



12 Connaught Road

London

N4 4NS

Design, Access, and Heritage Statement

November 2024

1. INTRODUCTION AND SUMMARY

1.1. This document has been prepared to support a Planning application for 12 Connaught Road (the Property).

1.2. The property is not listed but does lie within the Stroud Green Conservation Area. It does not come under an Article 4 direction.

1.3. The proposal consists of a single storey rear extension on the footprint of existing rear extensions, as well as a partial side return infilling disused garden space.

2. RELEVANT BACKGROUND INFORMATION & PLANNING HISTORY

2.1 The current owner purchased the property in xxx2020

2.2 Planning History

There is no relevant available planning history

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3. CONTEXT AND EXISTING PROPERTY ASSESSMENT

3.1. Context

The site is located on the southern side of Connaught Road and contains a three storey mid terrace single dwelling.

3.2 The property

The property has a living and dining room at ground floor in the main reception rooms, from here a playroom leads off to the rear into a small kitchen and then a utility/ shower room beyond in an uninsulated further extension . On the first floor there is two bedrooms and a bathroom, with an additional two bedrooms at second floor with a bathroom.



4. EXISTING PHOTOS - FRONT OF THE PROPERTY



No.14

No.12 (The property)

No.10

Street elevation



Note raised roof to No.14 on the left



Street context

4. EXISTING PHOTOS - REAR OF THE PROPERTY



Rear of property showing adhoc extensions and lightweight extension not meeting current building regulations



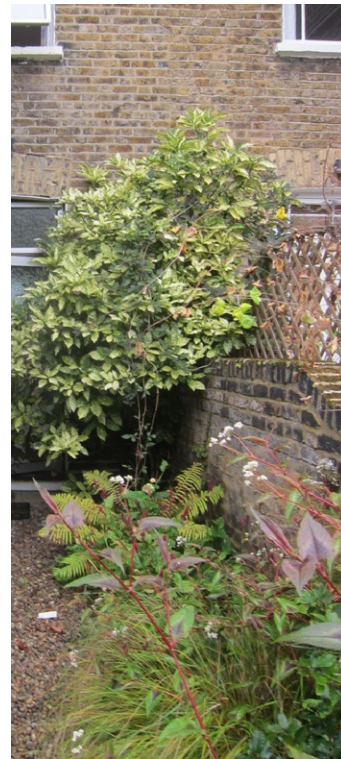
Photo showing relationship to No.14 boundary, with No.14s shed and fencing/ trellising for privacy

4. EXISTING PHOTOS - REAR OF THE PROPERTY



Rear of property showing current relationship to neighbouring boundaries.

4. EXISTING PHOTOS - SIDE GARDEN



Photos of small unused outside space adjacent to outrigger, Two windows (kitchen and play-room) and a door currently face directly to neighbours boundary wall ~2m away.



Neighbours trellising above masonry boundary wall for privacy.



No.12s solid door facing the boundary wall.



Unused side garden space with shrubs and boundary wall at 1350mm above ground level with trellising above

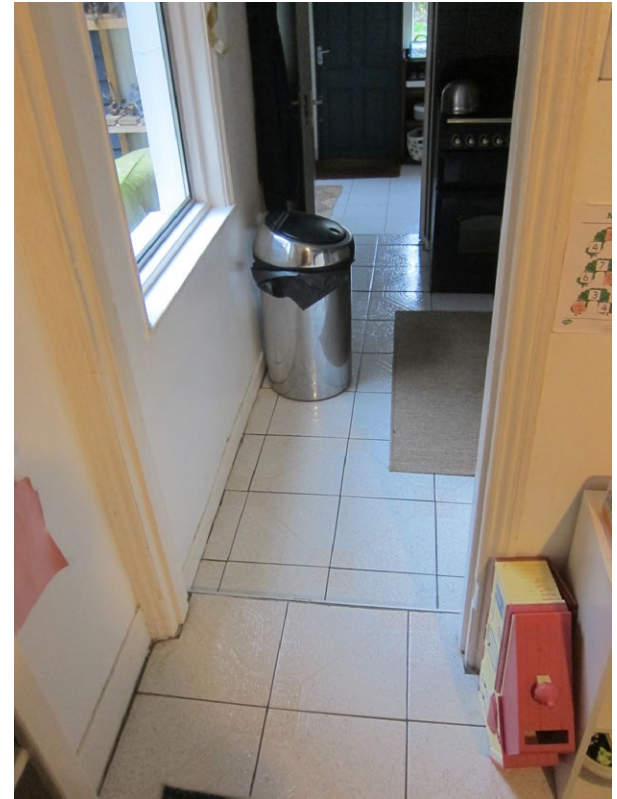
4. EXISTING PHOTOS - PLAYROOM



Playroom leading to kitchen



Playroom window facing directly onto neighbours window



Shallow step down into kitchen

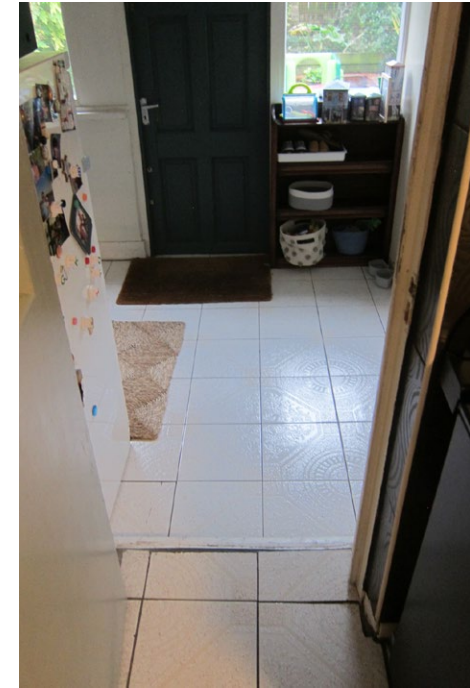
4. EXISTING PHOTOS - LIVING ROOM AND BEDROOMS



