

DESIGN & ACCESS STATEMENT

34 Fortismere Avenue, London N10 3BL

Edition: October 2024

MALIN+LYNN

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1_EXECUTIVE SUMMARY

This Design & Access Statement provides supporting documentation for the proposed works to No.34 Fortismere Avenue, London, N10 3BL. We have considered carefully the architectural context of the site, local planning policies, structural requirements and the design proposal itself.

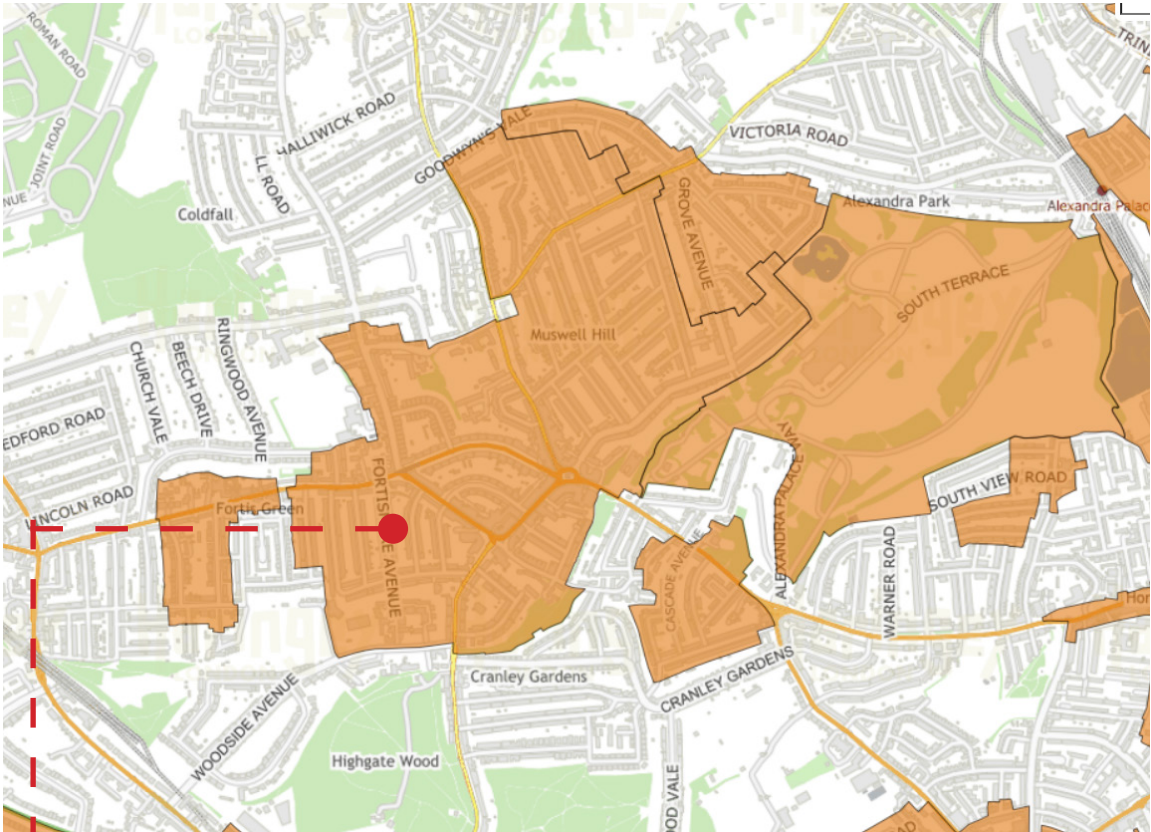
We are seeking approval for the demolition of the existing rear elevation at ground floor only, including the rear bay to make way for the construction of a full width, staggered, single storey ground floor extension, that protrudes further to the south side to align with the neighbouring property. The proposed GF rear extension includes two new arched openings with double glazed timber framed hinged doors and an additional similar opening to the side elevation. The proposal is designed with a new truncated hip roof, a rooflight above the north portion of the GF extension alongside a new flat roof above the south portion (that protrudes further) of the extension with roof light above. Lowering of the 1F rear sash window to Bedroom 02 to make way for the GF extension below. Finally, the construction of a new second floor dormer to the rear elevation, to maximise internal floor space. The dormer is set in from the party walls and the extension includes two pairs of sash windows to the eaves.

The overall aim is to improve the layout of the internal space of the property and generate a high quality design, with proportions, finishes and materials that are sympathetic to the existing fabric of the building. The discussed alterations will also increase the lifespan of the property and improve it’s existing thermal performance, as well as the improved usability for current and future occupants.

2_SITE CONTENT & LOCATION

No. 34 Fortismere Avenue is a three storey Edwardian, single family dwelling and lies within the Muswell Hill Conservation Area, in the London Borough of Haringey. Fortismere Avenue is also located within Sub Area.4 Midhurst Avenue to Hillfield Park. This sub area is predominantly residential, developed primarily by William Collins during the period 1896-1909. The area is characterised by mainly quiet, tree-lined residential streets. There is a variety of linked semi-detached and terraced houses with varying elevation treatments along the roads. Although the house types vary, there is a general homogeneity within the streets as a result of the constant heights, use of contrasting materials, consistent fenestration and door details as well as the repeated forms of elements such as gables, bays, chimneys and porches.

The properties have a consistent building lines, low front garden walls and small front gardens. Houses are predominantly two storeys, although some have dormers or gables to accommodate an attic storey (no.34). In Sub Area.4 there is a considerable consistency in Architectural style, the use of materials and common details that make this area particularly distinctive. The predominant materials are red brick with red clay



34 Fortismere Avenue

Above: Extract from London Borough of Haringey - Muswell Conservation Area Map

tile or slate main roofs. Red tiles are commonly used on porches, lean-to roofs and bays. The use of white painted render, white painted timber work and mullions creates a distinctive contrast with the red brickwork that is characteristic of this area. Common themes used to enliven the elevations include projections, gables, bay windows and decorative render panels. A combination of pitched and mansard roof forms is evident. At roof level there is a repeated pattern of upstands at the party wall with chimneys, generally positioned between pairs of houses

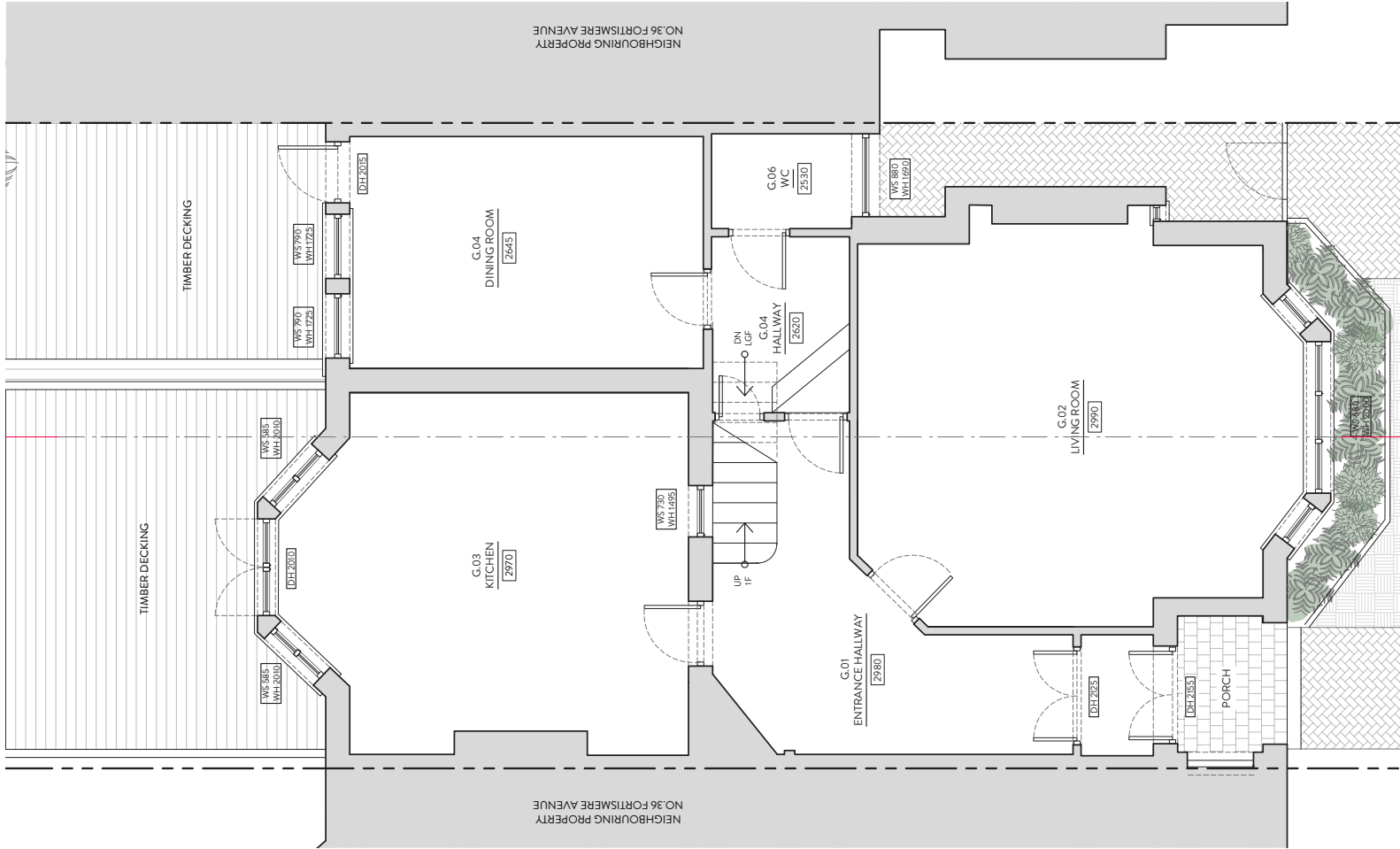
Closely analysing the Planning Guidance Supporting Documentation (SPD), it notes that any newly proposed extension works should respect the dominant building line and the general rhythm of the front and rear facades within the street. Roof extensions should also follow this principle, including granting ridge height extensions, only where previous properties on the street also incorporate this amendment.

