

PRIVATE RESIDENCE

24 SOUTHWOOD LAWN ROAD
LONDON N6 5SF

DESIGN & ACCESS STATEMENT

6 NOVEMBER 2024



Applicant

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Agent

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References

Local Authority Policies

The design follows Haringey Planning Guidance with particular reference to the Haringey Local Plan and all current SPD’s.

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Report prepared by Studio HAVN.

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Introduction

Studio HAVN have been appointed by the property owners at 24 Southwood Lawn Avenue N6 5SF to prepare a Planning Submission for the remodel of their current period dwelling to create a high quality family home in line with current modern standards and specifications.

The existing property sits within the Highgate Conservation Area, and is located on the northern side of Southwood Lawn Road, where the road bends. The home is Edwardian/ Arts & Crafts in appearance and is arranged over three floors with a small basement/ cellar.

The proposal aims to seek Planning Permission from the Haringey Council Planning and Regulatory Services for the following:

- 1. Replacement of front entrance porch.
- 2. Replacement of bay window to the rear elevations.
- 3. Insertion of a new opening with timber framed folding doors on the Ground Floor rear elevation.
- 4. Removal of existing render on external wall, back to brick.
- 5. Replacement of the existing stone boundary wall with a brick wall to match height of the existing.
- 6. Replacement of the existing fence with a brick wall to match height of the existing.
- 7. Replacement entrance gates to the front and rear, to match the height of the proposed brick walls.

The following works are also proposed and included on the plans, however it is considered that these be carried out under the General Permitted Development Order:

- 1. Replacement of existing front door with a new timber door; Permitted under Part A
- 2. Replacement of all windows with timber framed double glazing; Permitted under Part A

1.1 The Existing Building & Site

24 Southwood Lawn Road lies within the Highgate Conservation Area, but is not statutorily or locally listed. However, it is located on a prominent corner and has an Arts & Crafts character which is in keeping with the character of this part of the Conservation Area.

The application site is a two storey end of terrace dwelling with roof accommodation. It is in use as a single dwelling-house. The property is located on the northern side of Southwood Lawn Road where the road bends. The surrounding area is predominantly residential and is made up of similar semi detached and terraced dwellings.

The site slopes from West to East and from North to South.

The property has been extended with a single storey side and rear extension. There is an existing garage to the rear of the site.

With reference to “Highgate Conservation Area - Character Appraisal and Management Plan,December 2013”:

Southwood Lawn Road

Southwood Lawn Road runs from the southern end of Highgate Avenue west before turning north east to join Jackson’s Lane just before the junction with Southwood Lane.

The road rises to the west but not as steeply as the adjoining Southwood Avenue.

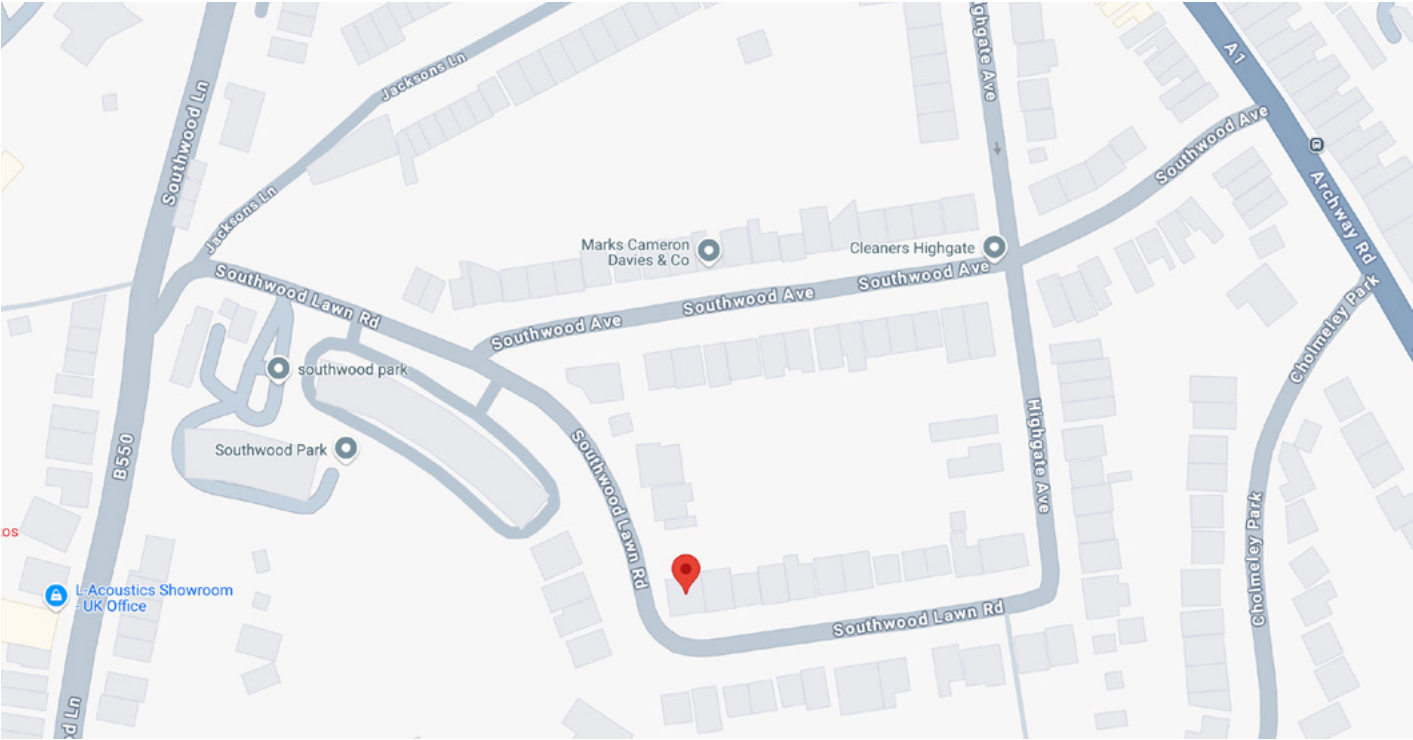
The street is characterized by mainly semi-detached and detached houses of the early late Edwardian era with an Arts and Crafts style influence, displaying a variety of details and decorative features.

On the south side, the first 2 houses nos. 2 and 4, set the style for most of the rest of the street. There are a pair of 2 storey semi-detached houses in a low key Arts and Crafts style, with prominent gables, ground floor bays and a cantilevered oriel bat at the first floor level. The windows are timber framed with leaded lights. The lower floors are soft red brick, terminating with a string course and upper floors are rendered, with brick quoins. The porch has an attractive timber turned columns supporting the leaded roof.