Small inadequate kitchen for size of house



Kitchen window facing directly onto neighbours window

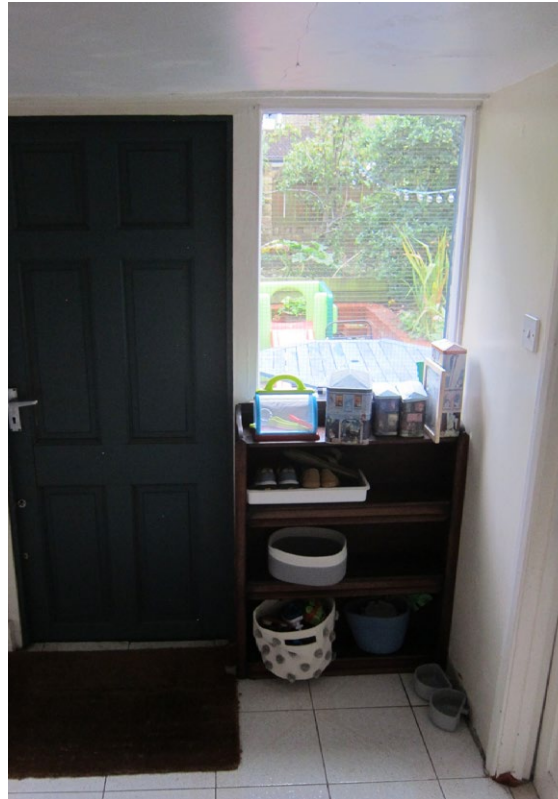


Shallow step down into utility store space

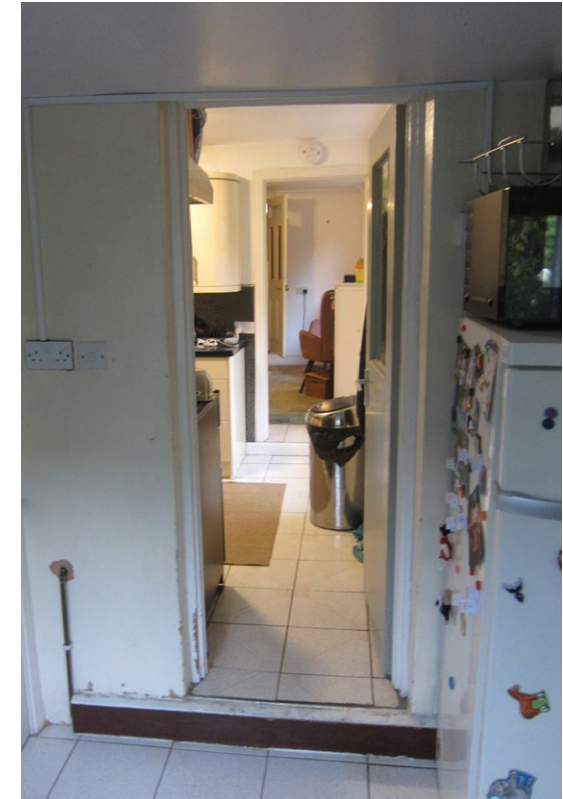
4. EXISTING PHOTOS - UTILITY/ STORE SPACE



Kitchen have sufficient space for fridge



Uninsulated shed with low ceilings



Shallow step down into utility store space

5. RELEVANT POLICY TO DESIGN PROPOSALS

Development Management DPD Adopted July 2017

DM1 Delivering High Quality Design (Haringey Development Charter

DM9: Management of the Historic Environment

E Proposals for alterations and extensions to existing buildings in Conservation Areas should complement the architectural style, scale, proportions, materials and details of the host building and should not appear overbearing intrusive.

Conservation Areas

“The significance of a conservation area is derived much more from its townscape rather than the individual buildings, such as historic plot boundaries, street patterns, and building and roof lines. Proportion of windows, doors and chimney stacks add to the rhythm of street frontages. Not all elements of a conservation area, however, will contribute to its significance and their replacement and alterations can represent opportunities for the enhancement of the area, including enhancement by development of high quality and innovative design. The emphasis is to guide and manage development, not prevent it.”

DM12 ‘Housing Design and Quality’

states that extensions or alterations to residential buildings, including roof extensions will be required to be of a high, site specific, and sensitive design quality, and respect and/or complement the form, setting, period, architectural characteristics, detailing of the original building, including external features such as chimneys, and porches.

Haringeys Local Plan (2017)

Policy SP11 requires the highest standard of design that respects local context and character and historic significance, which is equally supported by London Plan (2021)

Policy D6.

The London Plan March 2021

Policy D6 Housing quality and standards

8) The minimum floor to ceiling height must be 2.5m for at least 75 per cent of the Gross

Internal Area of each dwelling.

London Plan Mayor’s Housing SPG.

2.3.30 “...proposals should recognise changing work patterns and advancements in Information and communications technology (Ict) and provide adequate space for home working, including space for children and students to do homework and study, and space for adults to undertake equivalent office based work.”

Home as a place of retreat 2.3.34 Policy 3.5 requires design of new housing developments to consider elements that enable the home to become a comfortable place of retreat. even in the suburbs, traffic noise and adjacent uses can sometimes hamper the quiet enjoyment we want from our homes.

2.3.36 “measures to provide adequate visual and acoustic privacy... designers should consider the position and aspect of habitable rooms, gardens and balconies, and avoid windows facing each other where privacy distances are tight.”

National Policy:

The National Planning Policy Framework (NPPF) was published in February 2019 and is a material consideration. Due consideration has been given to the provisions of the National Planning Practice Guidance (NPPG).

Stroud Green Conservation Area Character Appraisal December 2017 has been also been referred to inform design decisions.

