

DESIGN & ACCESS STATEMENT

108 MATTISON ROAD LONDON N4 1BE
(FIRST FLOOR FLAT)



INTRODUCTION

1. Full planning permission is sought for improvements to the first-floor residential flat by introducing a side dormer extension aligned with the existing flat roof loft, along with minor external and internal alterations.
2. The property is a single-family first-floor flat with no private garden, but it does have a small amenity space in the form of a rear roof terrace.
3. This application aims to enhance the property by proposing a small side dormer extension, improving the external rear façade with timber cladding, and replacing the existing patio doors with double-glazed units and the existing rooflights.
4. Planning History of 108 Mattison Road N4 1BE (First Floor Flat):
 - * HGY/2012/0456 - CERTIFICATE OF LAWFULNESS (EXISTING) dated 30/03/2022 - GRANTED, or the retention of the rear roof terrace, acknowledging the existing use or operation.
 - * HGY/2008/0336 - FULL PLANNING PERMISSION dated 02/04/2008 - GRANTED, approve with conditions for raising height of roof of back addition at second floor level, insertion of 3 x rooflights to front elevation and 1 x rooflight to rear elevation

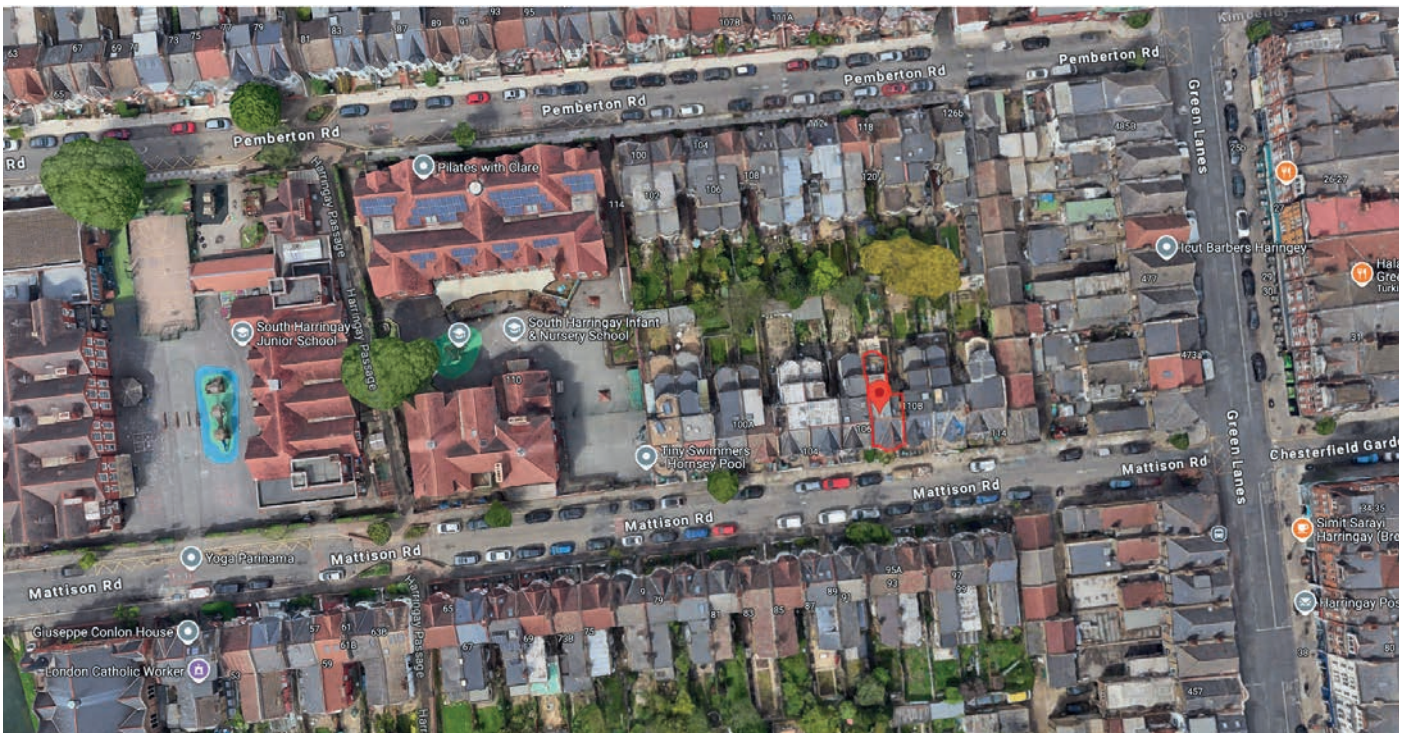
APPLICATION DOCUMENTS

5. The following drawings should be read in conjunction with the statement:

- Location Plan
- Site Plan
- Dwg S160149-001 Existing First, Second and Roof Plans
- Dwg S160149-002 Existing Front and Rear Elevations
- Dwg S160149-010 Proposed First, Second and Roof Plans
- Dwg S160149-011 Proposed Front and Rear Elevations

CONTEXT

6. The application site is located approximately 50 meters from South Harringay Infant and Nursery School, 100 meters from South Harringay Junior School, and 50 meters from the main high street on Green Lanes (Refer to Diagram 1).

