

PLANNING AND HERITAGE STATEMENT

24 SOUTHWOOD LAWN ROAD,
LONDON, N6 5SF

28 OCTOBER 2024

DOCUMENT CONTROL

Project Title	24 Southwood Lawn Road
Client Name	Sidika Owen and Harold d’Hauteville
Site Address	24 Southwood Lawn Road, London N6 5SF
Report Title	Planning and Heritage Statement
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SECTION 1 | INTRODUCTION

- 1.1 This Planning and Heritage Statement has been prepared by Firstplan in support of a planning application by Sidika Owen and Harold d’Hauteville (“the applicants”) for external alterations including replacement of existing front porch, alterations to fenestration including replacement rear bay, removal of render and replacement front and side boundary treatment.at 24 Southwood Lawn Road, London.
- 1.2 The property is within the Highgate Conservation Area, but is not statutorily or locally listed. However, it is located on a prominent corner and has an arts and crafts character which is in keeping with the character of this part of the conservation area.
- 1.3 The proposals put forward are small scale and seek to improve the character and appearance of the property, as well as making it more thermally efficient.
- 1.4 The proposals have been designed to respect the existing building and the historic significance of the Highgate Conservation Area, utilising materials which are prevalent in the area.
- 1.5 The proposals have also been designed to take into account neighbouring residential properties to ensure that their residential amenity is not adversely impacted.
- 1.6 This Statement is structured as follows:
 - **Section 2** Background Information
 - **Section 3** Application Proposals
 - **Section 4** Planning Policy Context
 - **Section 5** Assessment of Significance
 - **Section 6** Planning Considerations
 - **Section 7** Conclusions

SECTION 2 | BACKGROUND INFORMATION

a) The site

- 2.1 The application site is a two-storey end of terrace dwelling with roof accommodation. It is in use as a single dwelling-house. The property is located on the northern side of Southwood Lawn Road where the road bends. The surrounding area is predominately residential and is made up of similar semi-detached and terraced dwellings.
- 2.2 The site slopes from west to east and from north to south.
- 2.3 24 Southwood Lawn Road has been extended with a single-storey side and rear extension. There is an existing garage to the rear of the site.

Figure 1. Red Line Boundary of Site



- 2.4 The site is not locally or statutorily listed, however it sits within the Highgate Conservation Area. There is no Article 4 Direction restricting permitted development rights in this location.
- 2.5 The site is located within Flood Zone 1, indicating a low risk of flooding.

b) Planning History

i) The site

- 2.6 A review of the Council's planning database has identified limited planning history at the site, summarised in Table 1 below.

Table 1. Planning history at the site

Ref	Proposal	Outcome and Date
HGY/2017/3331	The demolition of existing side and rear extensions and the erection of a single storey side/rear extension	Approved, 22 December 2017.

Ref	Proposal	Outcome and Date
OLD/1951/0458	Conversion into 2 flats and new garage at rear.	Approved, 20 June 1951.

ii) Relevant Applications in the Conservation Area

2.7 The following table includes relevant applications in the Highgate Conservation Area.

Table 2. Applications in Highgate Conservation Area

Location	Ref	Proposal	Outcome
3 Southwood Lawn Road	HGY/2018/2741	Partial demolition and rebuilding of the front boundary wall in reclaimed clinker bricks to match original front boundary wall.	Approved, 03 December 2018
2 Southwood Lawn Road	HGY/2015/3605	Replacement of existing side brick garden boundary wall and timber fence.	Approved, 29 January 2016.

SECTION 3 | APPLICATION PROPOSALS

3.1 The application seeks planning permission for external alterations including replacement of existing front porch, alterations to fenestration including new rear bay, removal of render from side elevation and replacement front and side boundary treatment. More specifically the scope of works is as follows:

- Replacement of front entrance porch
- Replacement of bay window to the rear elevation
- Insertion of a new opening with timber framed folding doors on the ground floor rear elevation
- Removal of existing render on external wall, back to brick
- Replacement of the existing stone boundary wall with a brick wall to match height of existing
- Replacement of the existing fence with a brick wall to match height of existing
- Replacement entrance gates to front and rear to match the height of the proposed brick walls

3.2 The following works are also proposed and are included on the plans, however it is considered that these can be carried out under the General Permitted Development Order:

- Replacement of existing front door with new timber door – Permitted under Part 1A
- Replacement of all windows with timber framed double glazing – Permitted under Part 1A

3.3 Additionally internal alterations are proposed as shown on the submitted plans, however, these do not require planning permission as confirmed by Section 55 of the Town and Country Planning Act (1990).

3.2 Details of the proposals are provided within the accompanying architectural drawings prepared by Studio Havn. Extracts of the proposed North and South Elevations are included at Figures 2 and 3 below.

