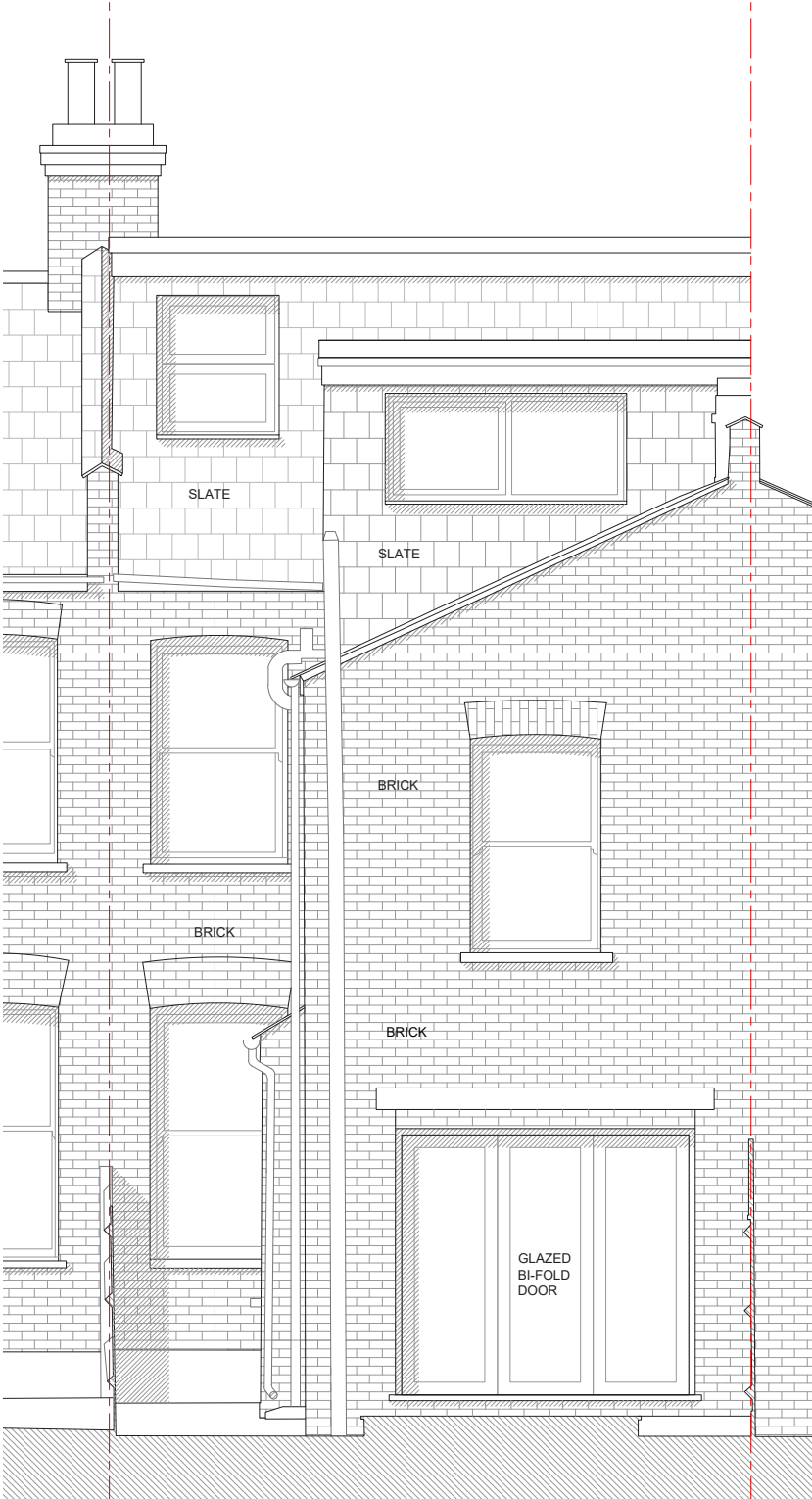
1. Improved connectivity between living spaces
2. WC moved under stairs to achieve point 1 above
3. Rear extension at lower level creates a strong relationship with garden and amenity areas
4. New rooflights bring good levels of natural light into the centre of the plan
5. Side extension improves the width of the kitchen and better connection with living spaces
6. Large sliding door improves access to the garden and lets natural light into the kitchen
7. New and/or improved building fabric with high-levels of thermal performance



