

DESIGN & ACCESS AND HERITAGE STATEMENT

Annexe building at George Meehan House, 294 High Road, Wood
Green, N22 8YX

November 2024



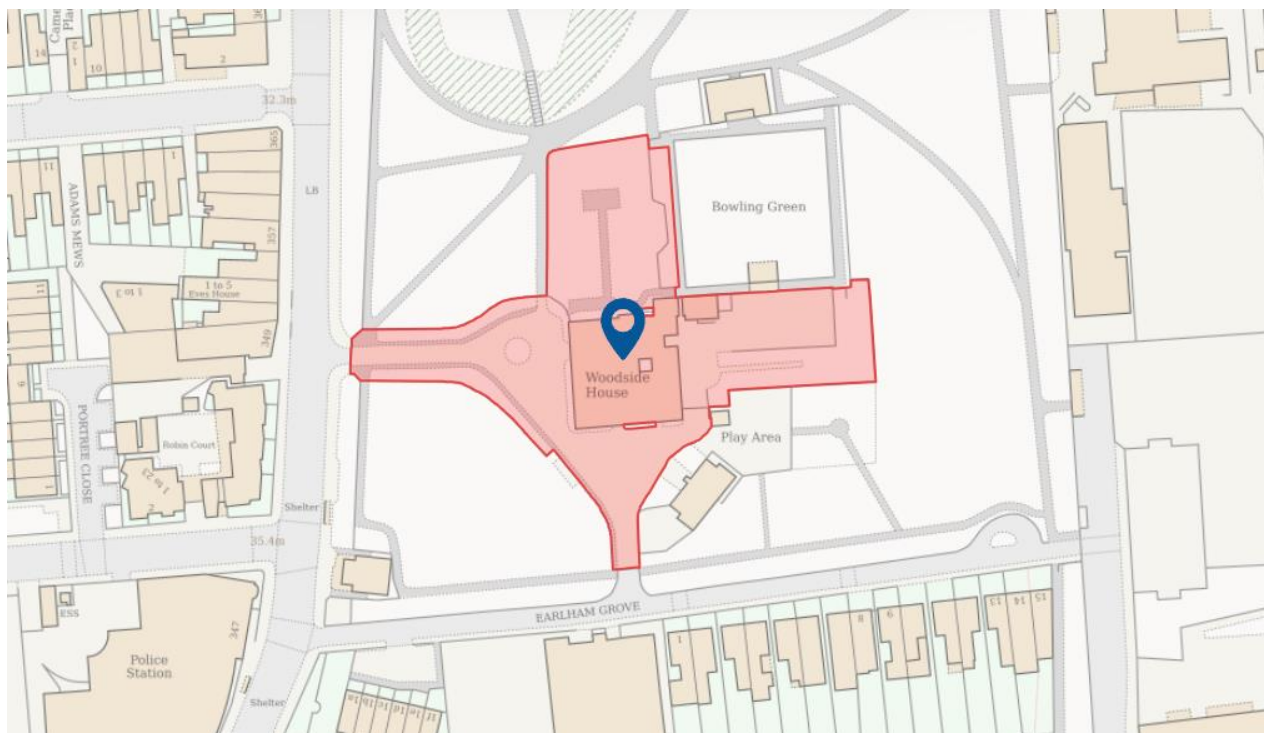
View from car park (South Elevation)

Introduction

This design & access and heritage statement has been prepared in support of the planning application in respect of the internal and external works to the annexe building, the introduction of new external lights and alterations to the existing car park at George Meehan House (formerly Woodside House), 294 High Road, Wood Green, N22 8YX.

This document should be read alongside the following:

- Location Plan submitted to Planning Portal.
- 4530 – X01, X02, X03 and X04 Existing Drawings.
- 4530 – P01, P02, P03 and P04 Proposed Drawings.
- 4530 – E1, E2 and E3 Electrical Lighting Layout plans.



Location of George Meehan House

The annexe building is located adjacent to George Meehan House, a large historic building within Woodside Park in the London Borough of Haringey. The site is accessed via the main vehicular entrance on Earham Grove as well as pedestrian walkways from both High Road and Earham

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Grove. The annexe building and main car park are within a walled enclosure, accessible through a security gate reached via the driveway.

The area is primarily a residential area featuring a mix of Victorian and Edwardian buildings, along with modern developments. It is served by several amenities, including local shops and parks, such as Woodside Park itself. The local transport options include Northern Line services at Woodside Park Underground Station, providing direct access to central London. Additionally, several bus routes run through the area, including the W3 and W7 routes, facilitating connectivity to neighboring areas and transport hubs.

George Meehan House is a municipal building that also functions as the borough registry office. George Meehan House underwent extensive refurbishment in 2018, but the Annexe was left untouched. The ground floor of the Annexe building currently houses a plant room, which serves the adjacent George Meehan House, while the first floor, previously utilised for administrative activities, is currently vacant.