Figure 2. Proposed North Elevation

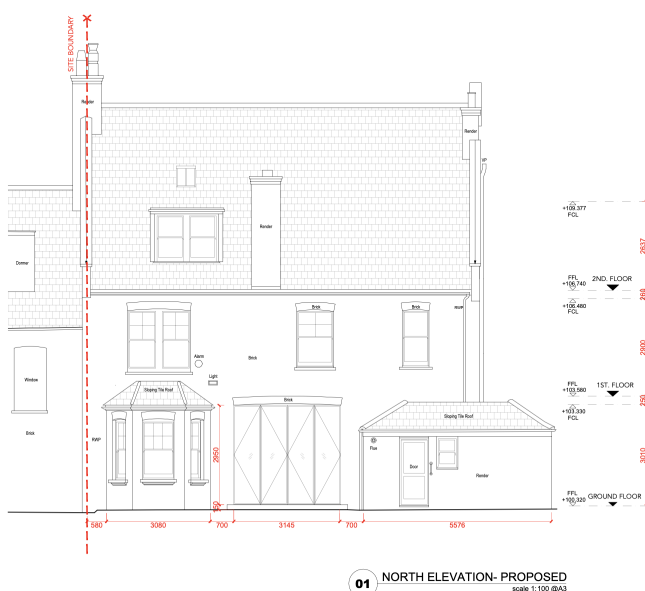


Figure 3. Proposed South Elevation



SECTION 4 | PLANNING POLICY CONTEXT

- 4.1 The section details the key planning policy context relevant to the application site and the proposed development.
- 4.2 Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states that planning decisions must be made in accordance with the Development Plan, unless material considerations indicate otherwise.
- 4.3 The Statutory Development Plan comprises:
- Haringey's Strategic Policies (with alterations 2017);
 - Haringey's Development Management DPD (2017);
 - The London Plan (2021).
- 4.4 The National Planning Policy Framework (NPPF) (2023) is also a material consideration alongside any supplementary planning documents. A Government consultation is currently running in respect of updates to the NPPF.

a) National Planning Policy Framework (NPPF) (2023)

- 4.5 The National Planning Policy Framework (NPPF) sets out the Government's planning policy for England and how these should be applied. It states at **Paragraph 7** (Achieving Sustainable Development) that the purpose of the planning system is to contribute to the achievement of sustainable development, which can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.
- 4.6 **Chapter 12** of the NPPF relates to the achievement of well-designed places. Fundamentally, the creation of high-quality buildings and places is a key aspect of sustainable development.
- 4.7 **Chapter 16** of the NPPF relates to 'conserving and enhancing the historic environment'. In determining planning applications which affect heritage assets, **Paragraph 197** of the NPPF 2023 requires local planning authorities to take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation, the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality, and the desirability of new development making a positive contribution to local character and distinctiveness.

b) The London Plan (2021)

- 4.8 The following policies are considered relevant to the application:
- **Policy HC1** 'Heritage'
 - **Policy D4** 'Delivering Good Design'; and
 - **Policy D12** 'Fire Safety'

c) Haringey's Strategic Policies (2017)

- 4.9 **Policy SP11** 'Design' states that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use. Among other criteria, development is expected to be of the highest standard of design that respects its local context and

character and historic significance, to contribute to the creation and enhancement of Haringey's sense of place and identity.

- 4.10 **Policy SP12** 'Conservation' seeks to ensure the conservation of the historical significance of Haringey's heritage assets, their setting and the wider historic environment.

d) Haringey's Development Management DPD (2017)

- 4.11 **Policy DM1** 'Delivering High Quality Design' stipulates that proposals must relate well to their surroundings and ensure a high standard of privacy and amenity for both the development's users and neighbours; proposals should provide an appropriate amount of privacy to avoid overlooking and loss of privacy detrimental to the amenity of neighbouring residents.

- 4.12 **Policy DM9** 'Management of the Historic Environment' requires development to conserve and enhance the significance of a heritage asset and its setting. In regards to Conservation Areas, it states:

"The Council will give consideration to, and support where appropriate, proposals for the sensitive redevelopment of sites and buildings where these detract from the character and appearance of a Conservation Area and its setting, provided that they are compatible with and/or complement the special characteristics and significance of the area."

e) Highgate Neighbourhood Plan (2017)

- 4.13 **Policy DH2** 'Development Proposals in Highgate Conservation Area' states that:

"Development proposals, including alterations or extensions to existing buildings, should preserve or enhance the character or appearance of Highgate's conservation areas, and respect the setting of its listed buildings and other heritage assets. Development should preserve or enhance the open, semi-rural or village character where this is a feature of the area."

- 4.14 **Policy DH6** 'Front Boundaries' states that new boundary walls requiring planning permission, and gated developments will not be permitted if they:

"I. Have a detrimental impact on the open character of the street-scene; or

II. Result in the unnecessary removal of mature hedges or natural features which have a positive impact on the character of the local area;

III. Would result in a loss of visual permeability or public accessibility where this contributes to local character."

f) Supplementary Planning Guidance

- 4.14 The Council have adopted a number of Supplementary Planning Guidance notes (SPGs) including SPG 1a (relating to design) and SPG2 (relating to conservation) and the Sustainable Design and Construction SPD. Careful consideration has been given to these guidance notes in the development of the proposals.