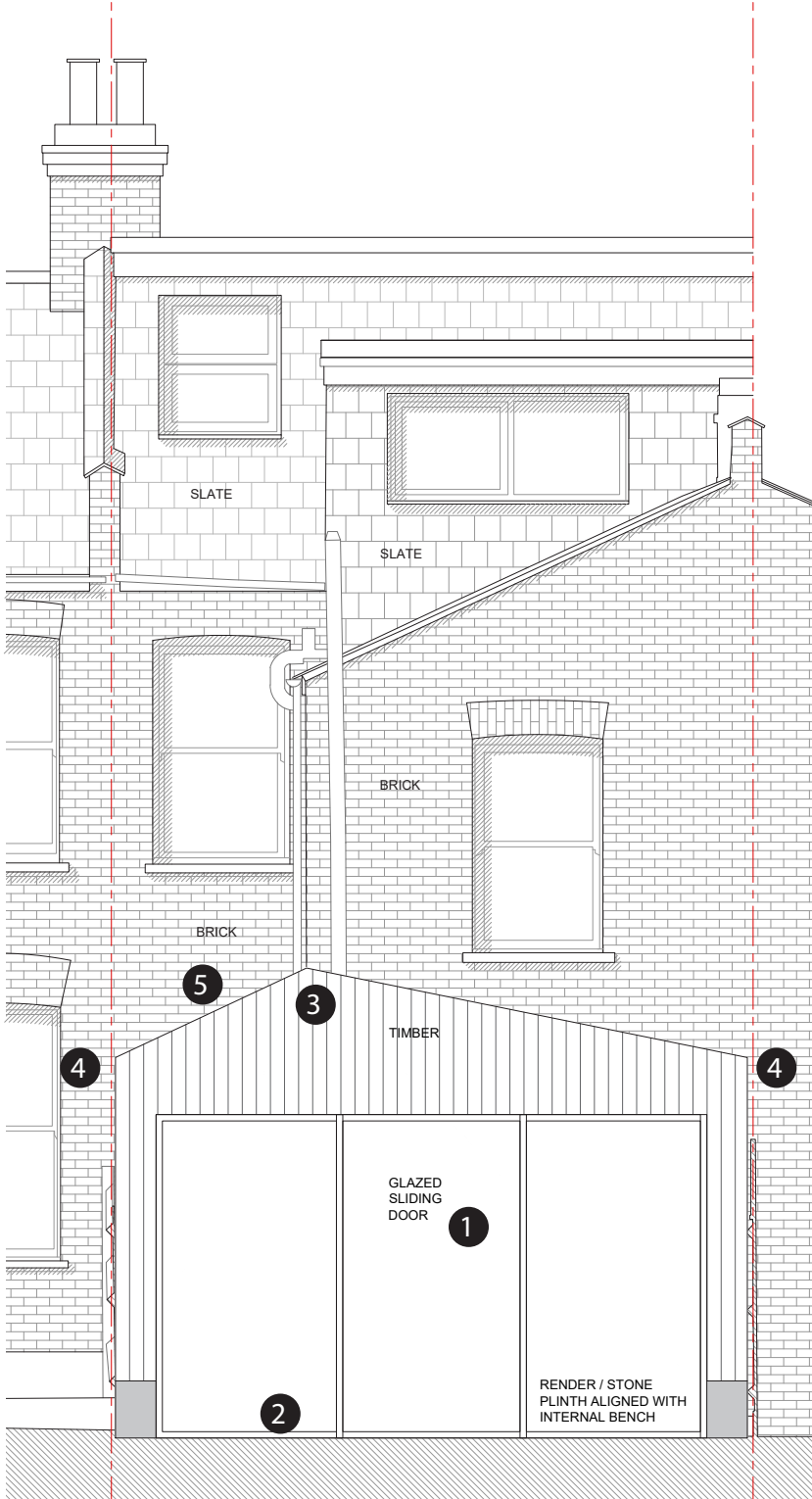
3.3 Existing and Proposed Elevations

The rear elevations opposite compare the existing and proposed conditions with alterations highlighted and described below. Please note no changes are proposed to the front elevation therefore this has not been drawn or included within this application.

1. Increased structural opening and installation of sliding glazed door to improve accessibility to the garden
2. Existing floor level is lowered to rear of property, in the new extension, to match the external level of the garden to improve access
3. Highest point of roof kept away from the boundary to create spacious internal living areas whilst reducing impact to neighbours
4. Minimum eaves height to reduce impact on neighbouring properties
5. Rooflights along side extension to bring daylight into the centre of the plan



▲ Existing rear elevation



▲ Proposed rear elevation

3.4 Existing and Proposed Roof Plans

The plans opposite show the existing and proposed roof plans which only contain changes at ground floor where the new single storey is proposed, the new rooflights are illustrated on the proposed plan.