The first floor of the Annexe building is in a significantly poor state of repair, deteriorating further due to exposure to the elements. Extensive vegetation has penetrated and damaged the roof, leading to a reduction in the parapet on the west elevation gable. Additionally, it has affected the brickwork and mortar joints on the north elevation. The roof trusses have been structurally compromised due to vermin damaging the timbers at the eaves level on the south elevation. The historic brickwork that is not covered in vegetation is affected by noticeable soiling, where accumulated dirt and pollutants have diminished the vibrancy of the once-yellow bricks. The timber window frames, due to a lack of maintenance, have started to degrade and are in need of replacement.

The existing car park is located within a walled enclosure and includes 21 parking spaces, with two additional disabled bays situated to the west of the main building. Current parking demand exceeds the available capacity, and there are no electric vehicle (EV) charging points. The surrounding wall requires repointing and repair work.

The landlord has identified insufficient lighting around the site. The existing low-level bollard lighting appears inadequate for the operational needs of the building, raising concerns that

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current illumination levels do not meet the necessary standards for staff safety and security. There is an opportunity to reconfigure and upgrade the lighting to ensure it is fit for purpose and more in keeping with the immediate surroundings.

Designation

Since 1973, George Meehan House has held local listed status. Woodside Park is designated as a Site of Importance for Nature Conservation (SINC) and encompasses the Grade II listed Mushroom House. Although the Annexe building is not explicitly mentioned in LB Haringey's local list, due to its close proximity to neighboring protected assets we have provided the necessary consideration for any external works to the property.



Aerial view of Woodside Park (Annexe [A] George Meehan House [B])

Historic maps from the National Library of Scotland suggest that the Annexe building was likely erected in the early 20th Century among a series of other outbuildings that have since been demolished. Architecturally, it bears almost no resemblance to the Italianate George Meehan

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House, constructed in 1865. The original two-storey portion of the Annexe is built with London yellow stock brick under a gable roof covered in slate. There are two original timber single-glazed sash windows that are in a poor state of repair. The 1960s single-storey flat roof extension was constructed out of red brick stock with three external doors that do not match and have been poorly maintained. The fire escape staircase, built to provide access to the first floor, has deteriorated over the years from a lack of maintenance and is covered with rust.



Aerial view of Woodside Park (Annexe [A] George Meehan House [B])

Proposed Scheme

The proposed scheme aims to revitalise the annexe by rediscovering its potential and bringing the first floor back into use as a store while retaining the plant room, which occupies much of the ground floor.

Externally, the annexe building will be sympathetically rejuvenated through the restoration of the roof structure, the replacement of external joinery and water goods, and the redecoration of all painted surfaces.

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The proposal aims to contribute to the local architectural and historic interest of the site, and the architectural relationship with the locally listed George Meehan House will be reflected in the sympathetic timber sash window installations and four-panelled doors.

The existing roof requires replacement, which will reuse existing materials where possible to maintain the existing appearance. The work will also involve maintenance repairs to the brickwork, including revisiting poor repairs and cleaning of the existing stonework and detailing. It is proposed a mortar sample is taken and the joint profile is recorded to ensure the quality of matching the existing.

The proposed lighting scheme for George Meehan House suggests an average illumination of 15 lux for the main driveway, accommodating various users, and 10 lux for walkways. The rear garden will also feature 15 lux lighting, although standards for such areas are subjective. While external CCTV cameras are present, the lighting levels do not support their night-time functionality. High-level floodlights are deemed inappropriate due to nearby residential areas; instead, the plan includes 4m lighting columns with LED fixtures. Minor adjustments are needed for the triangular walkway at the main entrance, and existing wall-mounted heritage lights will be upgraded. The project will also replace low-level lighting bollards with new steel ones to deter unauthorized parking. Considerations of the installation include structural foundations and the uncertain status of existing cabling, which may require replacement to meet current regulations.

The existing car park will be extended by developing the area directly adjacent to the security gates to accommodate two additional parking bays. This will involve the installation of tarmac and new perimeter fencing, with a rear gate providing access to the space beyond. The existing disabled bay in the main car park will be relocated to the space created by the removal of the annexe generator, and a new EV bay with an EV charger will be installed in its place.

Overall Benefits

The primary benefits of the scheme include:

- To rediscover the original character of the annexe building.
- To ensure the annexe building does not further deteriorate.
- To improve the usability of the site for the London Borough of Haringey.

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- To improve thermal efficiency / reduce energy in heating.
- To improve the external illumination levels to improve staff safety and security.
- To promote use of electric vehicles and improve sustainability.
- To increase car park capacity and reduce unauthorised parking.

Conclusion

In conclusion, the proposed revitalisation of the annexe building, an essential part of the locally listed George Meehan House, will enhance rather than diminish the area's heritage significance. The scheme is designed to preserve the building's historic character while ensuring its long-term sustainability through necessary repairs and modern upgrades. Improvements to the car park and lighting will significantly enhance site usability and safety for the London Borough of Haringey. By addressing the building's maintenance needs, promoting electric vehicle use, and increasing parking capacity, the proposal aligns with contemporary environmental standards while honouring the architectural legacy of the site. The overall outcome will reinforce the community's appreciation and understanding of the historic value of the George Meehan House and its surroundings.

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George Meehan House Annexe – Photos of building

South Elevation



North Elevation



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West Elevation



East Elevation



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Example of existing lighting.



George Meehan Front Facade



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External Ligth example



Bollard external light example