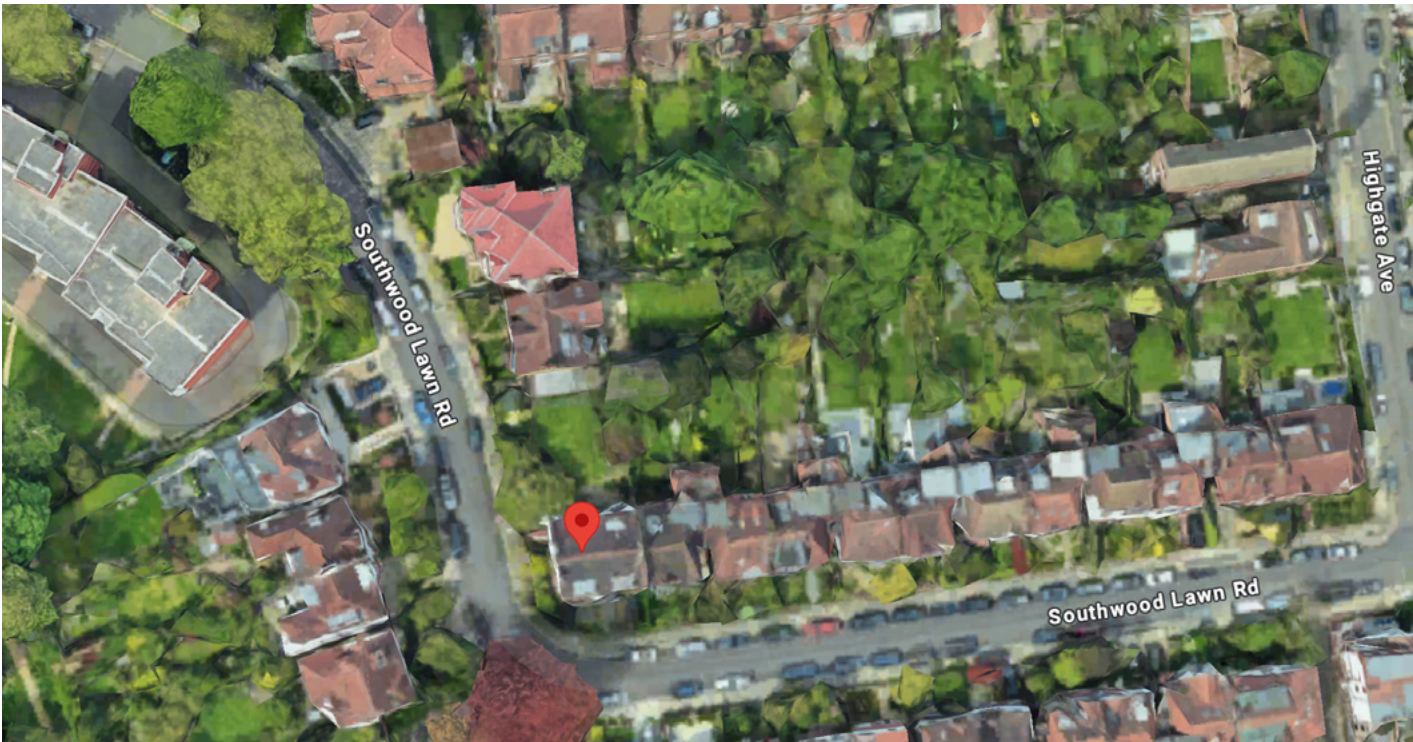
This style of house continues up the road in semi-detached and linked semi pairs, all with variants on the same theme, including 2 storey canted or square bays, oriel windows, brick or slot window details in the apex of the gable and many variations on the porches. The roofs are tiled although a couple in particular no.4 are marred by inappropriate roof extensions which are visible from the street and detract from the coherence of the streetscape.

On the north side, the first 2 houses in Southwood Lawn Road (nos. 2-4) are red brick to the similar pattern in Southwood Avenue. After this the style changes from the predominant red brick late Victorian style to the semi-detached more suburban Arts and Crafts influence style of the south side of the road.

On the eastern side, prior to the junction with Southwood Avenue, there are two large detached mansions (No 28, 30) of the late Victorian era. These are three and four storeys tall and are built in red brick with fine decorative mouldings particularly around the front doors. The best example is Haddon Court, which is very well preserved, with a beautiful garden.



Location Map



Aerial View of Southwood Lawn Road

1.2 Planning History

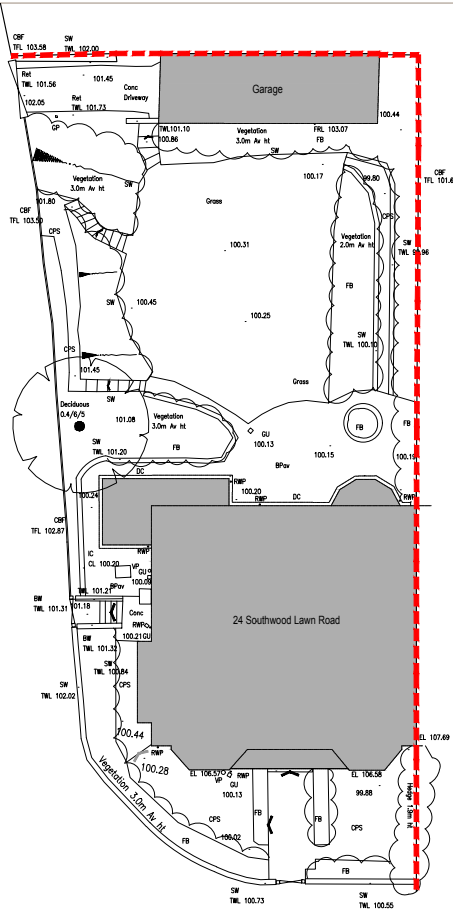
No. 24 Southwood Lawn Road has a short planning history, iwth two relevant applica-
tions being as follows:

HGY/2017/3331 (Approved 22 December 2017)

The demolition of exsiting side and rear extensions and the erection of a single storey
side/ rear extension.

OLD/1951/0458 (Approved 20 June 1951)

Conversion into two flats and a new Garage at rear.



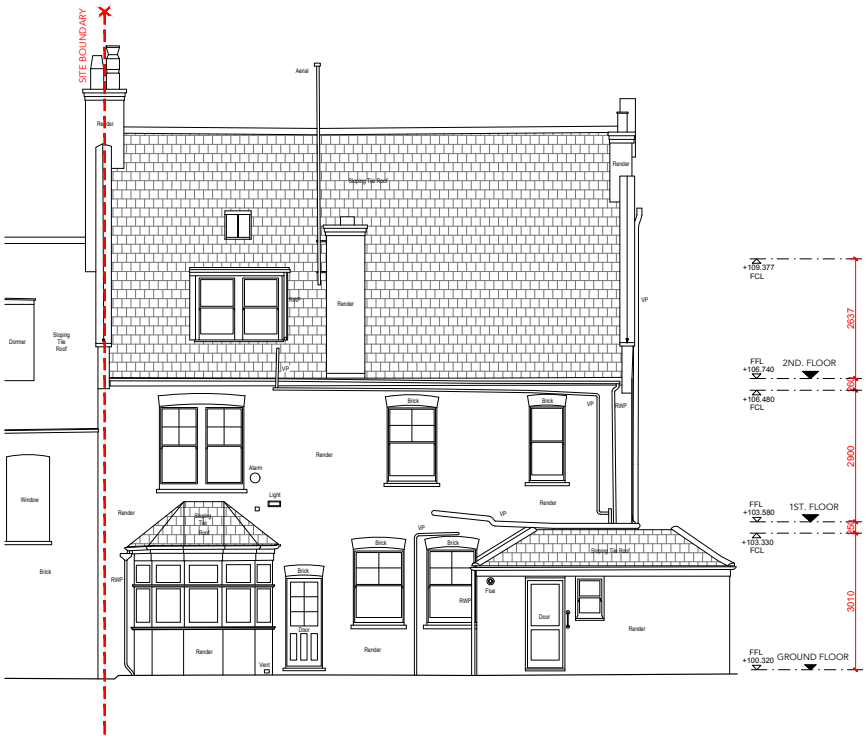
Existing Site Plan

1.3 Relevant Planning History

Similar work of a comparable scael have been consented at the following nearby prop-
erties:

3 Southwood Lawn Road (HGY/2018/2741)- Partial demolition and rebuilding the front
boundary wall in reclaimed clinker bricks to match original front boundary wall. Ap-
proved 3 December 2018

2 Southwood Lawn Road (HGY/2015/3605)- Replacement of existing side brick garden
boundary wall and timber fence. Approved 29 January 2016