Lower level extensions are to not dominate the main building and should meet the policies in the section of the SPD with regards to provision of garden space. The size of rear and side extensions should have regard to the existing building patterns along the street, as well as respect the symmetry of original additions in the terrace. The proposal at 34 Fortismere Avenue closely follows the above items within the SPD Guidance and as such incorporates the following design considerations :



Above: Photograph of 34 Fortismere Avenue, N10 3BL

3_EXISTING DRAWINGS

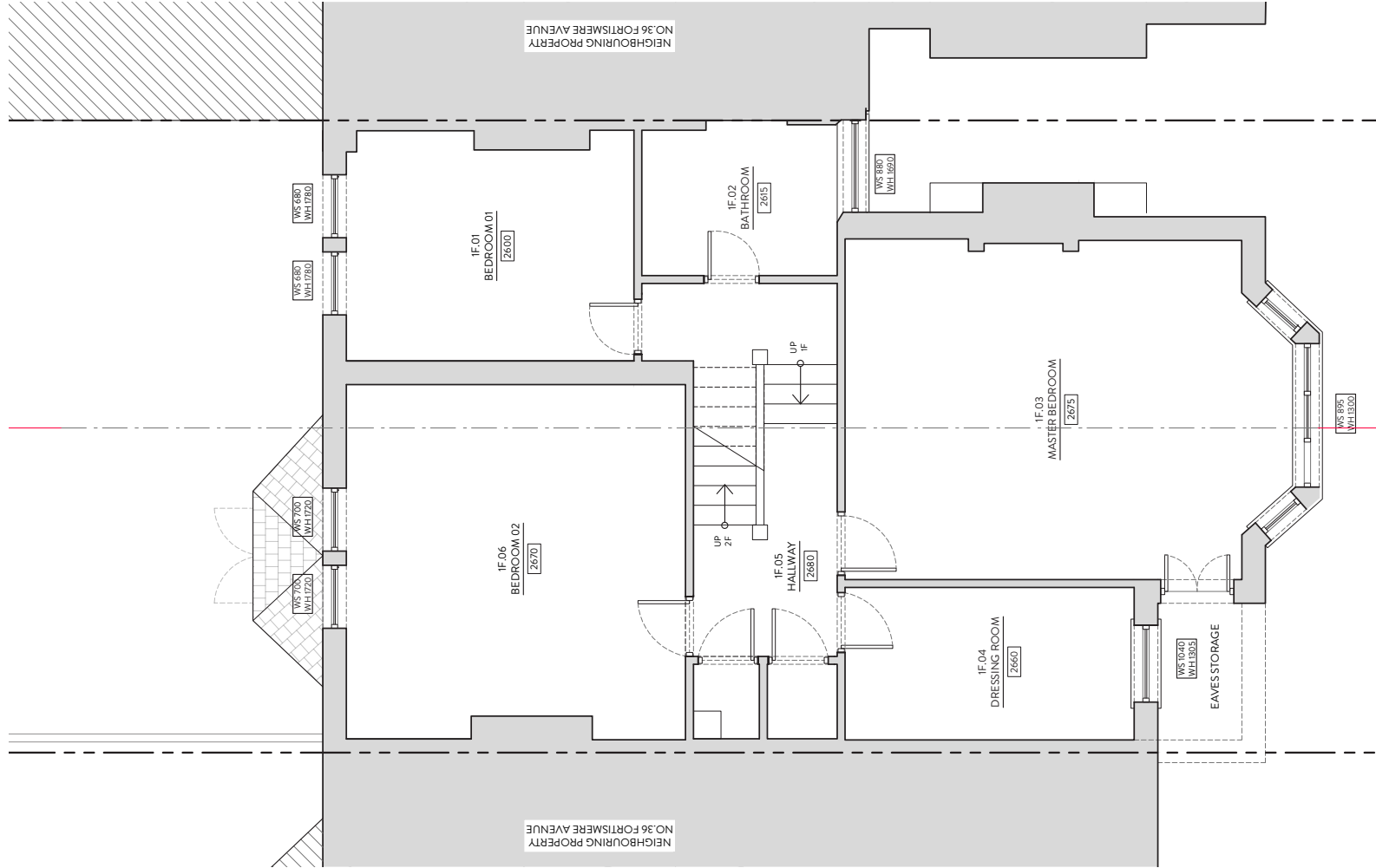


Existing Ground Floor Plan

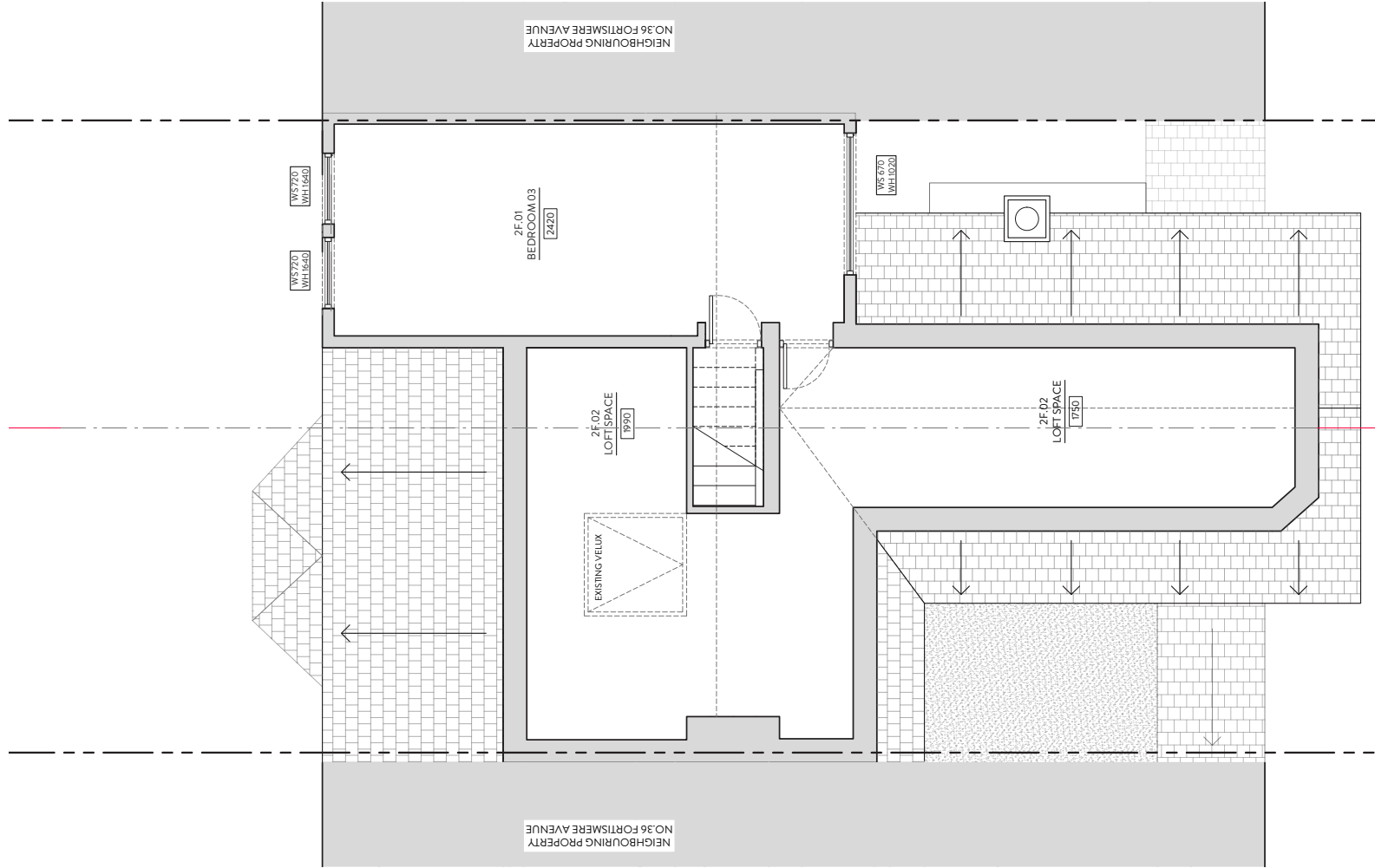


Existing Ground Floor - Rear Garden

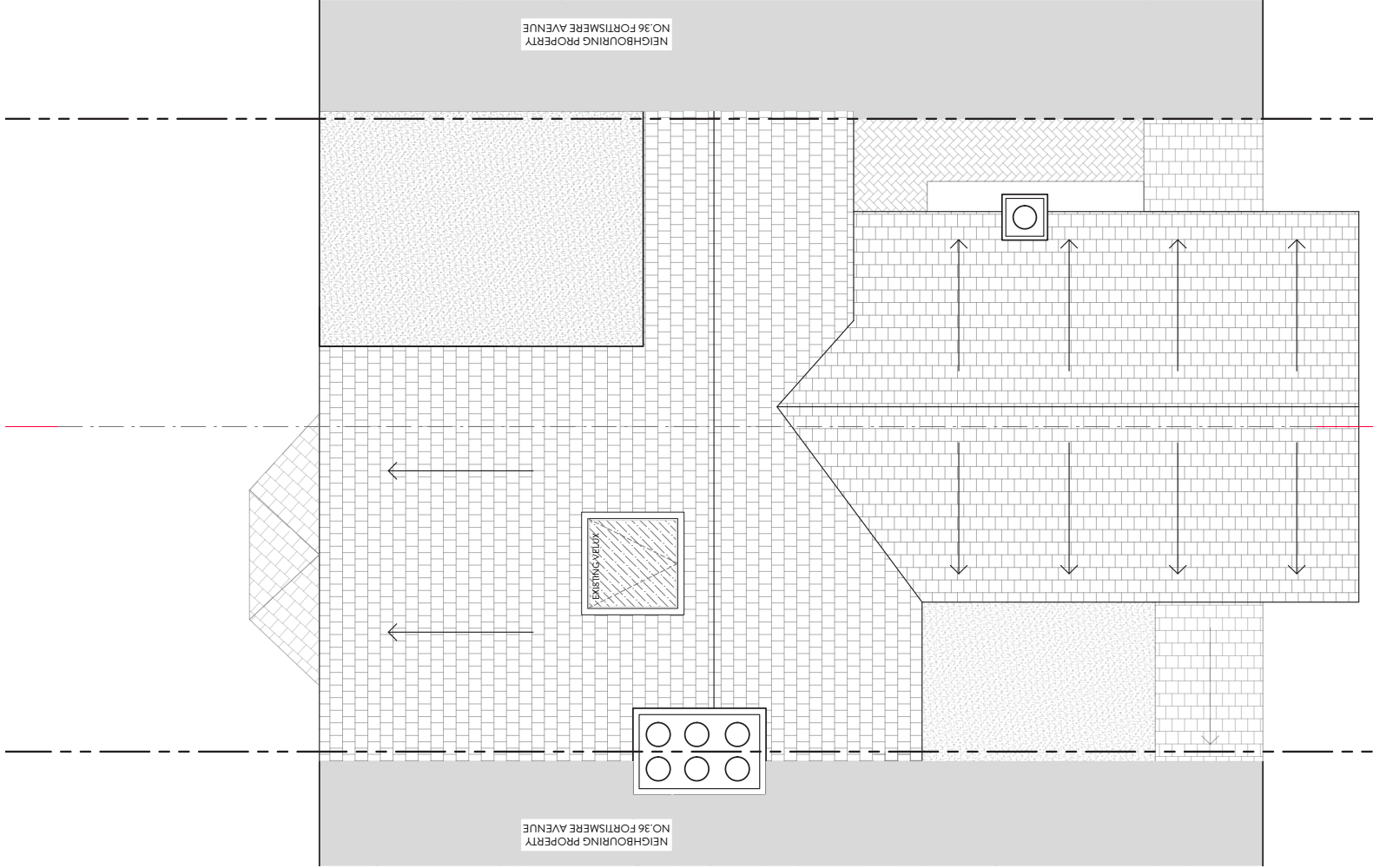
Existing First Floor Plan



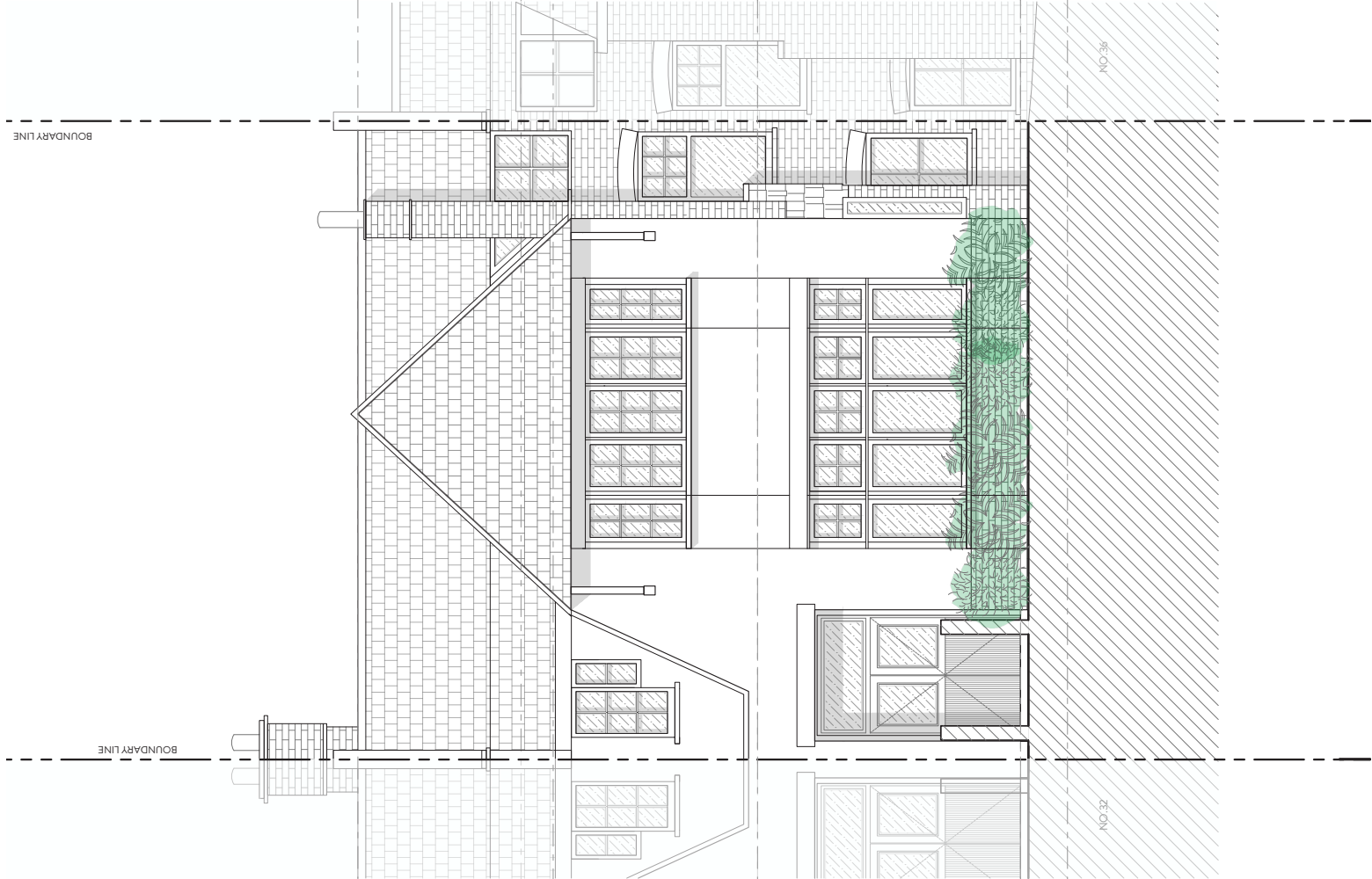
Existing Second Floor Plan

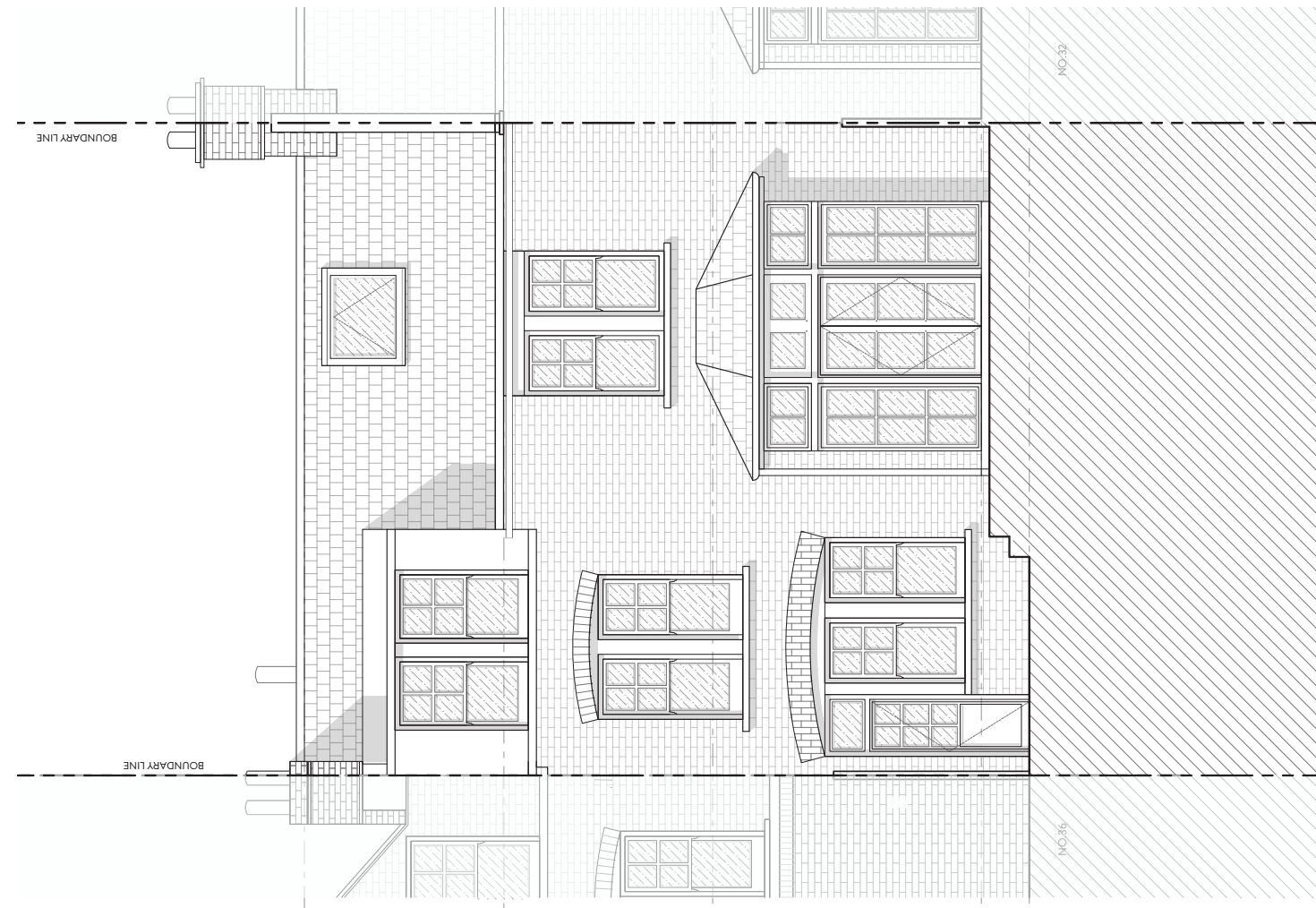