6. APPLICATION PROPOSALS - REAR EXTENSION

6.1 The following has been considered in developing proposals:

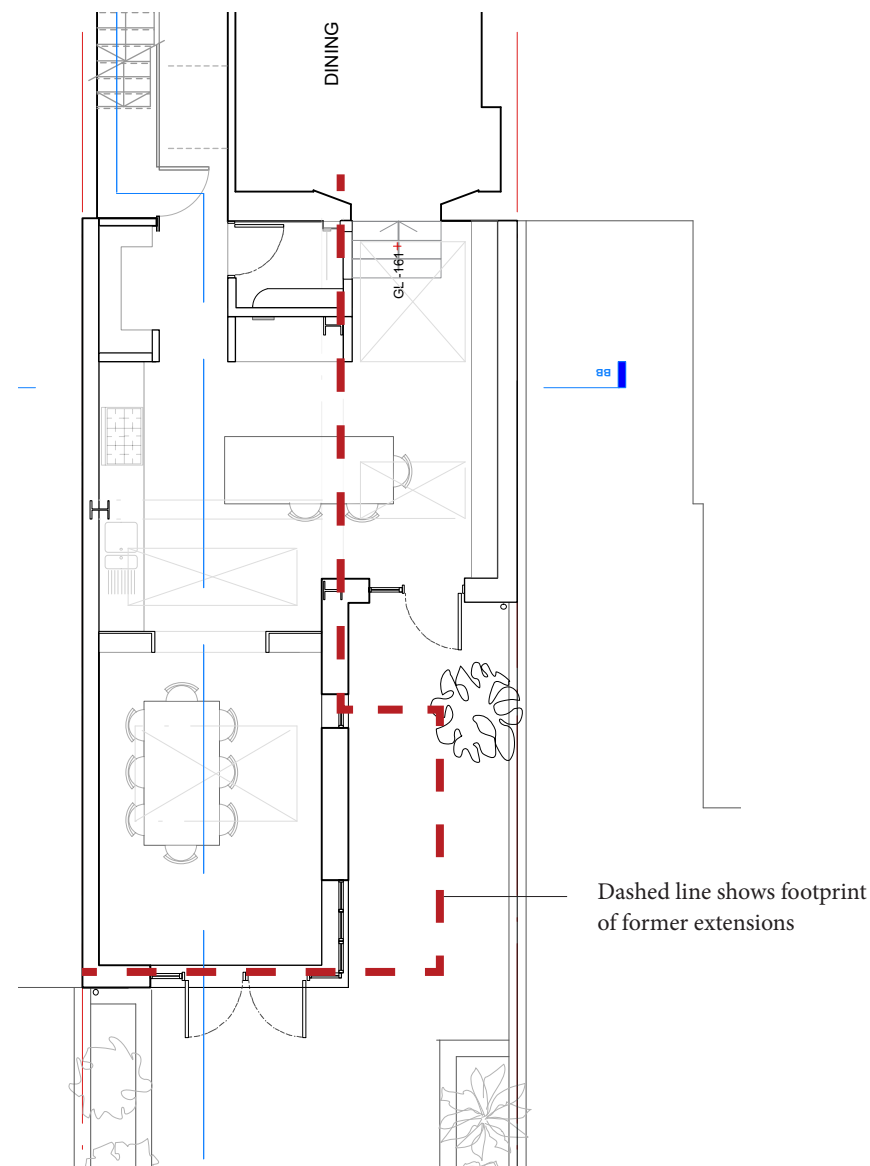
- The appearance and the amenity of the building
- The character and appearance of the area
- The residential amenity and privacy of neighbours

6.2 The proposal is for a rear extension to replace existing extensions and to partially infill part of the unused garden. This will provide a generous light filled kitchen of an appropriate scale for a family property of this size at the heart of the home. The extension will also create a dining space with ample natural light and direct connections into the garden. The proposals also allow for the provision of a ground floor WC, as well as additional storage which would benefit the amenity of the property.

6.3. The proposal is to the rear of the property, which is not prominent or visible from any publicly accessible areas. The impact on the surrounding area is minimal if at all.

6.4 The proposed extension would follow the depth of the existing footprint, although narrower to the rear, with the addition of the infill of the side return creating a partial full width rear extension. The depth is already established, and a meaningful rear garden would still be retained. As such the extension would be subordinate to the host dwelling and would not appear bulky or incongruous with its surroundings.

6.5 The proposed extension adds 6m² to the property, which is a minimal increase in footprint and volume. The existing house is 210m², resulting in a 4% increase in net usable area.



Proposed Ground Floor plan

7. APPLICATION IMPACT - REAR EXTENSION

7.1 The proposals have been very carefully considered and options rigorously tested to ensure there is minimal impact and overshadowing to the neighbouring property (No.14) in line with London Plan Policy D6. In the proposed scheme there are minimal windows facing directly to No.14 which have been thoughtfully placed. This will improve privacy and overlooking issues as there are currently two windows and a door facing the neighbours windows 2m from the boundary. This takes into account Section 2.3.36 of the London Plan Mayor's Housing SPG with regard to privacy and DPD Policy DM1 'Delivering High Quality Design'

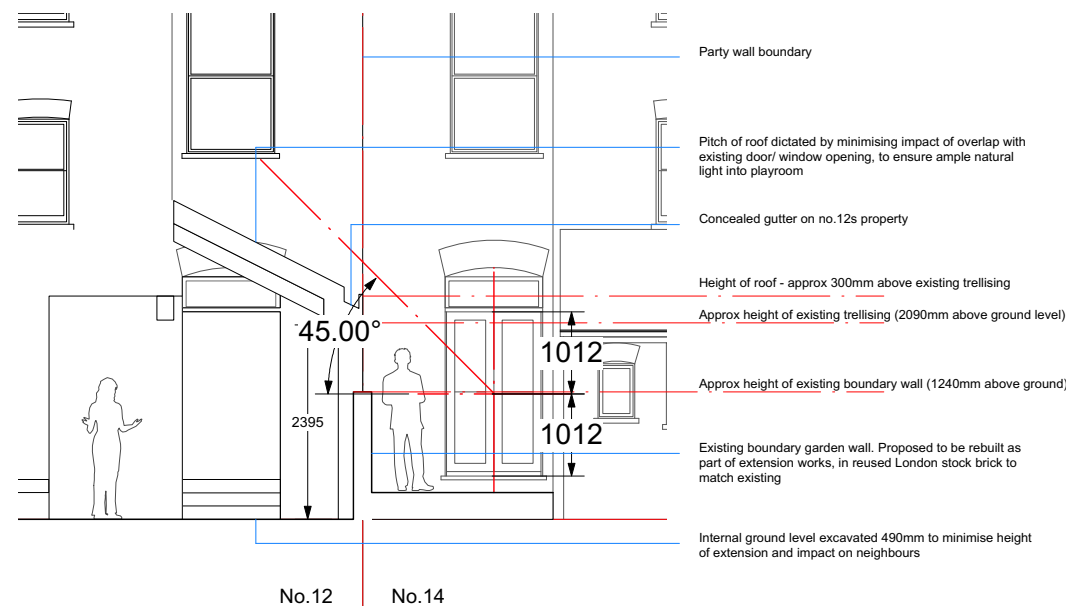
7.2 The property to the south (No.10) has an extension up to the boundary at a height of 2.8m, to the full extent of the proposal. Therefore No.10 will suffer no impact or change from the existing condition.