Front Facade



Rear Facade



Side Facade



Front Wall & Gate

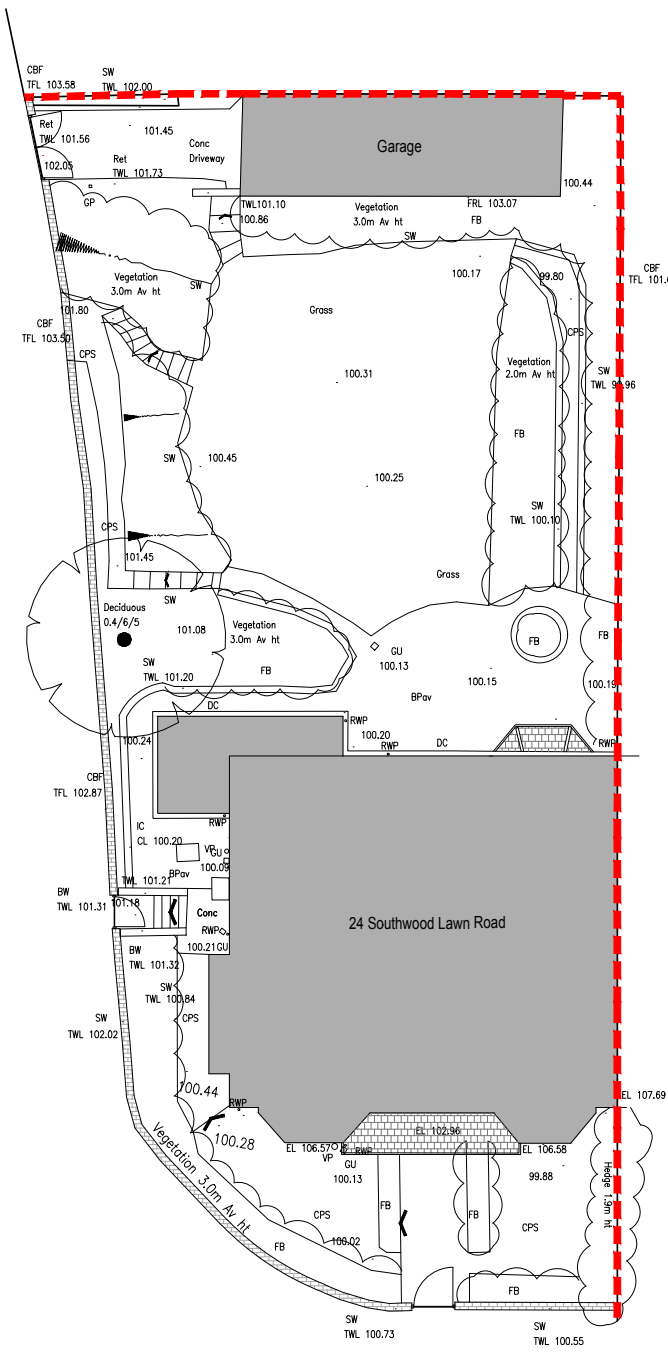
2.1 Main Design Principles

The proposals aim to provide a well designed and sensitive restoration scheme for the existing dwelling, whilst maintaining the special character of the Highgate Conservation Area.

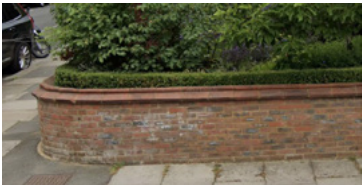
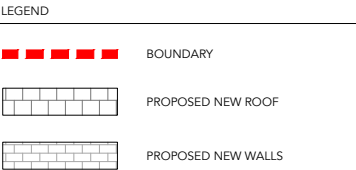
Minor changes to the facade such as the replacement of the front entrance porch, the replacement of the bay window in the rear elevation and the insertion of a new opening to the rear garden seek to positively contribute to the home as well as blend in well with the existing street.

To further reinforce this, we have taken some references from No. 2 Southwood Lawn Road for certain external elements, such as the boundary wall, gate, entrance porch, and removing the existing render back to brick, whilst maintaining current heights and detailing.

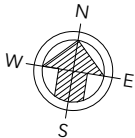
All proposals are in compliance with local and national guidance.

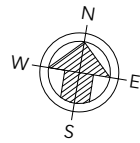


01 SITE PLAN - PROPOSED
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02 BOUNDARY WALL - PROPOSED





LEGEND

EXISTING WALL TO REMAIN

PROPOSED NEW WALLS

DEMOLITION LEGEND

WALLS TO BE DEMOLISHED

GENERAL NOTES

1. PROPOSED NEW FRONT ENTRANCE PORCH. REFER TO DRAWING A301 AND A601.

2. PROPOSED NEW REAR BAY WINDOW IN THE KITCHEN. REFER TO DRAWING A301 AND A600.

3. PROPOSED NEW OPENING WITH TIMBER FOLDING DOORS IN THE DINING AREA. REFER TO DRAWING A301 AND A600.

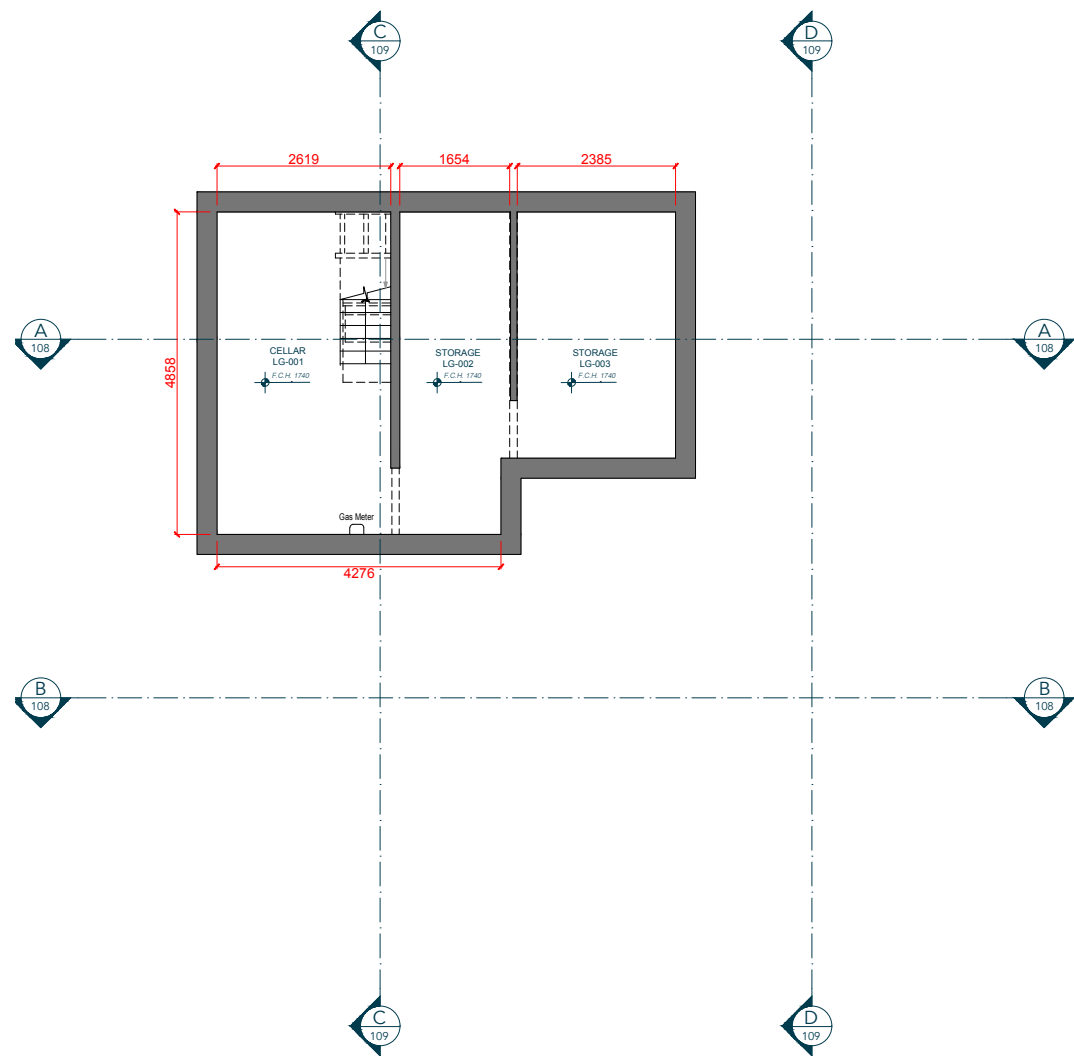
4. REMOVAL OF EXISTING RENDER ON THE EXTERNAL FACADE, BACK TO BRICK. REFER TO DRAWING A600, A601 AND A602.