Existing Roof Floor Plan

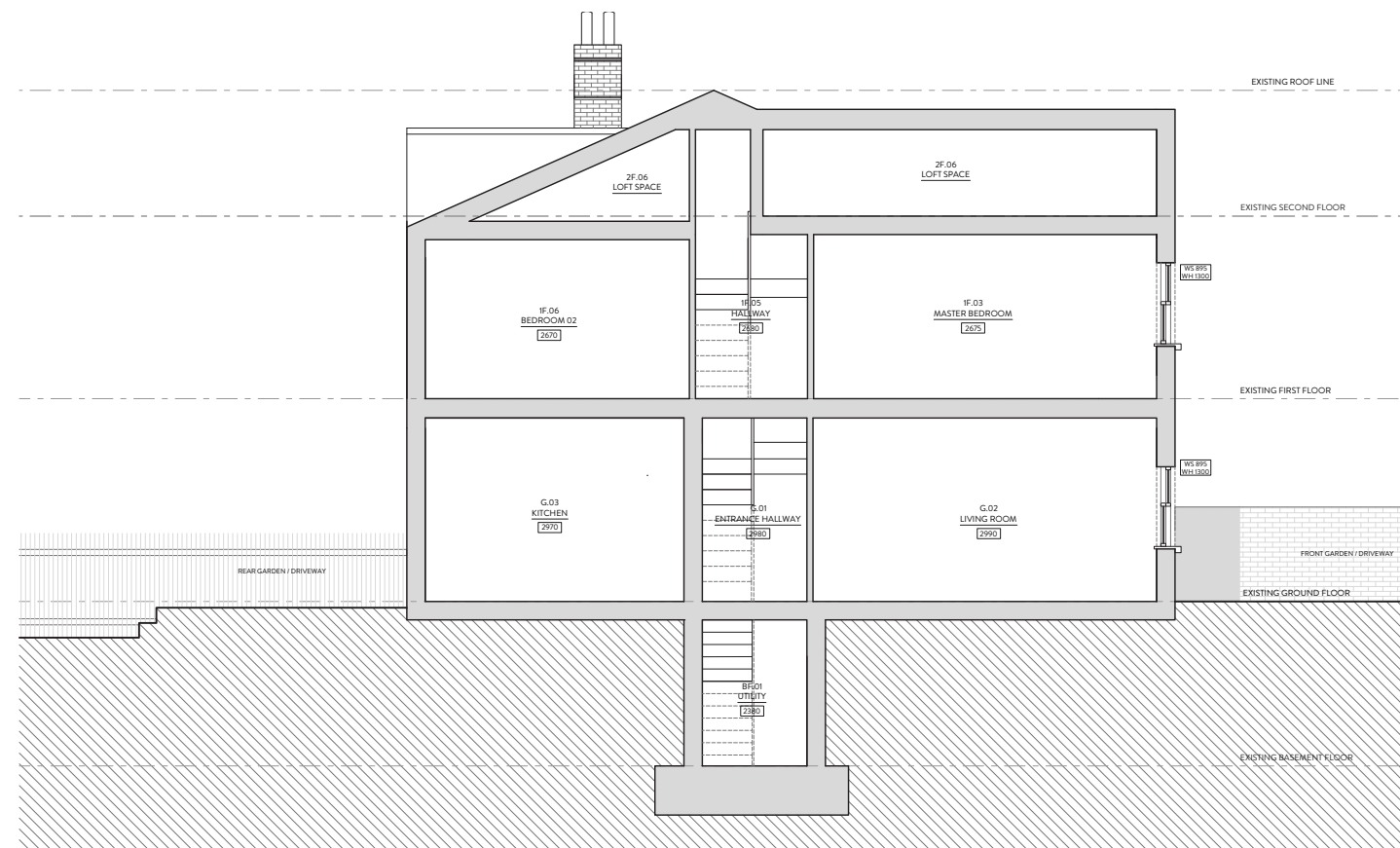


Existing Front Elevation





Existing Rear Elevation



Existing Section AA

4_SITE PHOTOGRAPHS



1. Existing Front Elevation - 34 Fortismere Avenue



2. Existing Front Door - 34 Fortismere Avenue



3. Existing Rear Garden - 34 Forstismere Avenue



4. Existing Rear Elevation - 34 Fortismere Avenue

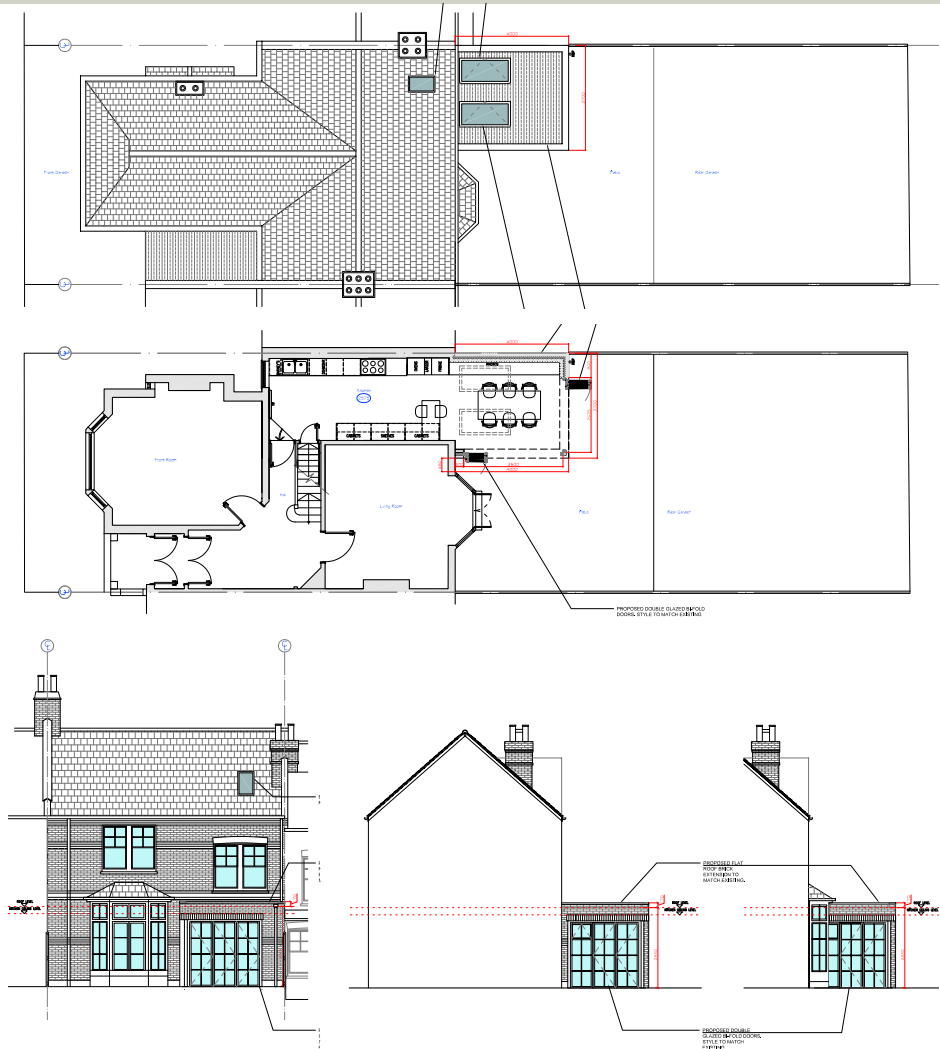
5_PLANNING HISTORY AND CONTEXT

Conservation Area: Yes, Muswell Hill Conservation Area of Haringey
Article 4 Direction: No
Listed Building: No

Similar applications to proposal at 34 Fortismere Avenue:

HGY/2022/2196- 23 Fortismere Avenue
Decision Date: 22/08/2022
Granted Permission: Approve with conditions

The proposed at no.23 seeks to enlarge the Kitchen area which incorporates a dining area with a GF rear extension. The gross internal area (GIA) of the proposed extension will be 11.4 sq.m. This