7.3 To protect neighbour amenity, the proposal excavates the ground level of the extension area 490mm below the current floor level, to align with the current garden level at the rear. This would mean the height of the proposed infill extension at the boundary is kept as low as possible, therefore protecting the amenity and minimising overshadowing to no.14. The roof at the boundary to No.14 is pitched to minimise overshadowing, while still being high enough to avoid overlapping with the existing opening into the playroom to maximise natural light into the middle of the plan.

7.4 The maximum height proposed is 2.5m on this boundary, and protrudes only modestly above the existing fence/vegetation. As such, it would not appear overbearing when viewed from the neighbouring property and would not result in any significant increase in overshadowing, overlooking, loss of outlook or a material loss of daylight or sunlight due to its modest height on the boundary. Please refer to the shadow studies on the following page.

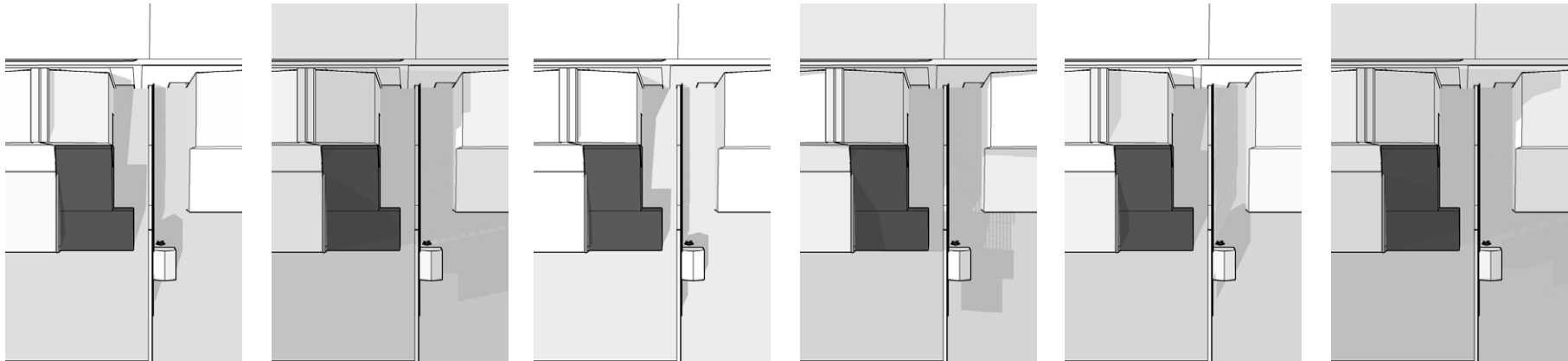
7.5 The proposal responds to the local context in terms of appearance, materials, siting, spacing and layout and the appearance of the extension respects and complements their host building.

7.6 It is considered that the proposed extension will not be harmful to the character and the appearance of the building, and will improve upon what currently exists. while creating a viable family home for the future.



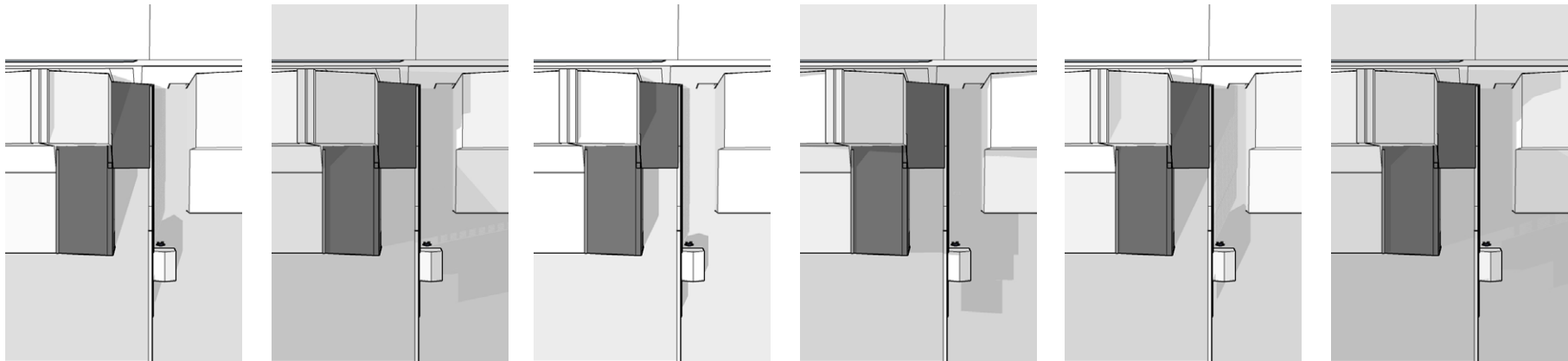
Section through no.12 and no.14 party wall boundary