5. INTERNAL ALTERATIONS THROUGHOUT THE THREE FLOORS. REFER TO DRAWING A301, A302 AND A303.

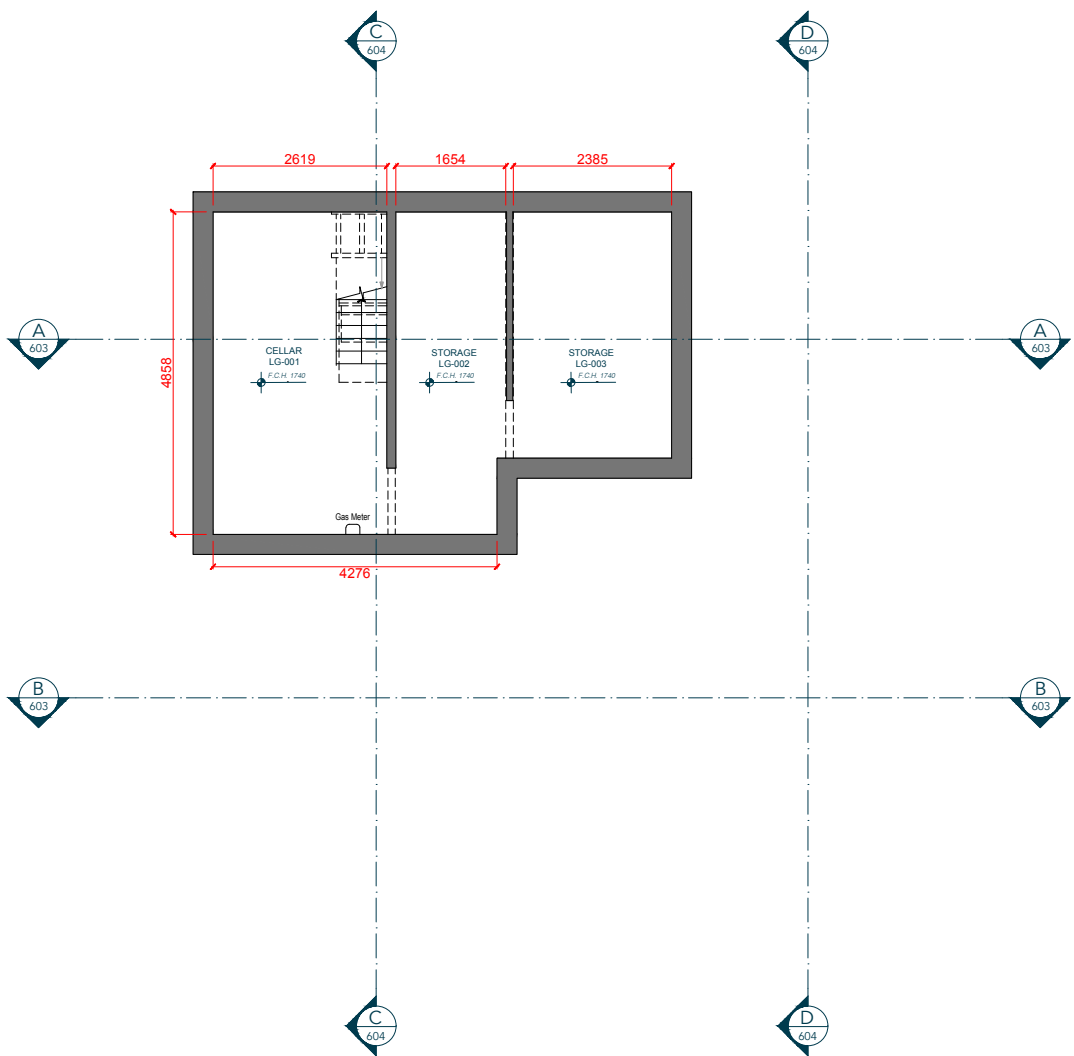
6. REPLACEMENT/RESTORATION OF ALL EXISTING WINDOWS (LIKE FOR LIKE).

7. REPLACE THE EXISTING GARDEN STONE WALL AND FENCE WITH A NEW BRICK WALL. REFER TO DRAWING A005, A800, A801, 802.

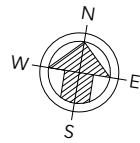
8. PROPOSED NEW FRONT AND SIDE GATES. REFER TO DRAWING A006, A800, A801.