proposal will not affect the adjacent Living room and existing bay doors to the garden. The extension is proposed to be 4 metres deep and 3.7 metres wide to be built in London stock bricks to match existing. Eaves height is proposed at 2.830 with a maximum parapet wall height of 3 metres. The scale is modest, particularly in relation to the size of the rear garden, and its proportions and configuration balance with the existing rear elevation. Materials will match existing and details will be replicated to retain the property’s existing and original character.



HGY/2022/2196 - 23 Fortismere Avenue - Proposed Drawings

Similar applications to proposal at 34 Fortismere Avenue:

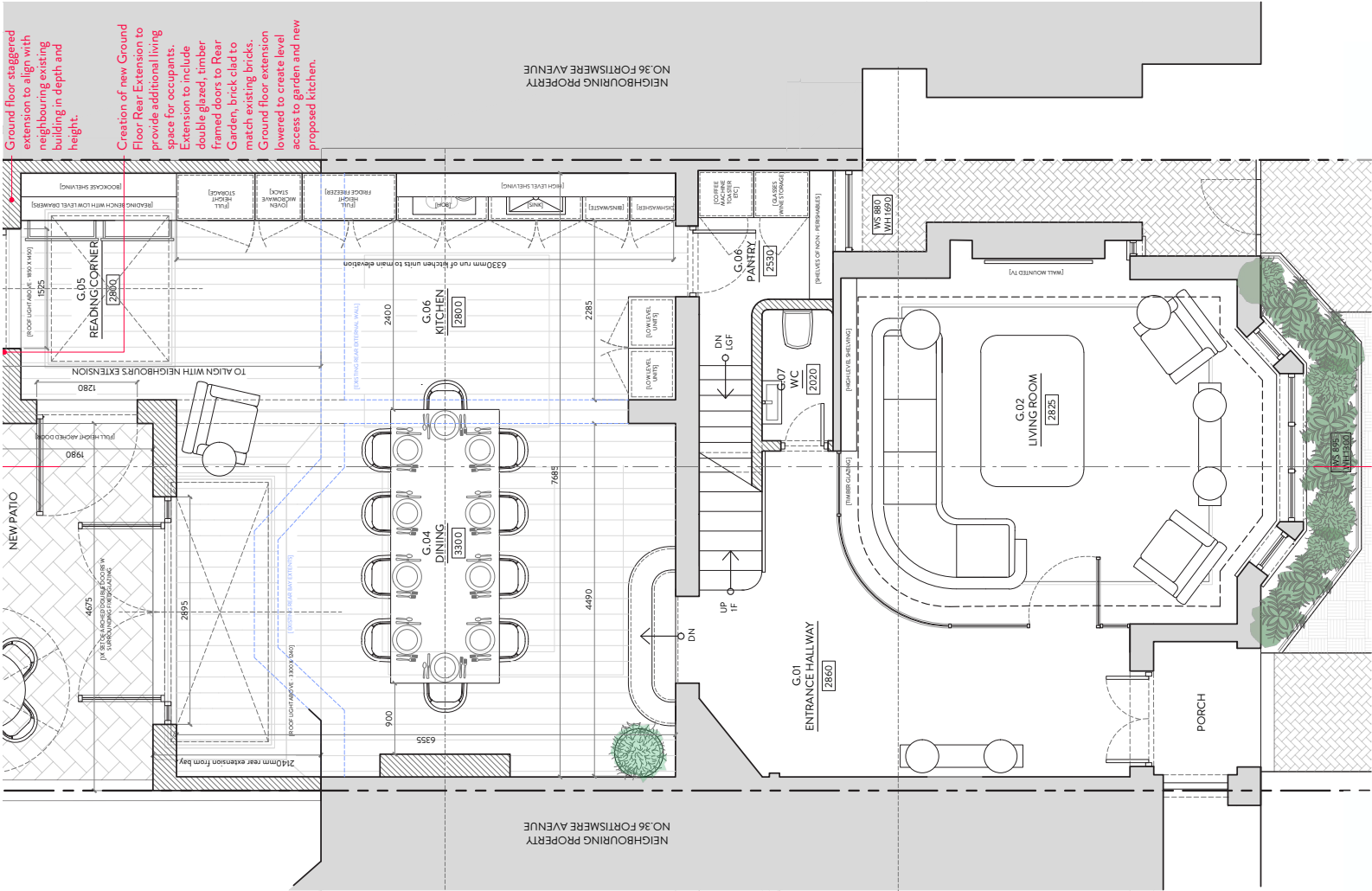
HGY/2015/2437- 38 Fortismere Avenue
Decision Date: 02/12/2015
Granted Permission: Approve with conditions

The proposed at no.38 seeks to extend the 2F loft in the form of a dormer extension/loft conversion. The design and appearance of the loft extension is not detrimental to the character and appearance of the conservation area and by scale is subordinate to the existing roof. Similar to our proposal at 34 the loft extension is in keeping with the character, size and scale of the building. It does so by introducing four sash windows, similar to the existing 1F sash windows to the rear of the property. The proposed loft conversion at no.38 consists of a fully stepped in rear dormer roof extension with one velux conservation roof light installed to the front roof slope. The rear dormer is stepped in on both sides, up from the rear and stepped down from the existing roof ridge line, so as not to detract from the profile of the existing roof. The proposal does not seek to alter the front elevation. All physical alterations are to the rear and so not visible from the public road.