7. APPLICATION IMPACT - REAR EXTENSION - Shadow study



March 1pm March 5pm July 1pm July 5pm September 1pm September 5pm

EXISTING

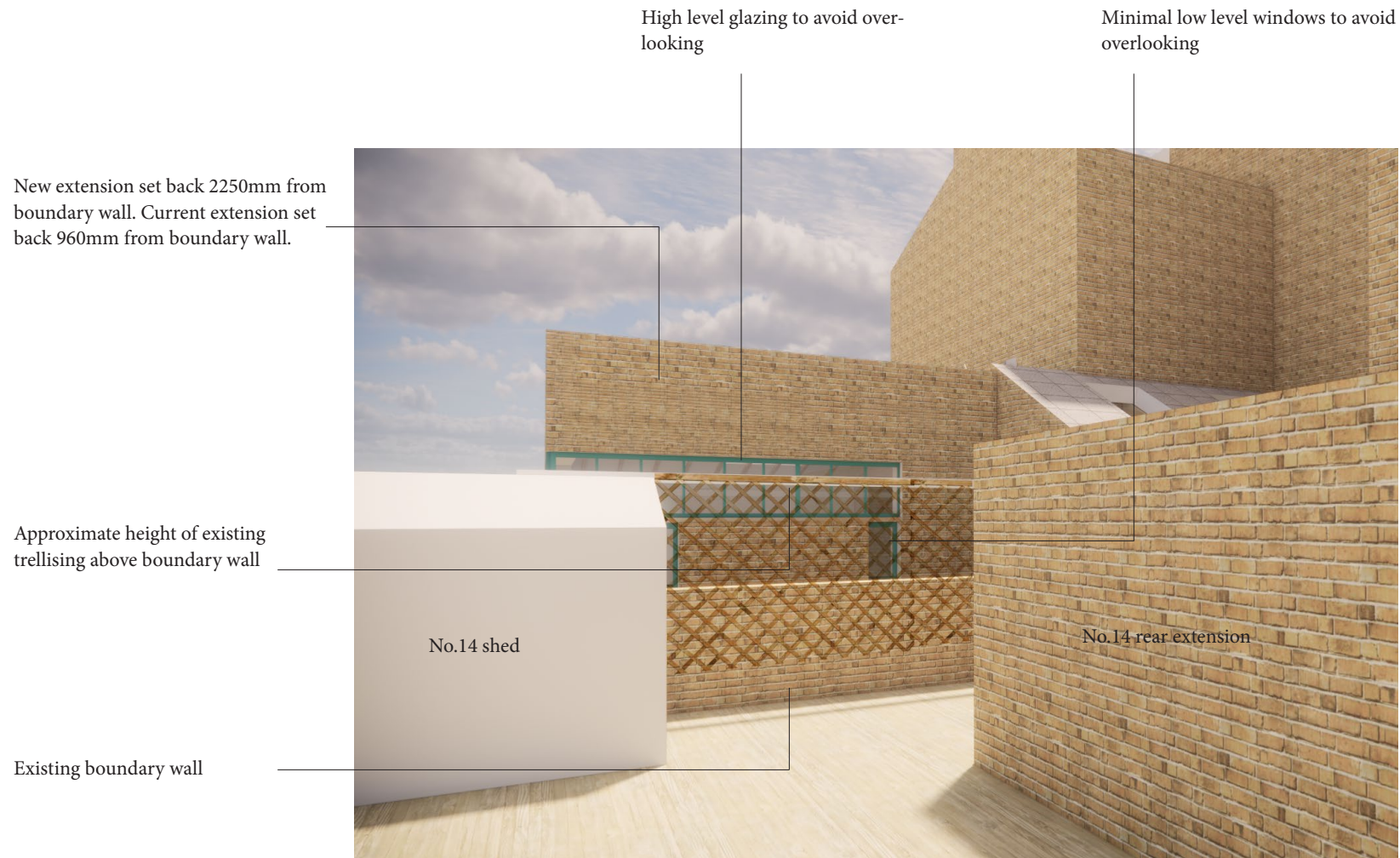


March 1pm March 5pm July 1pm July 5pm September 1pm September 5pm

PROPOSED

7. APPLICATION IMPACT - REAR EXTENSION

- view from No14



View from neighbours garden to new extension

8. DESIGN CONSIDERATIONS - APPEARANCE OF REAR EXTENSION

8.1 The new external walls will be constructed in London Stock Brick using the existing bricks from demolition where possible. The roof will be in slate tile effect with four glazed rooflights, to allow ample natural light into the kitchen at the rear of the extension and additional light into the living room.

8.2 The new doors and windows will be high performance timber framed double glazed windows with multiple panes to echo the existing sash windows, These will be set back from the masonry to create a deep reveal.

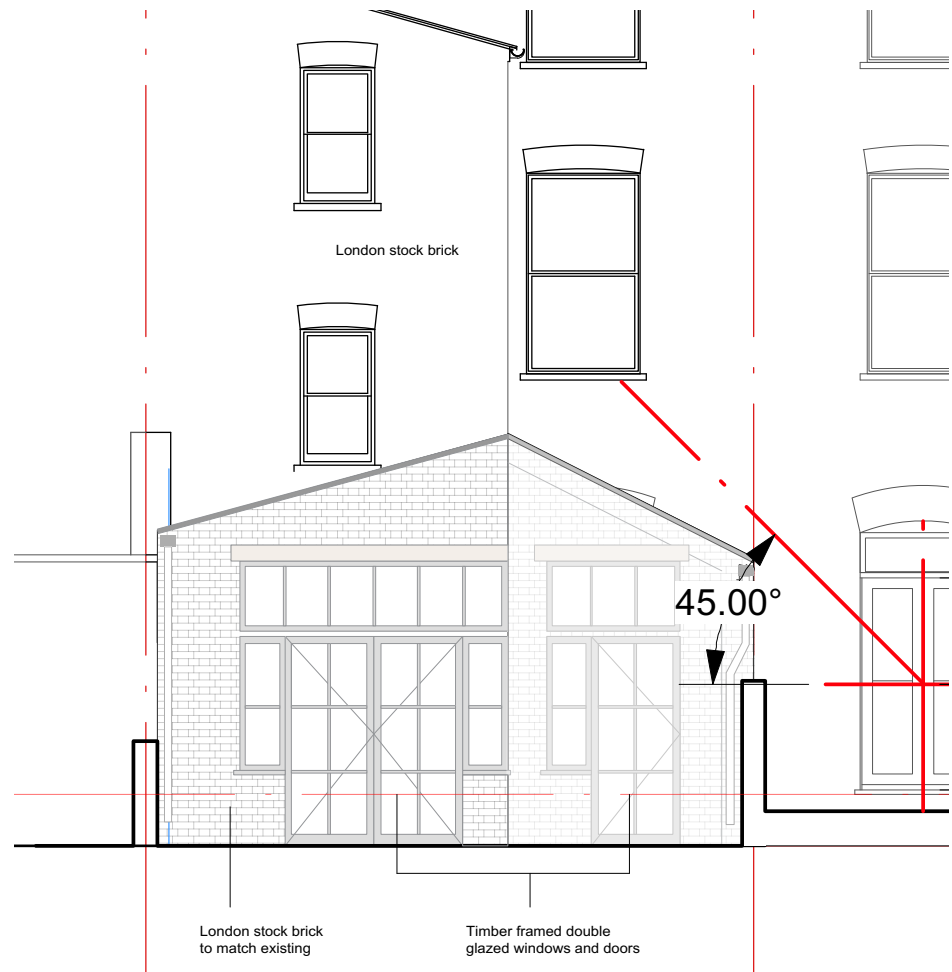
8.3 The proportions of the extension and extent of glazing has been considered carefully to be in keeping with the surrounding area and host building.