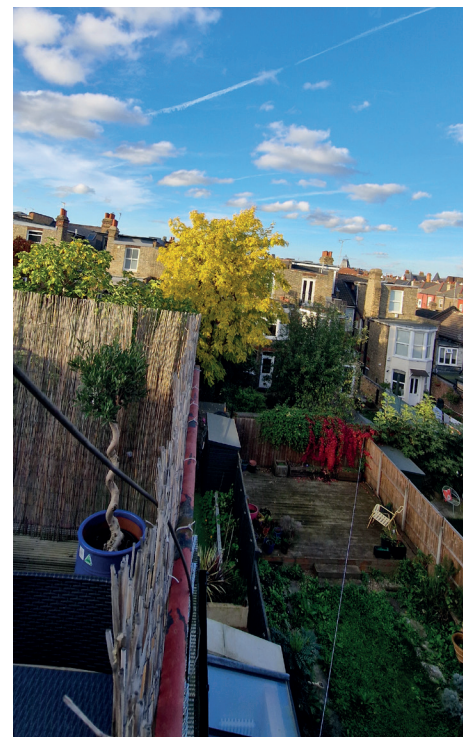


APPLICATION SITE

7. The property is a mid-terraced house located on Mattison Road.
8. It is neither listed nor locally listed, and it does not fall within a Conservation Area.
9. The property, 108 Mattison Road, is one of the Victorian terraced houses on the street that has been converted into two flats: a Ground Floor Flat and a First Floor Flat (refer to Diagram 2).



10. The first-floor flat benefits from a private external amenity space in the form of a north-facing roof terrace. The front shared area is designated for refuse and recycling bin storage, with car parking available on the road within controlled parking zones (CPZs).
11. The applicant's flat has a comprehensive view of the rear gardens and properties along Mattison Road and Pemberton Road, overlooking these areas via the roof terrace and rear windows. The adjacent rear garden views are illustrated in photos (images below).



DESIGN PROPOSAL

12. The occupants of the first-floor flat at 108 Mattison Road, N4 1BE, are a couple who moved in during the summer of 2023. They are planning to expand their family and wish to create additional space to improve their quality of life once they have children. There will be no change in the use of the property. However, they aim to extend the side of the existing loft bedroom, which serves as the master bedroom, to provide more headroom and make internal adjustments for a more comfortable space with an ensuite bathroom.

13. Currently, the existing bedroom has awkward diagonal ceilings that are easily bumped into, making it difficult to accommodate free-standing furniture, such as wardrobes. The layout is not ideal, and the ensuite bathroom is small and cramped, with limited space for a toilet and shower. Please refer to the images below for a clearer view of the current internal layout of the bedroom.



13. The proposal involves removing a small section of the rear pitched roof from the left side of the second-floor bedroom and extending it with a side dormer aligned with the existing flat roof on the right side. The dormer will feature a full-height 'tilt and turn window' with a glass balustrade for safety. Refer to architect's proposed drawings no. S160149-010 (proposed plans) and S160149-011 (proposed elevations).

14. The existing pitched roof at the front, the flat roof at the rear, and the roof terrace will remain unchanged.

15. The front rooflights will be replaced and the existing terrace doors will be upgraded to double-glazed timber frames.

16. All rooflights on the flat roof will be replaced with larger ones to allow for more natural light.

17. Timber cladding is proposed for the rear façade to modernise the appearance.

18. The proposal is consistent with other extensions approved in the area, including similar developments at neighbouring properties on Mattison and Pemberton Roads (see Diagram 3 and Diagram 4).

Examples of comparable developments can be found at the following addresses on Mattison Road, N4 1BE: property nos. 94, 96, 102, 104, 106, 110, 112, and 114.