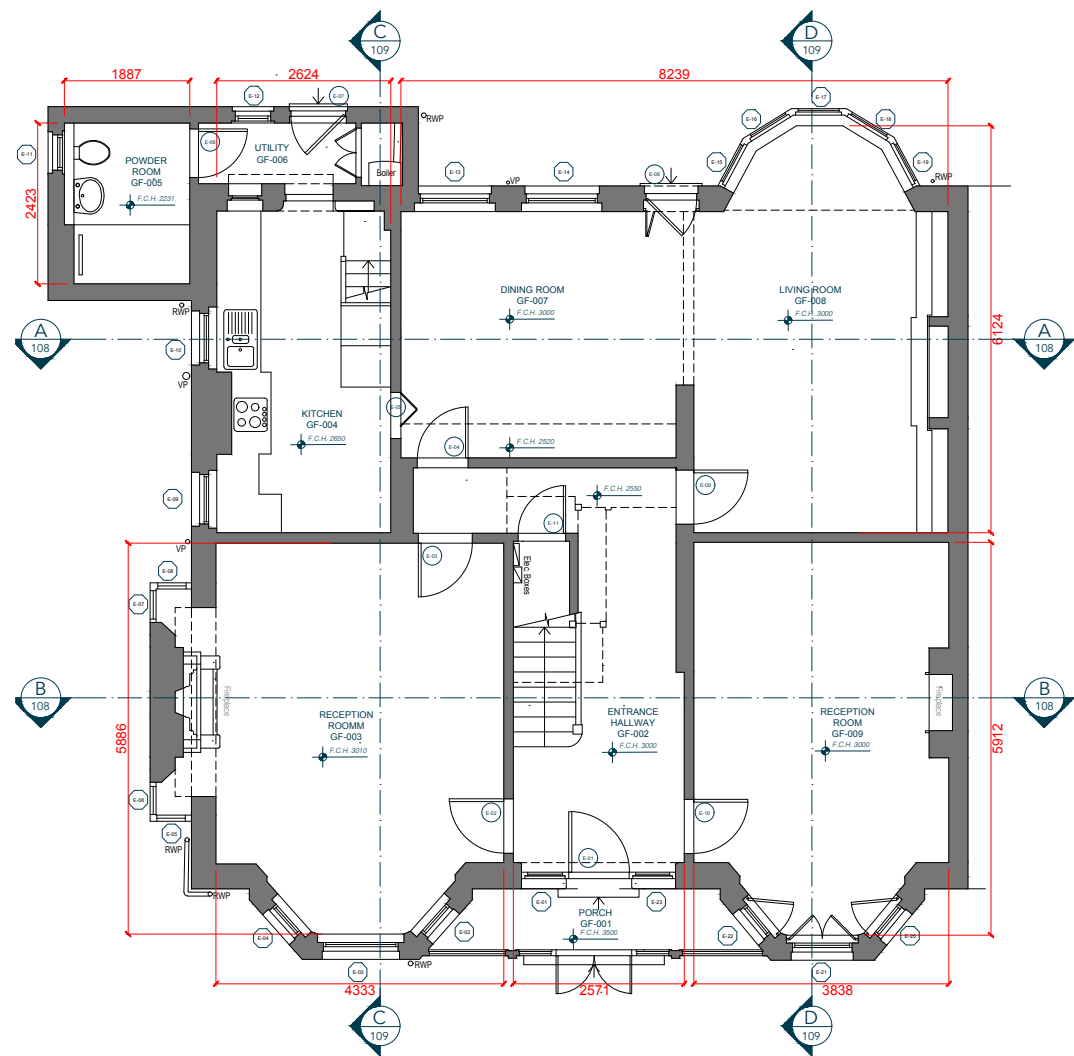
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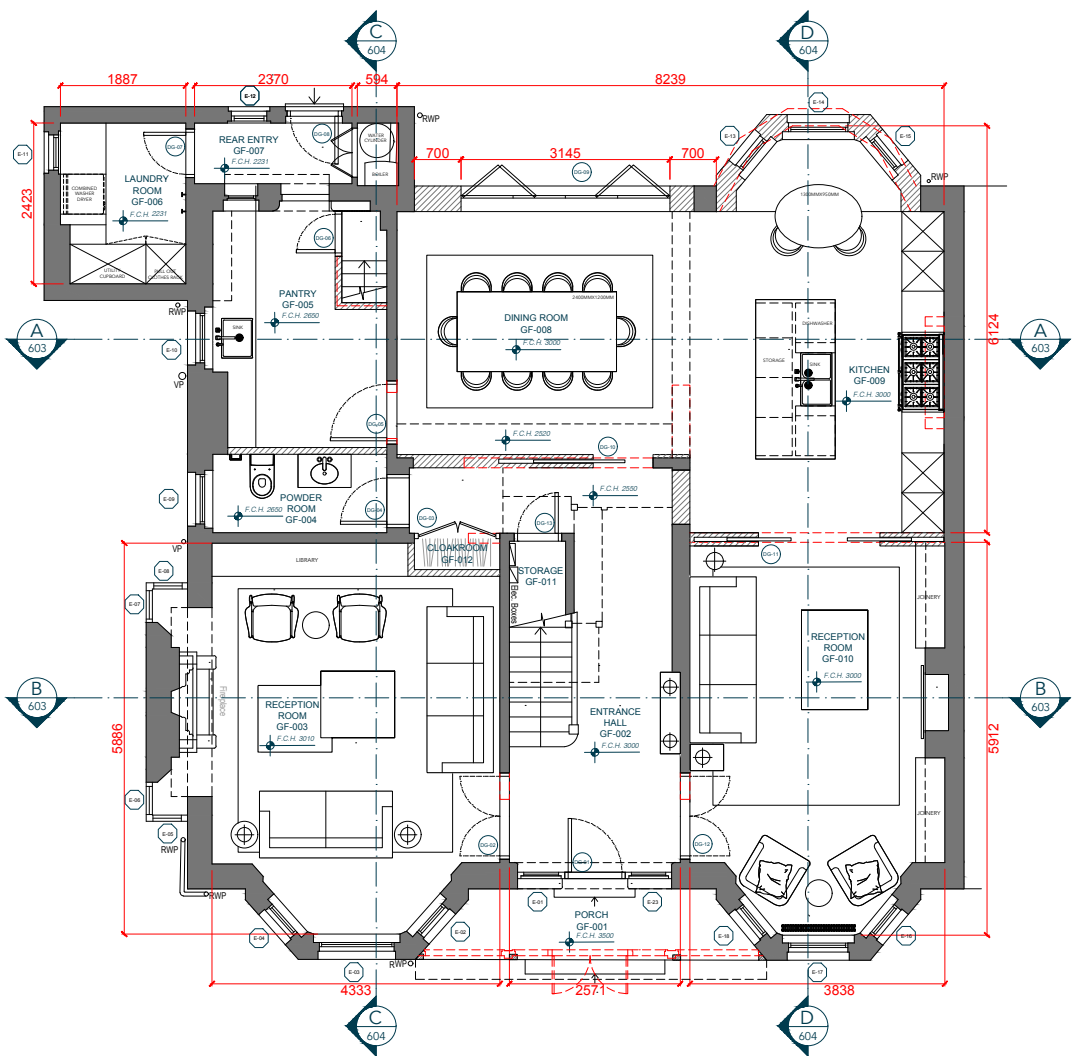
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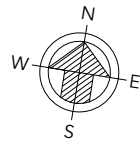
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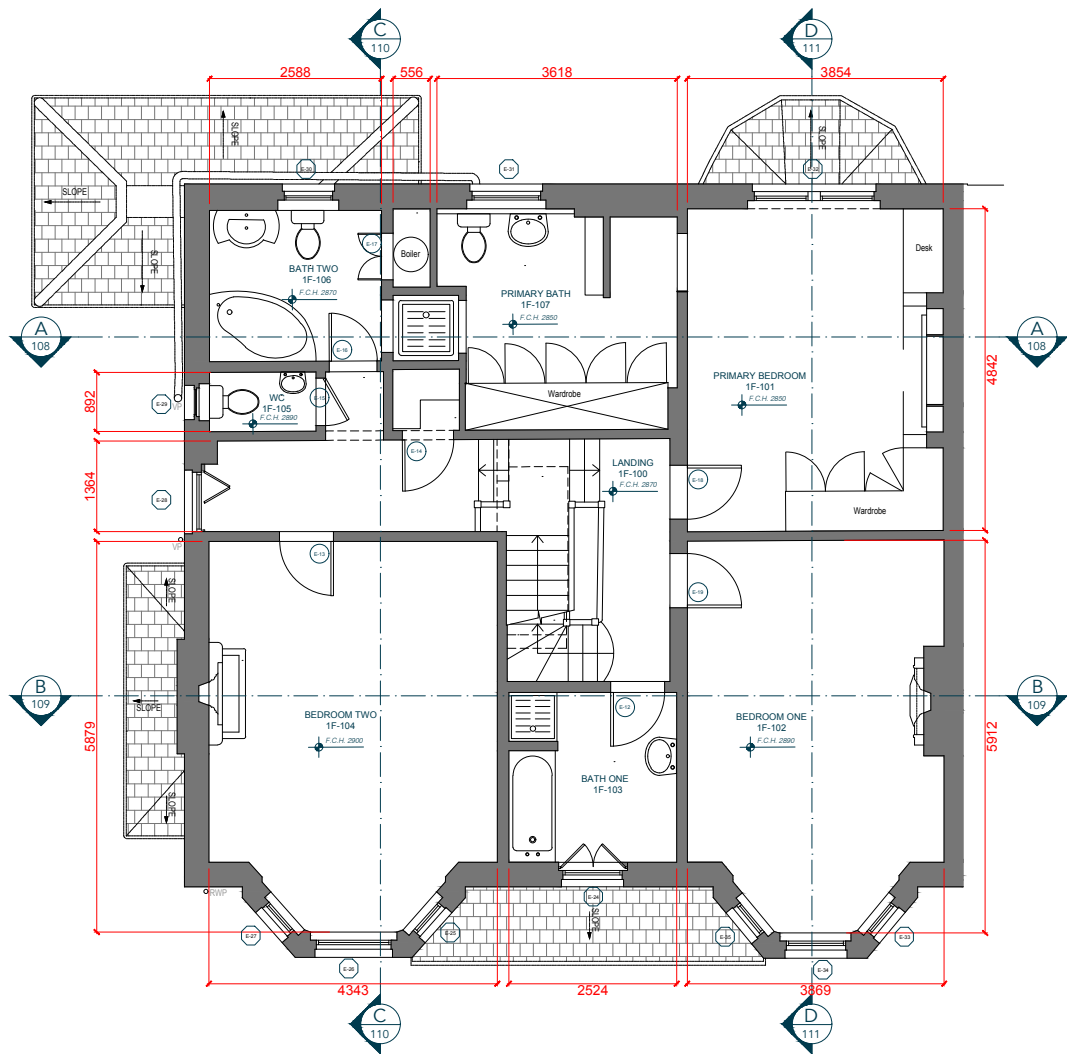