8.4 The extension will be insulated where possible using natural materials such as hemp or sheeps wool, to be determined at the next stage. The alterations to the rear elevation will be done sensitively and to a very high standard.

8.5 Works and work of making good will be finished to match the existing original work in respect of material, colour, texture, and provide, in the case of brickwork, facebond and pointed.

Landscaping

General retention and moderate improvements to the existing arrangements will be made alongside the works proposed. The changes to the landscaping should not affect the character of the area and they will not be readily visible from Connaught Road or the public realm.



Proposed rear (East) Elevation

8. DESIGN CONSIDERATIONS - Internal views



View from dining room - note high level glazing and minimal eye level glazing towards neighbours boundary



View from kitchen/ dining to rear garden



View from kitchen island to rear garden

9. APPLICATION PROPOSALS AND IMPACT - LOFT CONVERSION

9.1 The following has been considered in developing proposals:

- The appearance and the amenity of the building
- The character and appearance of the area
- The residential amenity of neighbours

9.2 The proposal looks to alter the existing rear elevation pitched roof into a dormer roof extension with two aluminium framed windows facing the garden to provide natural light to the new stair and loft space. It is proposed to remove the tiles from the street facing roof, to insulate above the structure and raise the roof to match that of No.12. The roof dormer extensions will be clad in standing seam zinc cladding.

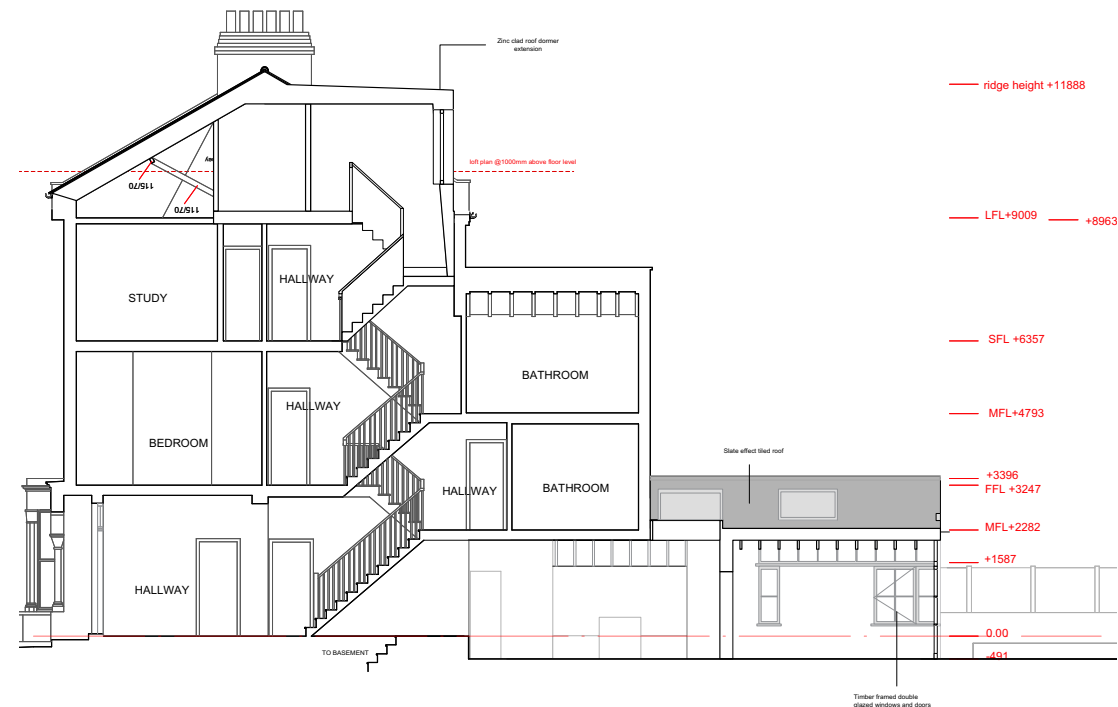
9.3 The principle of the design of the dormer roof extension is to provide appropriate head space internally and natural light to an otherwise loft room with restricted head height only suitable for storage. The improvement of the loft floor would make efficient use of the existing space as an office, whilst not over extending or detrimentally altering the external appearance of the property. The proposals will also vastly improve the thermal efficiency of the roof space and therefore the house.

9.4. The proposal is to the rear of the property, which is not prominent or visible from any publicly accessible areas. The proposed dormer does not exceed the highest part of the existing roof. The impact on the surrounding area is considered to be minimal if at all.

9.5 The eaves of the original roof will be maintained and the edge of the enlargement will be set back from the eaves. No part of the enlargement extends beyond the face of any external wall of the original dwellinghouse. No window is proposed on a wall forming a side elevation of the dwellinghouse, and current levels of privacy are maintained.