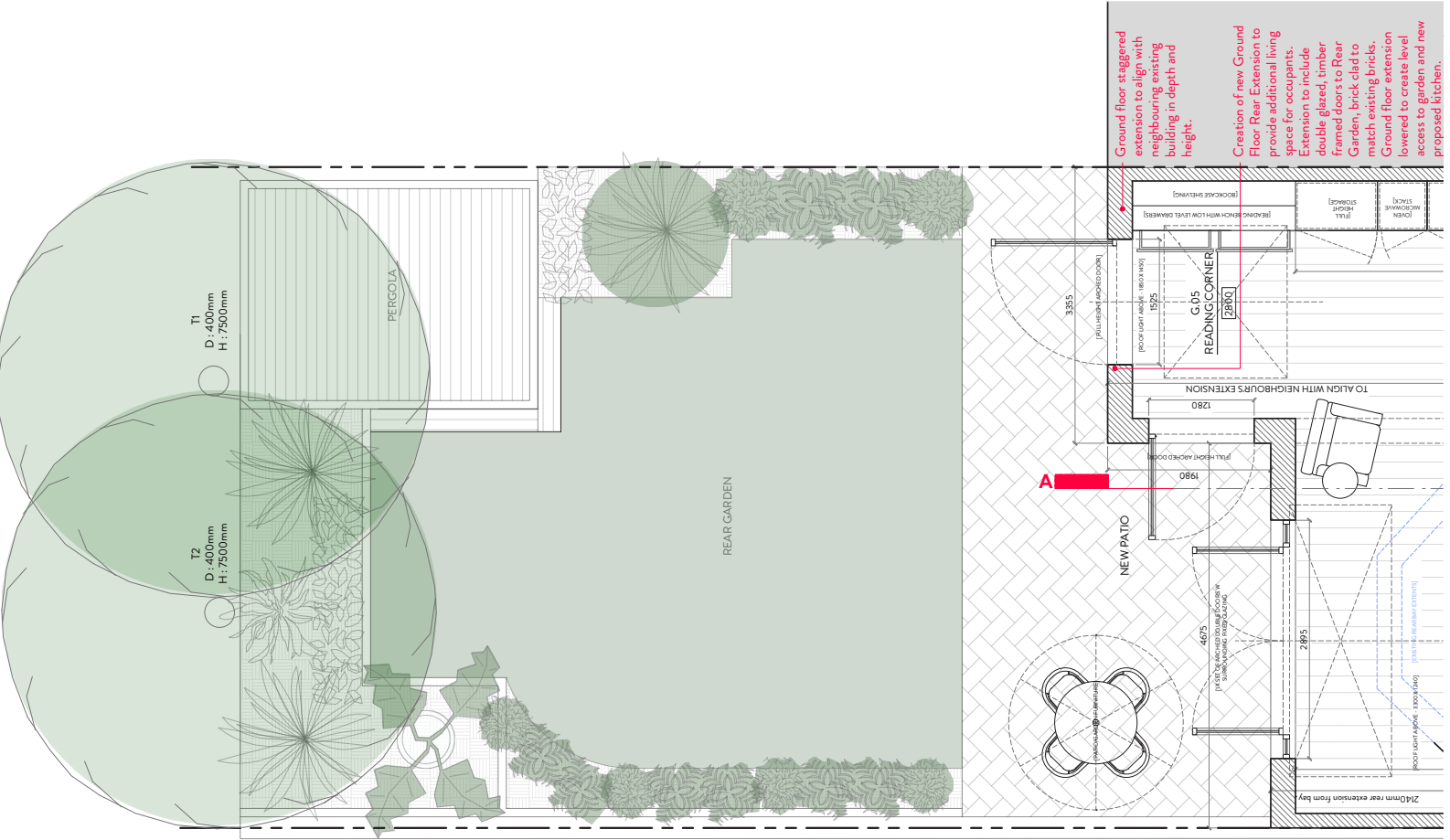


HGY/2015/2437 - 38 Fortismere Avenue - Existing and Proposed Drawings

6_PROPOSED DRAWINGS

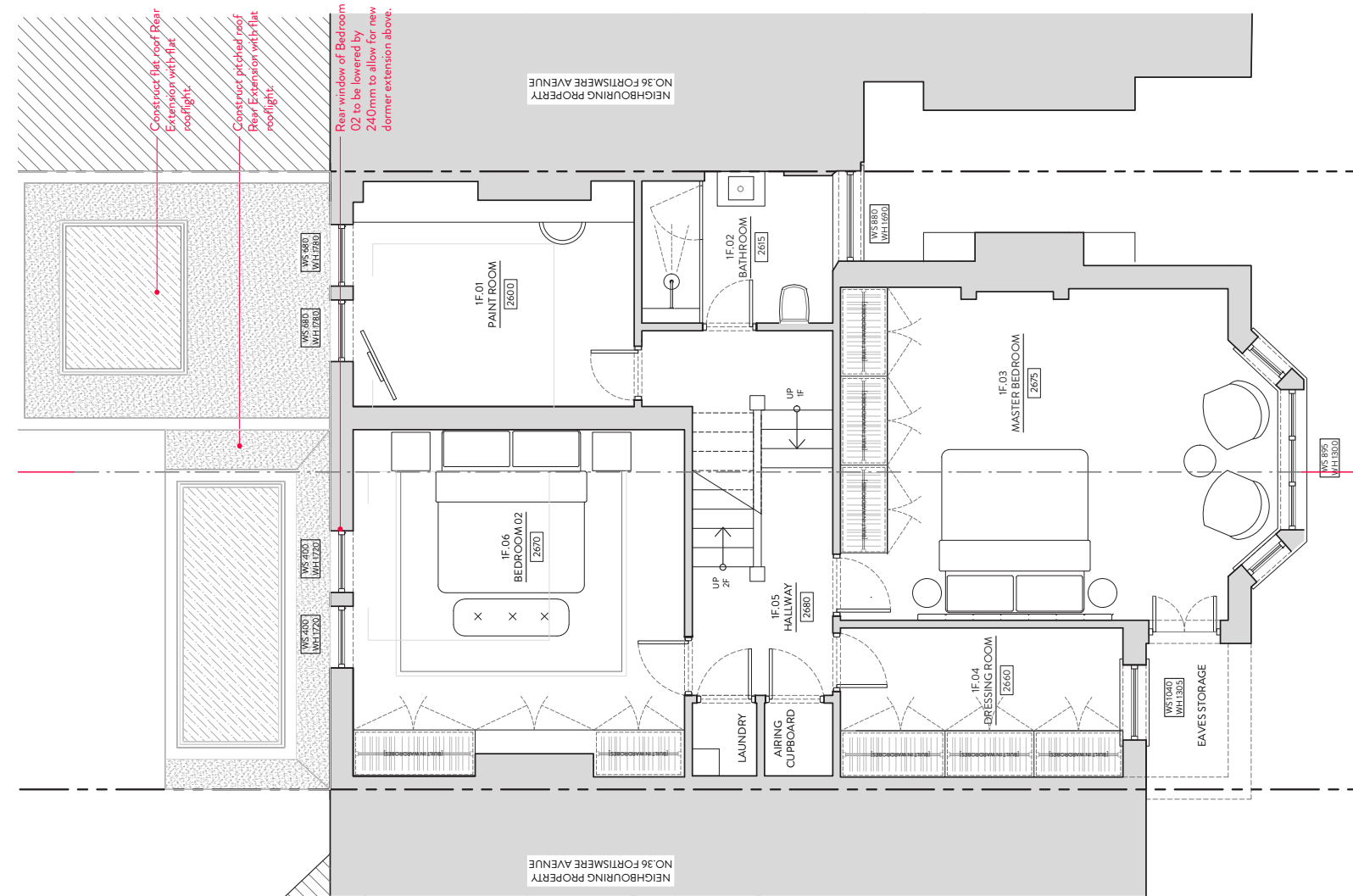


Proposed Ground Floor Plan

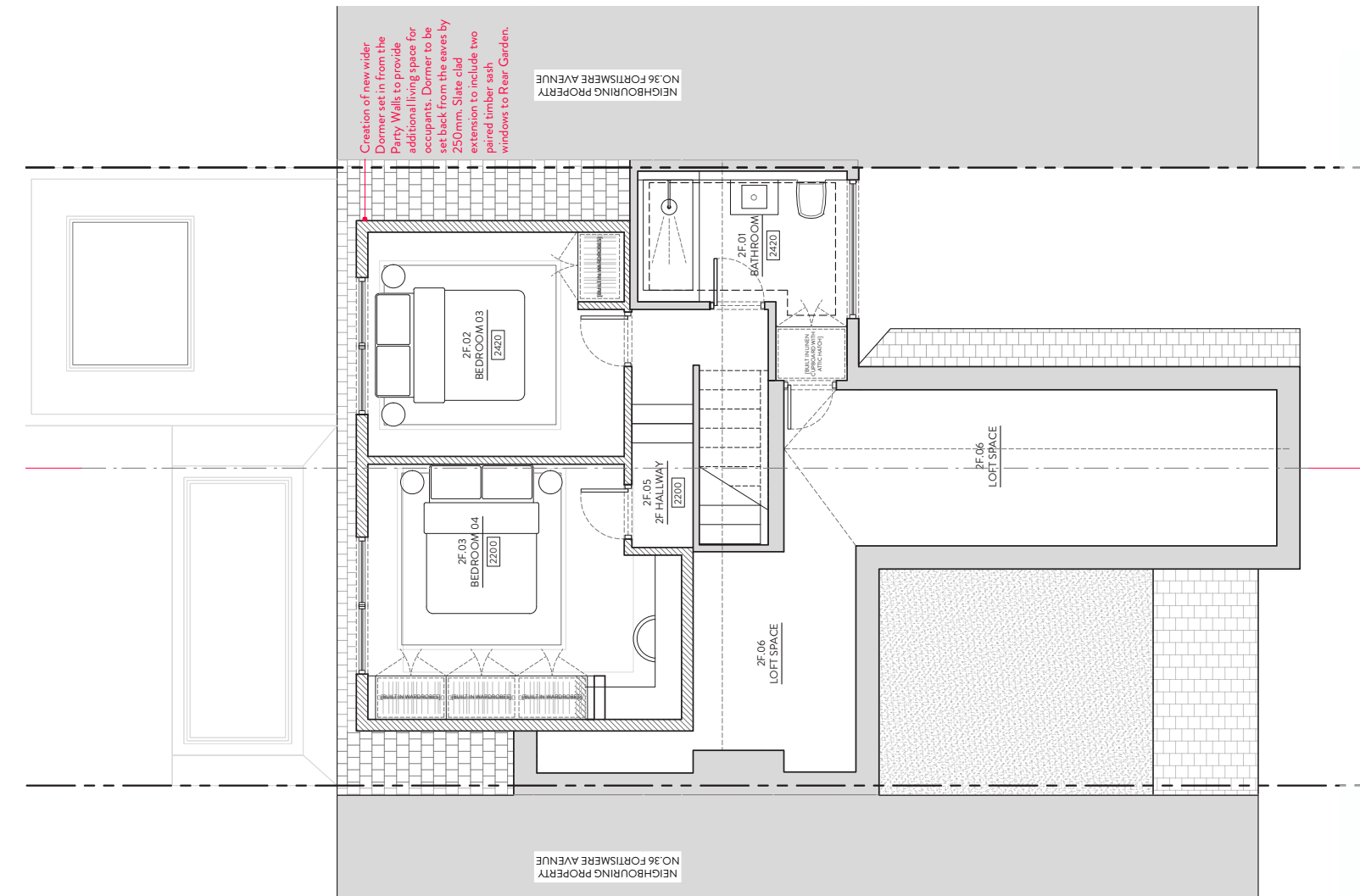


Proposed Ground Floor Plan - Rear Garden

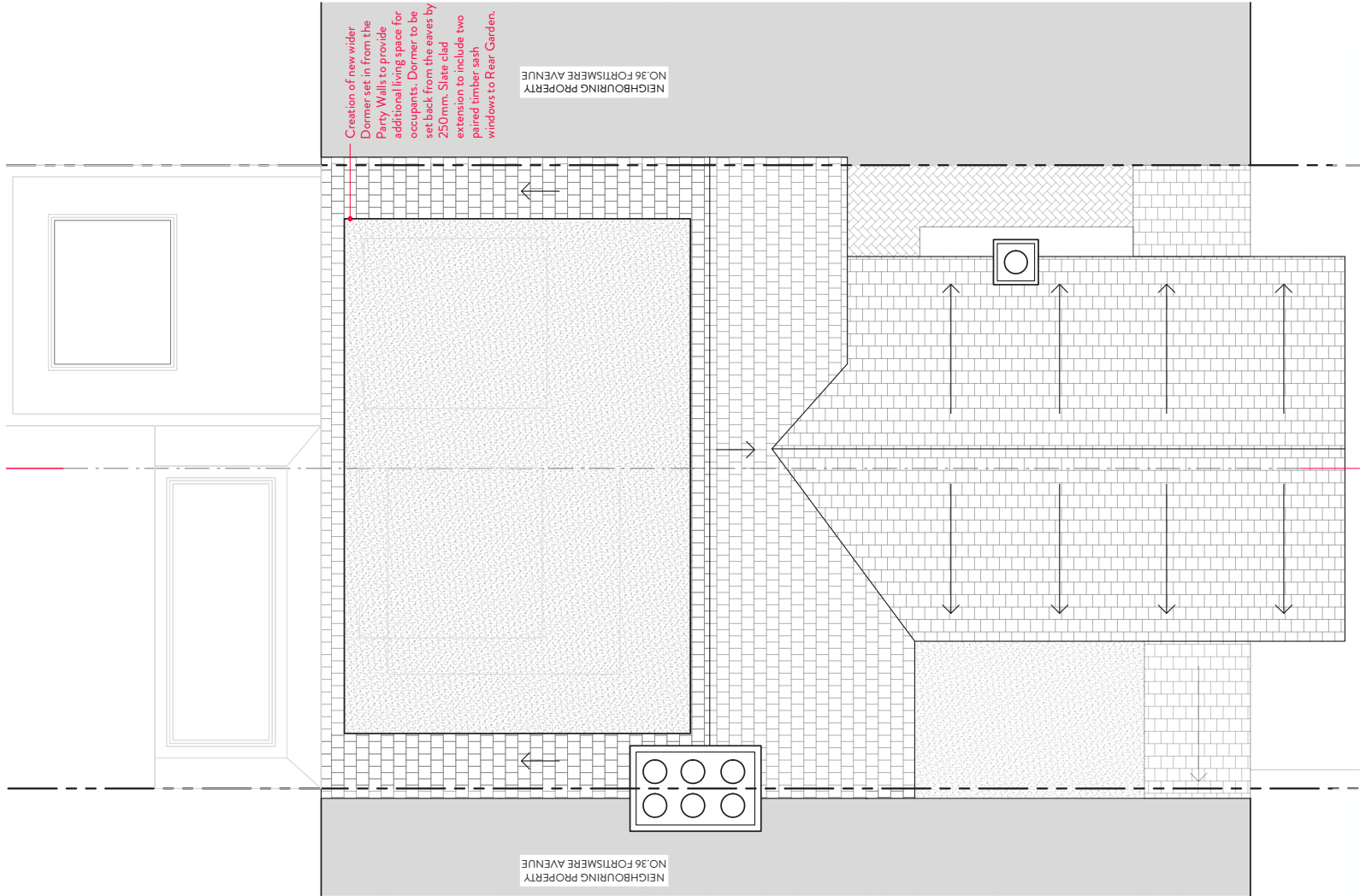
Proposed First Floor Plan



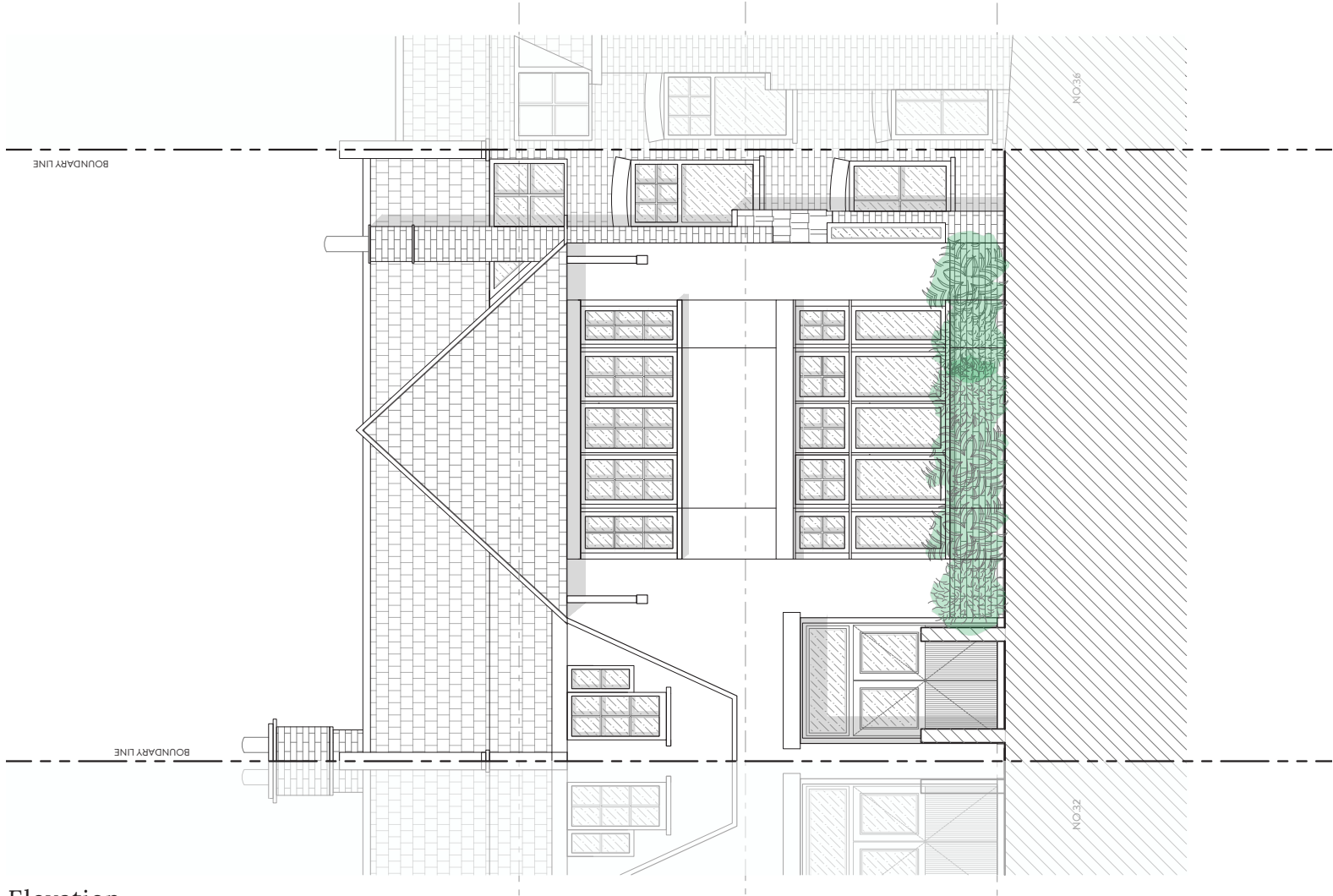