Diagram 3 (rear view of Mattison Road)

Examples of comparable developments can be found at the following addresses on Pemberton Road N4 1BA: property nos. 108, 112, and 118

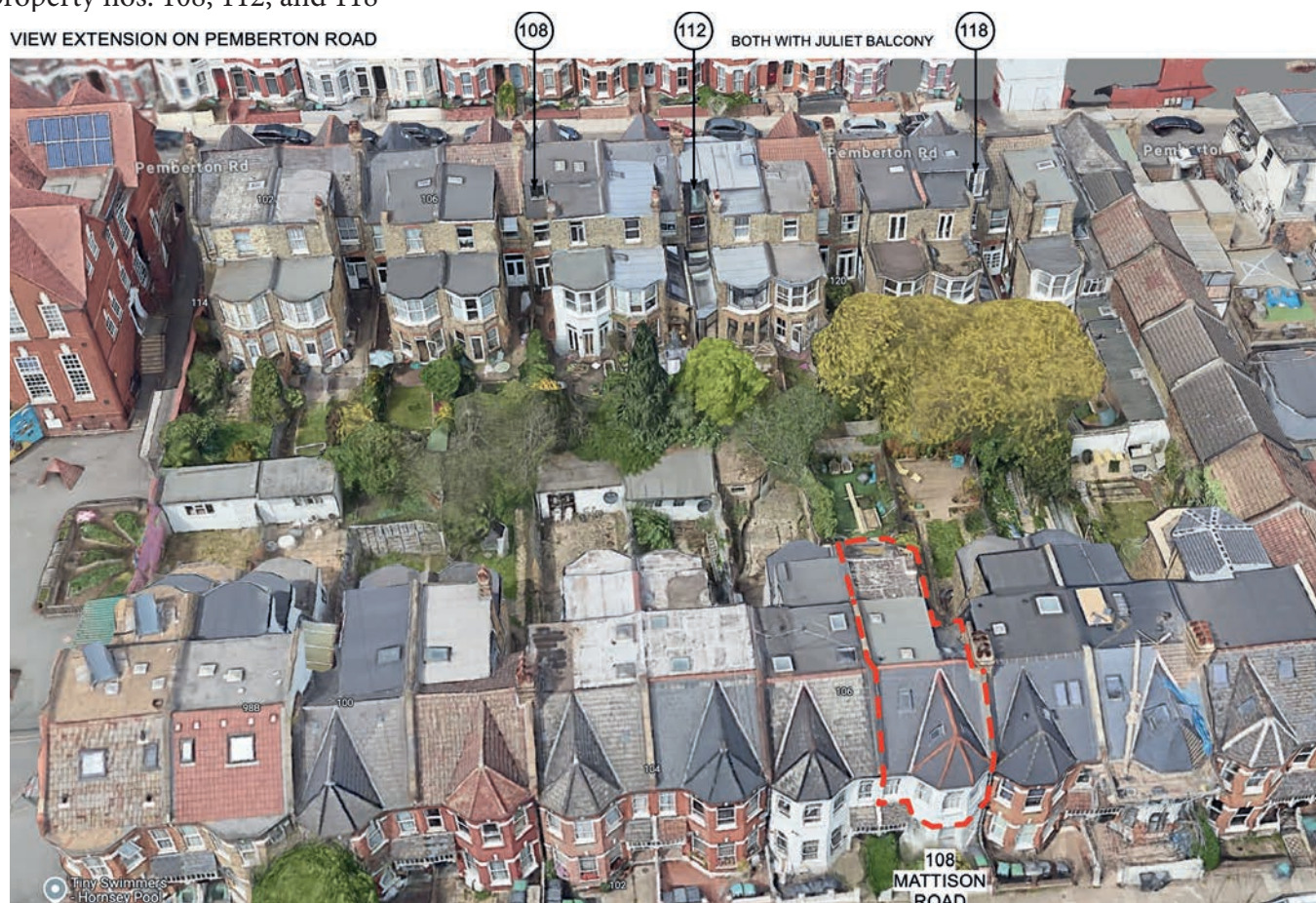


Diagram 4 (rear view of Pemberton Road)

SCALE + MASSING

19. The external rear alterations are minimal, ensuring that the changes remain unobtrusive and subordinate to the main structure. The side dormer is positioned at the edge of the parapet, with a 'tilt and turn window' and a 1.1m high glazed balustrade, set back to avoid any overlooking issues.

DAYLIGHT AND SUNLIGHT

20. The proposal will not cause any additional overlooking or loss of daylight and sunlight to neighbouring residential properties.

PRIVACY AND OUTLOOK

21. The proposed development maintains privacy and outlook, ensuring no increased overlooking of adjacent properties.

APPERANCE

22. The proposed materials are sympathetic to the surrounding area and in keeping with the character of the location.

ACCESS

23. Internal access to the loft bedroom will be slightly altered by repositioning four steps of the existing staircase to maximize bedroom space. No external access stairs from the ground floor are proposed.