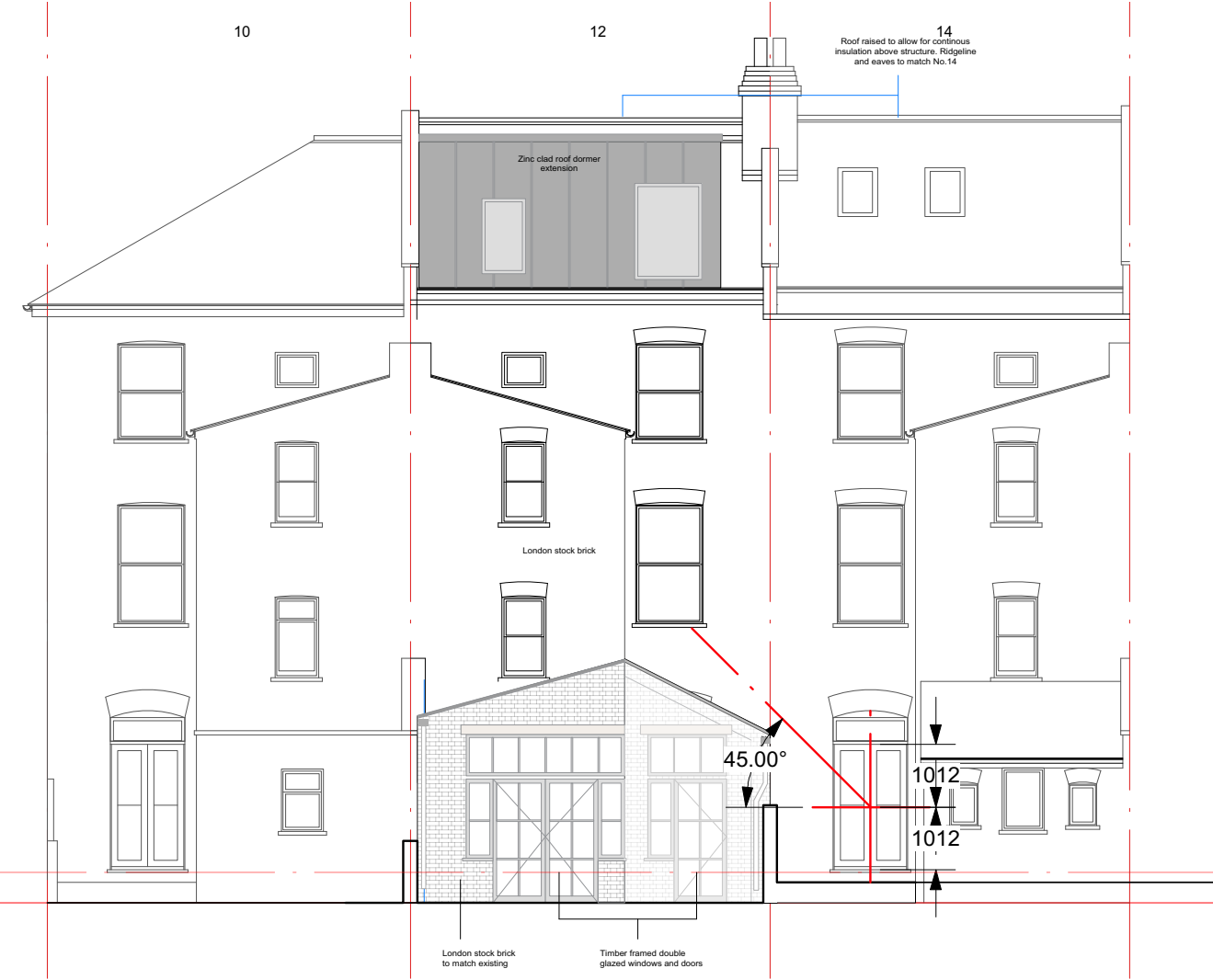
9.6 The proposed roof dormer adds 20m² to the property, which is a minimal increase in footprint and volume. The existing house is 210m², resulting in a 10% increase in net usable area.

9.7 It is considered that the proposed extension will not be harmful to the character and the appearance of the building, and will improve upon what currently exists. while creating a viable family home for the future, taking into account 2.3.30 of London Plan Mayor's Housing SPG.



Proposed Section through loft and new rear extension

9. APPLICATION PROPOSALS



Proposed rear extension

10. OTHER CONSIDERATIONS

10.1 BIODIVERSITY AND GEOLOGICAL CONSERVATION ASSESSMENT

It is not anticipated that the proposed development will affect species protected under the Wildlife and Countryside Act 1981, the Conservation (Natural Habitats etc) Regulations 1994 or the Badgers Act 1992; and of designated sites and priority habitats and species.

10.2 FLOOD RISK ASSESSMENT

The site is not in a flood risk area.

10.3 PARKING AND ACCESS ARRANGEMENTS

Parking arrangements remain the same. The nature of the proposed development does not affect the means of access to the property.

10.4 SUSTAINABLE CONSTRUCTION

The extension will be constructed using natural and breathable materials sourced as locally as possible where feasible. The bricks taken down from the existing extension will be reused for the new external façades.

The new doors, windows and roof glazing will be high performance double glazed units.

The extension will be insulated to above current Building standards, vastly improving the thermal envelope from the current poorly insulated extension. This will reduce energy consumption. The introduction of a rooflight and larger glazed opening to the garden will reduce the need for artificial lighting during the day

10.5 TREE SURVEY/ARBORICULTURAL STATEMENT

There are no trees within the application site or on land adjacent to the application site that could influence or be affected by the proposed development or any other works associated with the development such as site access, service routes or site compounds other than those indicated on the drawings.

10.6 CONSULTATION

The client has discussed plans with and consulted the neighbouring property at no.14.

11. CONCLUSION

11.1 The proposals provide more usable accommodation, with a more functional layout, creating a more usable family home.

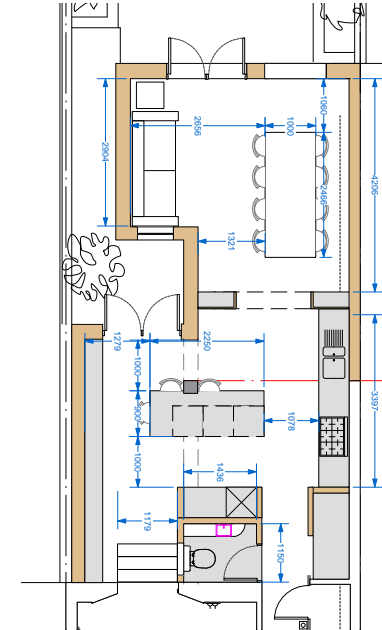
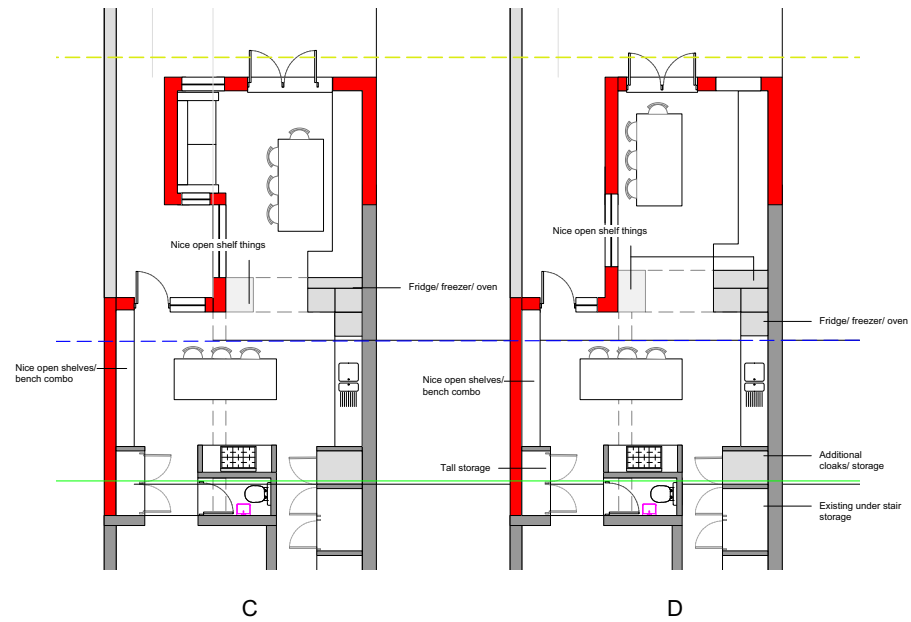
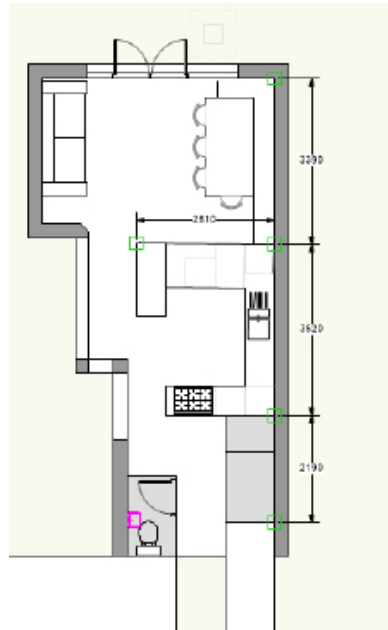
11.3 The works do not affect the external appearance of the property visible from any public highway.