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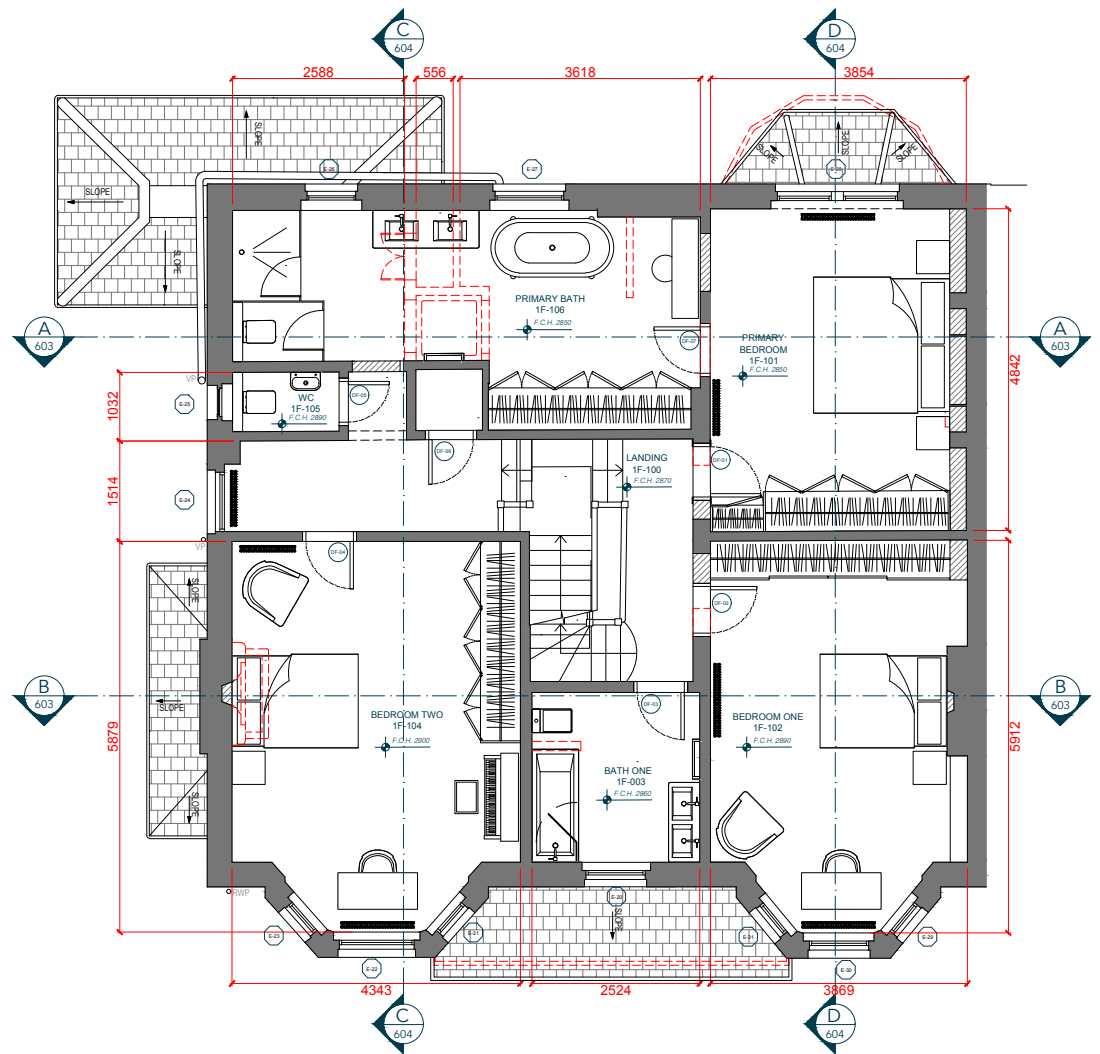
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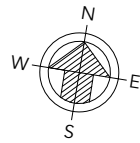
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01 FIRST FLOOR PLAN- EXISTING
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02 FIRST FLOOR PLAN- PROPOSED
scale 1:100 @A3