3.5 Materiality

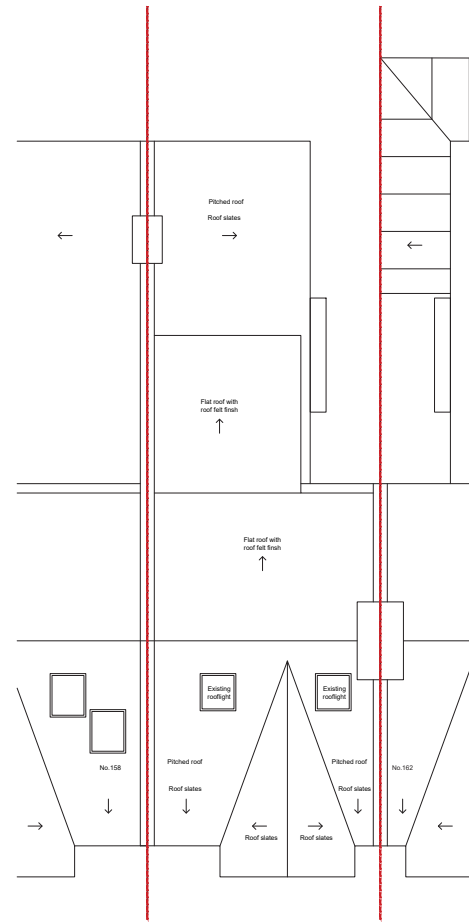
The scheme is intended to be visually harmonious with the architectural character of the existing property and surrounding area, whilst using interesting and high-quality accent materials to elevate and accentuate the proposals.

The selected material palette is illustrated opposite.

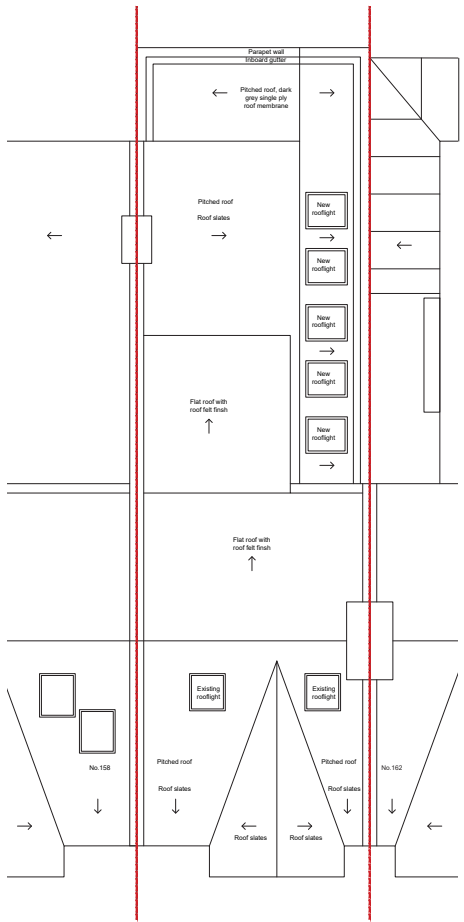
New Materials

Much of the historic appearance of the house has been retained and the existing red brick and dark grey slates of the roof will be complimented by the new contemporary palette of the extension as illustrated adjacent.

The change in material treatment between the existing house and extension has been designed to be complimentary whilst also creating a clear distinction between the existing building and new extension.



▲ Existing roof plan



▲ Proposed roof plan



Red Brick



Roof Slates



Double glazed aluminium frame



Complimentary vertical timber cladding to the extension

Existing
Palette

Integration with
Proposed Palette

3.6 Appearance of new Rear Elevation

The rear extension will be constructed of high quality materials in keeping with the appearance of the existing house, whilst reflecting contemporary detailing as per the precedent images adjacent.

3.7 Sustainability and Energy Efficiency Improvements

In accordance with the Climate Emergency declared by Haringey Borough Council, and in line with national and international requirements to limit the carbon consumption of our existing building stock, a number of measures have been incorporated into the scheme to improve the sustainability of the scheme, which are as follows:

- 1. **Improvement of Natural Daylight Levels**
Bringing in natural daylight will reduce reliance on electric lighting and radiation from the sun will reduce reliance on heaters during the winter
- 2. **Thermal Performance of New and Existing Building Fabric**
Some of the exposed existing solid wall construction will be replaced with high-performance insulated walls and roofs, ensuring minimal energy consumption for heating



▲ *Precedents of rear extension*



▲ *Precedents of interior of extension*

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