11.4 The proposals represent significant improvements to the usability of the property, with minimal impact on neighbouring properties or the wider context.

11.5 The proposals will greatly improve the existing building envelope, thereby reducing energy consumption.

The proposed development has been sensitively and carefully considered; with design measures taken to reduce impact and compliance with relevant policies. It is thought the scheme is a positive and viable option that will have very little impact upon the amenities of adjoining occupiers, or upon the character and/or appearance of the conservation area.

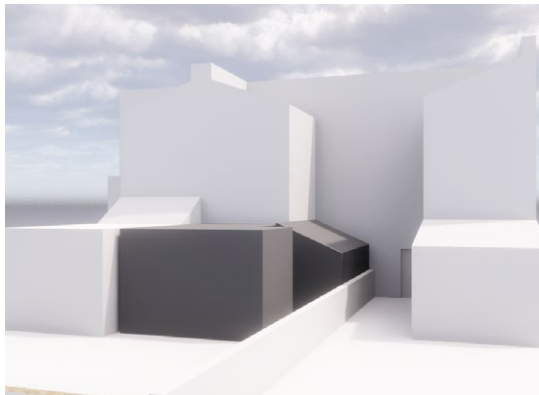
12. APPENDIX - DESIGN PROCESS



12. APPENDIX - DESIGN PROCESS - massing options

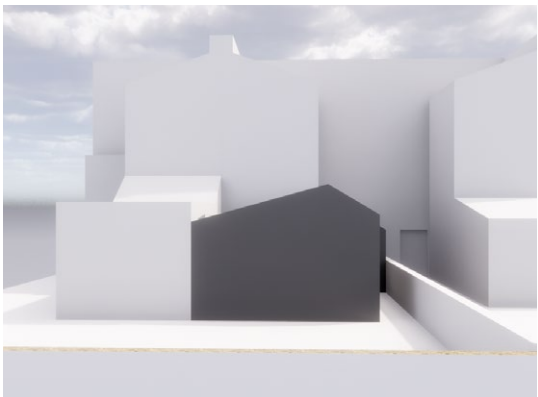
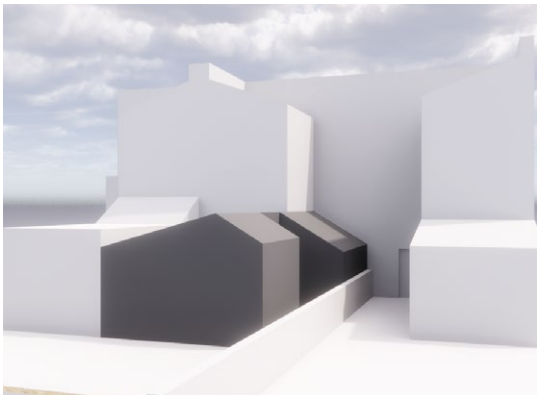
Option A - Roof options

1. FLAT ROOF WITH PITCHED/
FLAT ROOFLIGHT



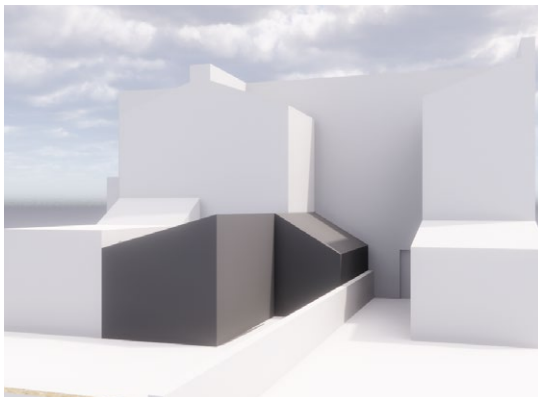
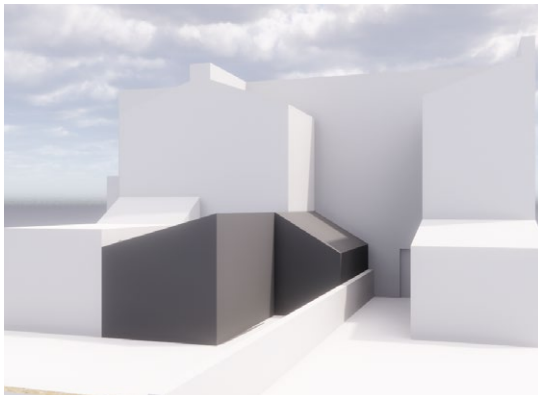
Option A - Roof options

2. ASYMMETRIC PITCHED ROOF



Option B - Roof options

DOUBLE MONOPITCH



12. APPENDIX - DESIGN PROCESS - exploring overlooking



12. APPENDIX - REFERENCES