LEGEND

EXISTING WALL TO REMAIN

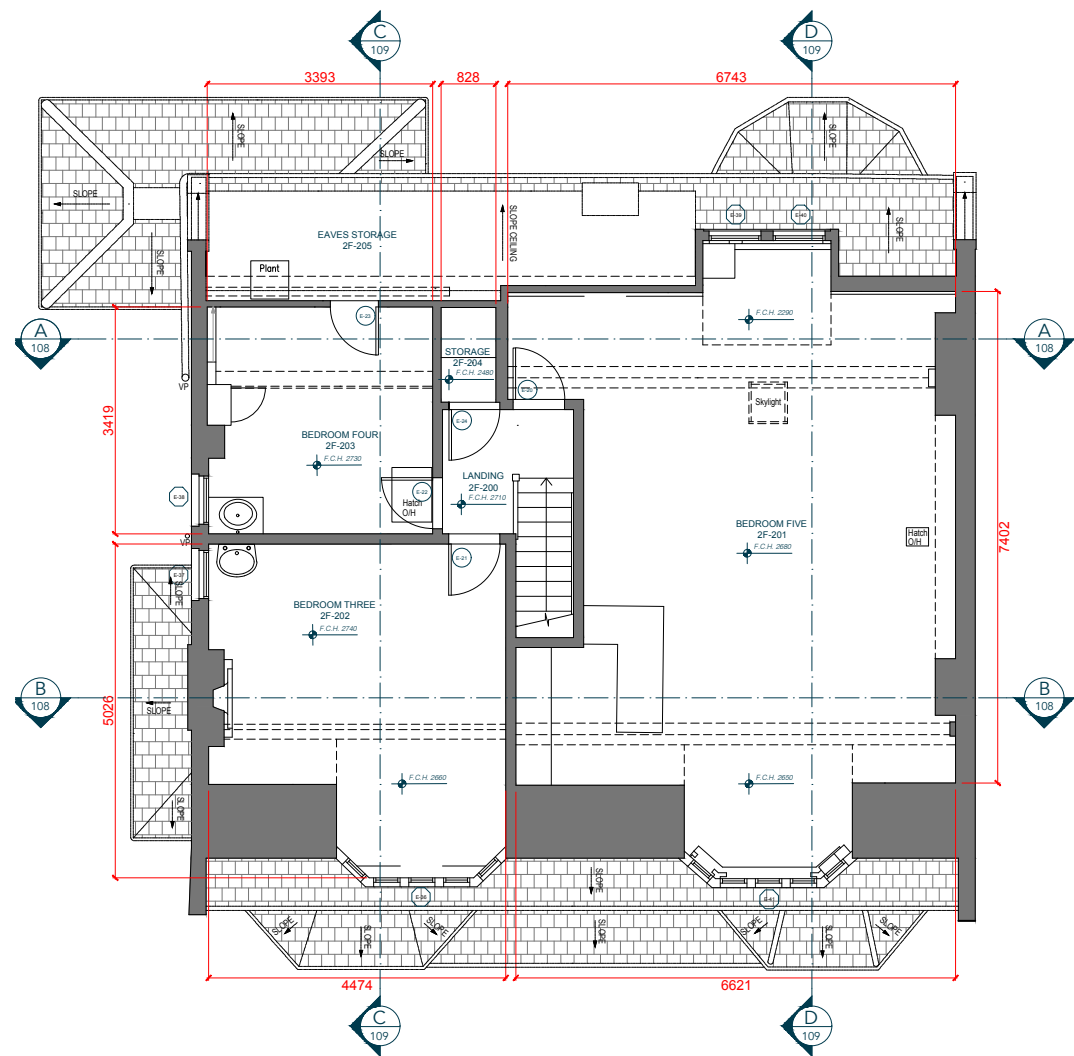
PROPOSED NEW WALLS

DEMOLITION LEGEND

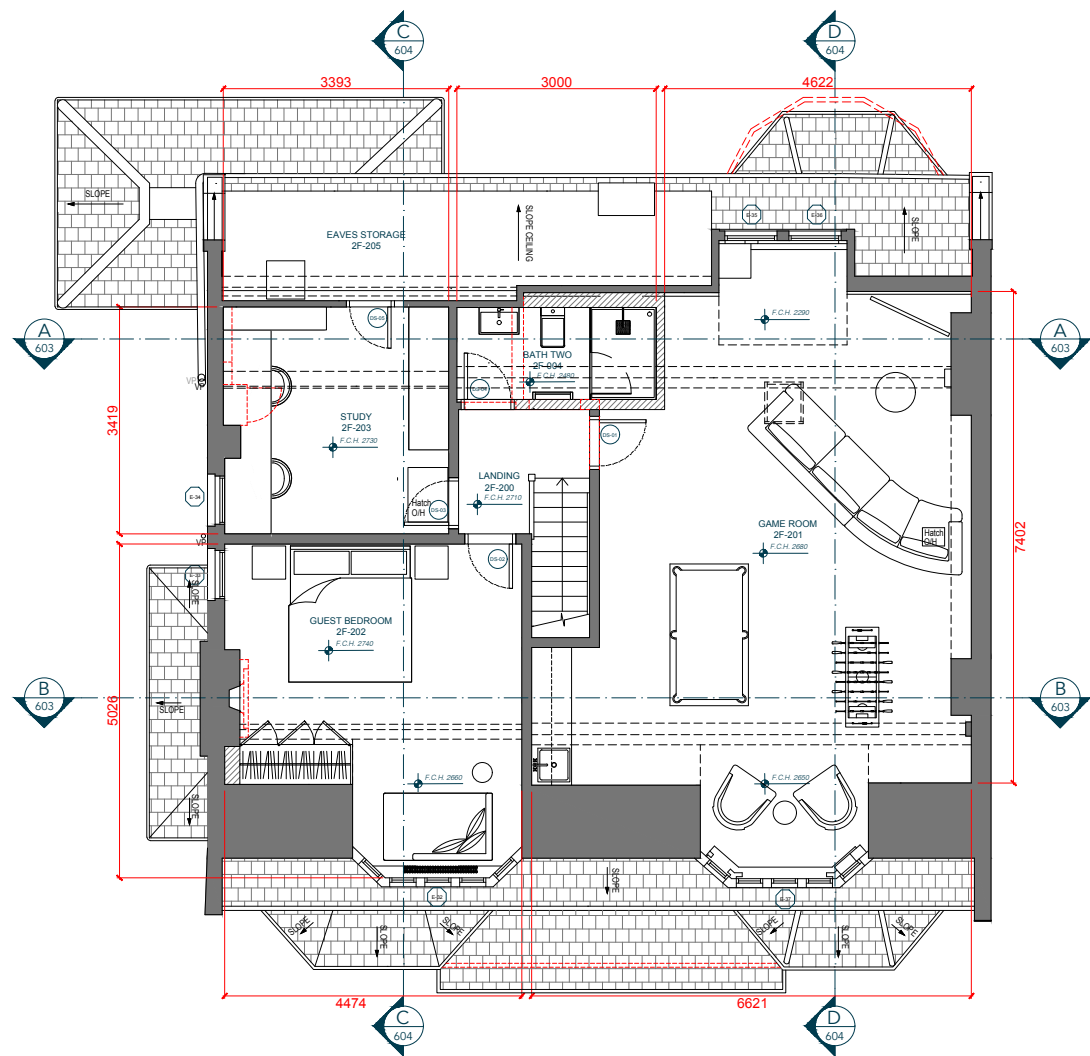
WALLS TO BE DEMOLISHED

GENERAL NOTES

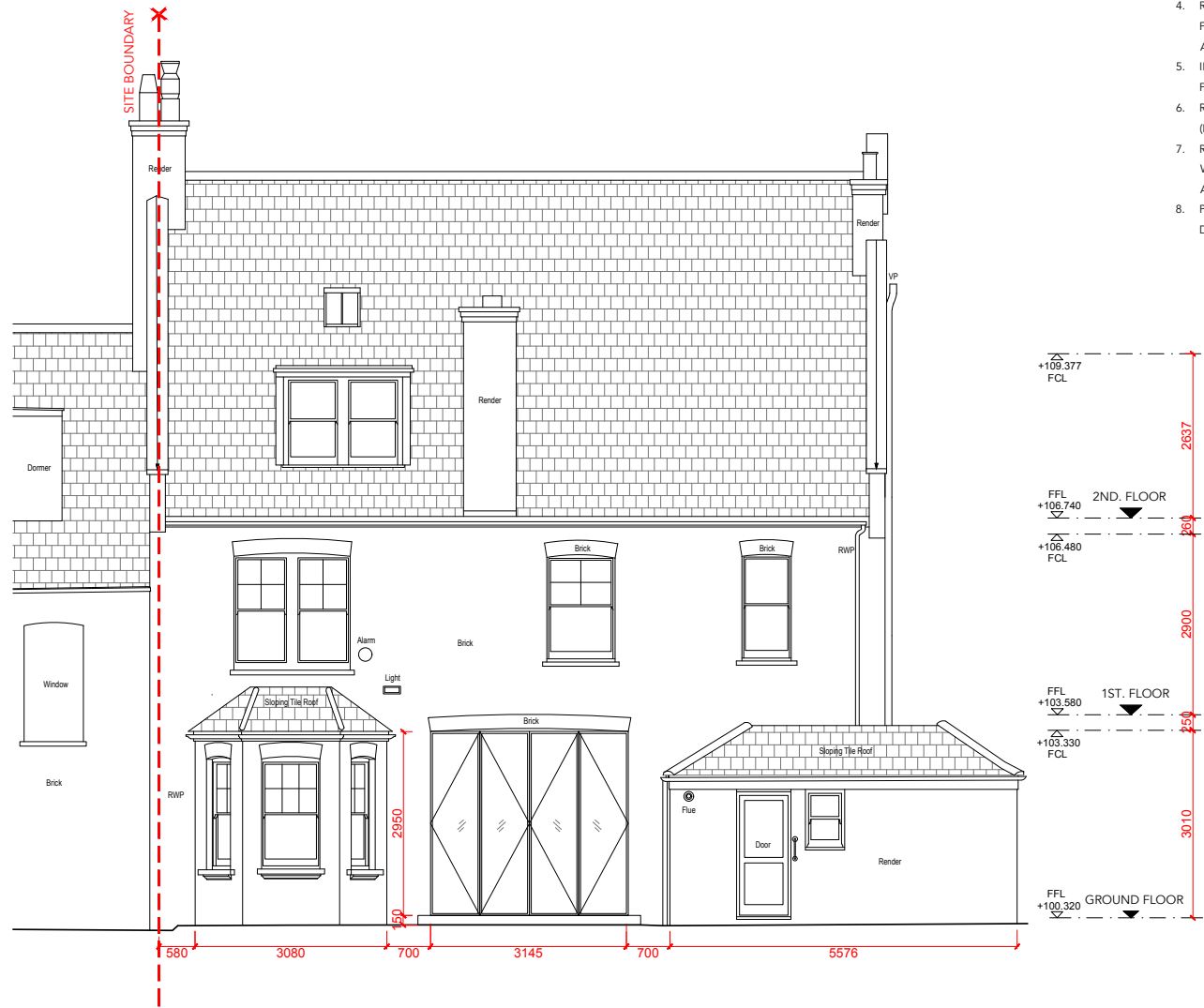
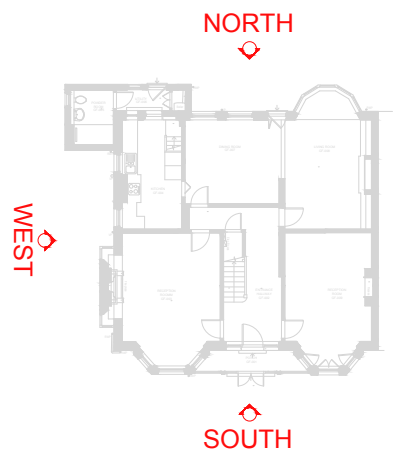
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8. PROPOSED NEW FRONT AND SIDE GATES. REFER TO DRAWING A006, A800, A801.



01 SECOND FLOOR PLAN- EXISTING
scale 1:100 @A3

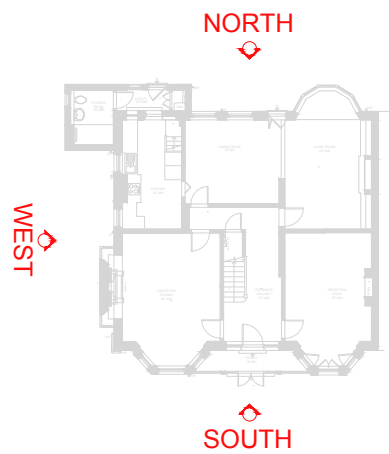


02 SECOND FLOOR PLAN- PROPOSED
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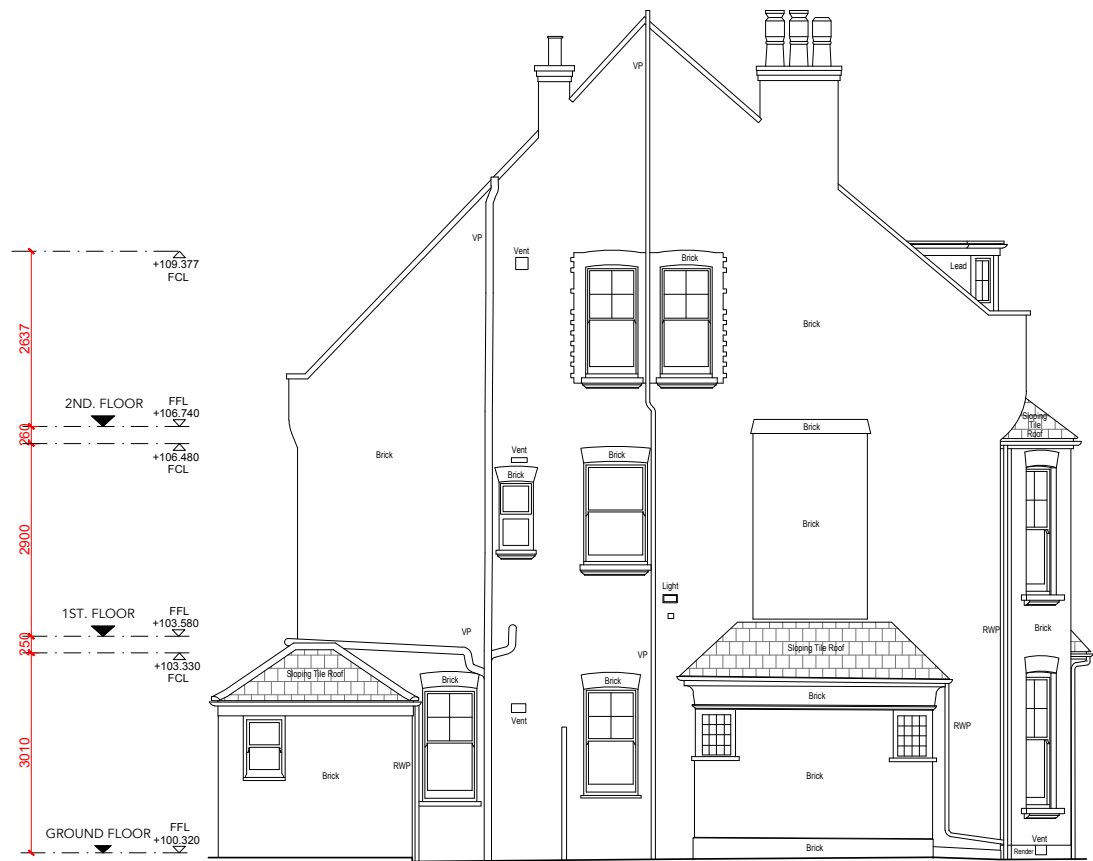
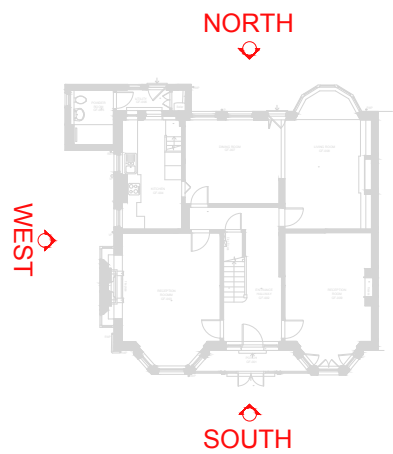
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01 NORTH ELEVATION- PROPOSED
scale 1:100 @A3



01 SOUTH ELEVATION- PROPOSED
scale 1:100 @A3

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01 WEST ELEVATION- PROPOSED
scale 1:100 @A3

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3.0 Access Proposals/ Solutions

The proposals contained within this planning application do not alter the existing access arrangements of the Applicant’s property.

The house is within a controlled parking zone CAU) and the proposals will have no impact on the current parking arrangements.

The existing vehicular access and crossover remains as existing.

4.0 Conclusion

The proposals contained within this planning application will ensure the occupation of this property and therefore its continued upkeep and maintenance. The proposals will serve to enhance both the internal and external historic features of this home, with all works sensitively detailed to respect the Highgate Conservation Area.

The scheme has also been designed to respect the amenity of neighbouring occupiers.

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