Proposed Second Floor Plan

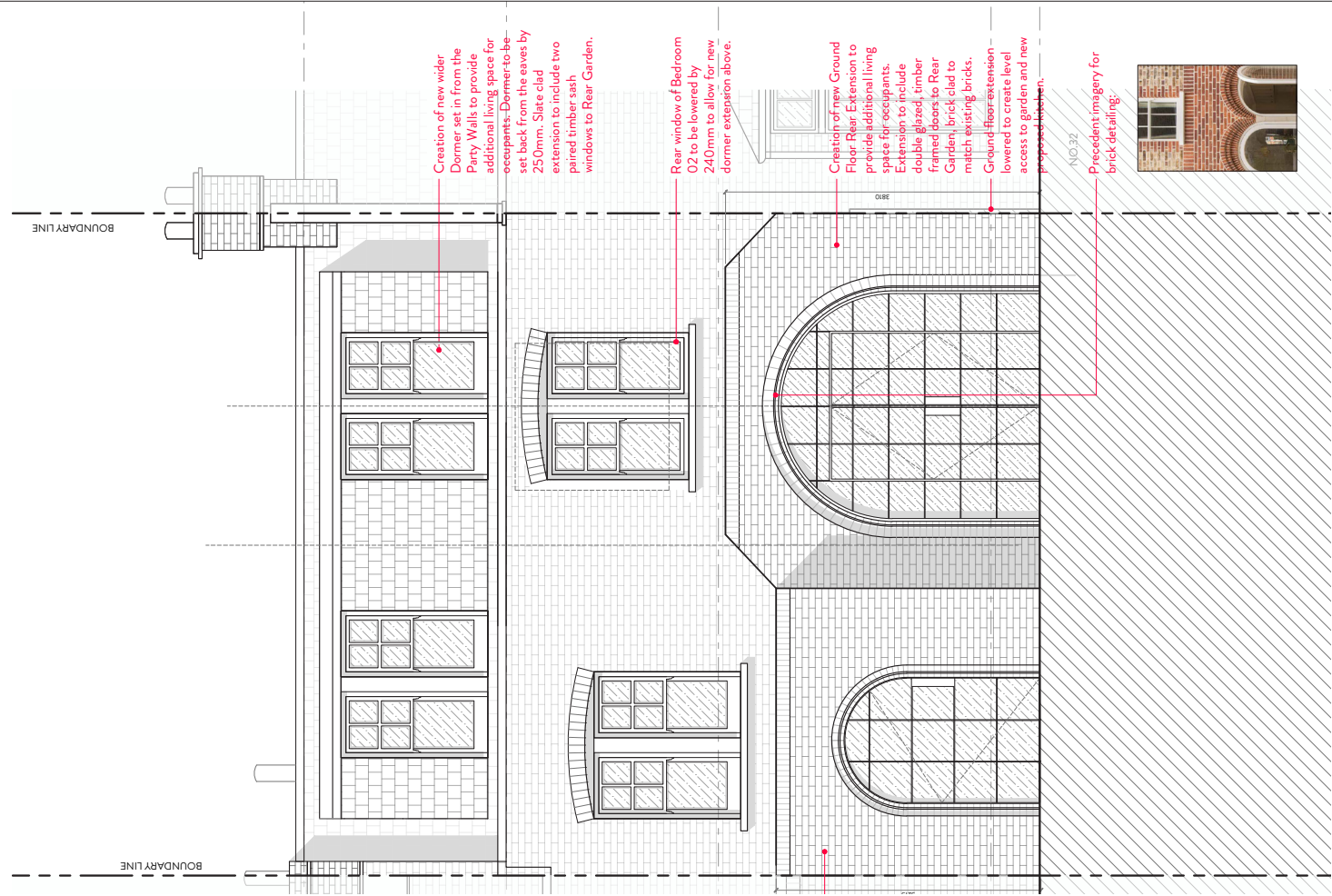


Proposed Roof Floor Plan

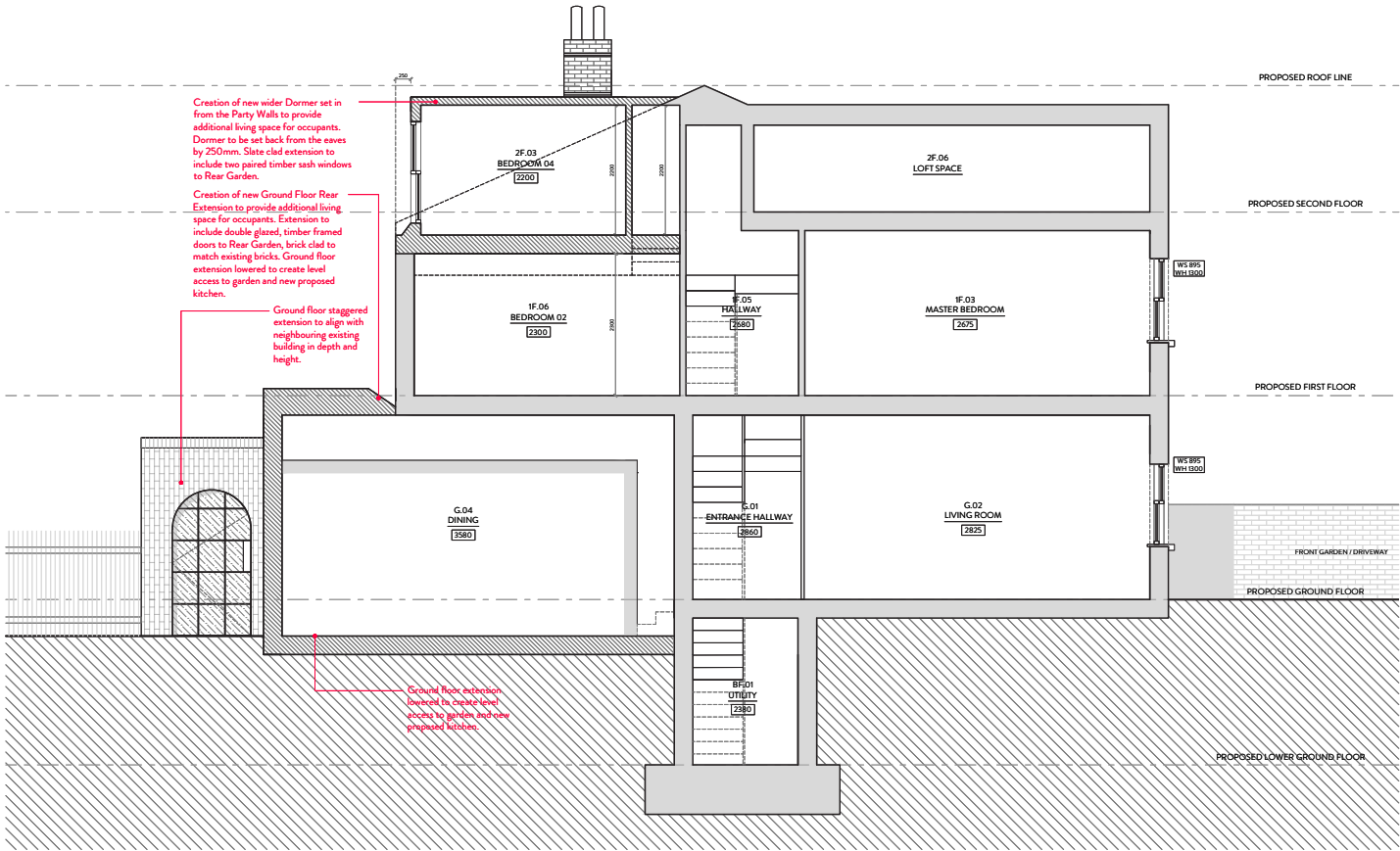


Proposed Front Elevation





Proposed Rear Elevation



Proposed Section AA

7_ACCESS

Access to the property remains as existing, via the Ground Floor Front Door.

8_SUMMARY

To summarise, we believe that the proposed scheme at 34 Fortismere Avenue has been carefully considered and is in keeping with the local Conservation Area as well as recently approved applications to neighbouring dwellings along the street.

The proposal would enable the occupants to evolve the property and bring it back to life, in keeping with modern day living, whilst being sensitive to materiality and impacts on neighbouring properties - for decades to come.