SECTION 5 | ASSESSMENT OF SIGNIFICANCE

- 5.1 In assessing the values which are embodied within the identified heritage assets, regard has been had to the heritage values as defined in Historic England's Conservation Principles (2008) together with guidance within the National Planning Policy Framework (NPPF) and National Planning Policy Guidance (NPPG).
- 5.2 The designated heritage assets relevant to this application is the Highgate Conservation Area.
- 5.3 National Planning Policy Guidance (NPPG) sets out that there are three principal heritage values which may be taken into account when assessing the nature of significance. In summary, these comprise:
1. Archaeological interest: Is there archaeological interest worthy of expert investigation?
 2. Architectural and artistic interest: Is there interest in the design and general aesthetics of a place? This can either be from conscious design or from how a heritage asset has evolved.
 3. Historic interest – An interest in past lives and events. This can provide a record of the nation's history and can also provide meaning for communities.
- 5.4 Section 16 of the NPPF is concerned with conserving and enhancing the historic environment. It is noted within Paragraph 194 that when describing the significance of a heritage asset the level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on the significance. It goes on to require that when determining an application affecting a heritage asset the planning authority should take into consideration the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.

a) Highgate Conservation Area

- 5.5 Highgate was first designated as a conservation area on 21st December 1967.
- 5.6 The conservation area is divided between the London Borough of Camden and Haringey. The Conservation area boundary was extended on the eastern side on the 27th of September 1990 to include the upper and lower parts of the Archway sub-area, together with the Miltons and Shepherds Hill sub-areas. It was further extended on 29th November 1994.
- 5.7 The character of the conservation area is formed by the relationship of its historic pattern of development, its high percentage of buildings of architectural merit, its topography, its green open spaces, and distant views.
- 5.8 There are high-quality residential areas of Victorian, Edwardian, and early twentieth-century terrace housing off Archway Road, such as the Cholmeleys, the Miltons, and Shephard's Hill.
- 5.9 The conservation area benefits from a wealth of open spaces and green surroundings such as Highgate Wood, Queen's Wood, Highgate Cemetery, Hampstead Heath, Highgate Bowl and Highgate Golf Course.
- 5.10 It is noted within the Highgate Conservation Area Appraisal that:

“Incremental changes to the architectural features, materials and details of domestic properties have been a primary cause for change in the character and appearance of the residential streets within Highgate Conservation Area. In particular the removal or alteration of timber sash windows, timber panelled front doors (often with stained glass panels), decorative timber porches and brackets, chimney stacks and pots, ridge tiles and finials and decorative

plasterwork are amongst the most noticeable changes that can diminish the quality, richness and visual cohesion of the house frontages.”

5.11 With regard to brickwork, stonework, painting, render and cladding, the appraisal notes:

“The painting, rendering and cladding of brickwork and stonework within consistent streets with brick and stone elevations has occurred in a number of areas within the conservation area. This has had a detrimental effect on the appearance, integrity and consistency of frontages in a number of locations.”

5.12 Southwood Lawn Road lies within Sub-area 3, Southwood Avenue. The street is characterised by semi-detached and detached houses of the Edwardian era with an Arts and Crafts style influence that displays a variety of details and decorative features.

5.13 On the north side of Southwood Lawn Road, the first two houses are red brick in a similar composition to Southwood Avenue. The style then changes from late Victorian style to the semi-detached more suburban Arts and Crafts influenced style.

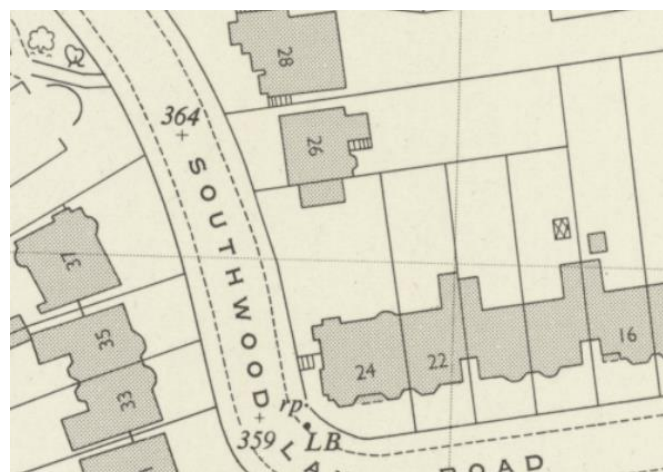
5.14 The 1888 – 1915 OS Map shows that Southwood Lawn Road was laid out but there were only a few properties developed at this time:

Figure 4: 1888 – 1915 OS Map Extract



5.15 The 1944-1973 OS Map shows the property with a porch and rear bay.

Figure 5: 1944 – 1973 OS Map Extract



b) Contribution of the Application Site

- 5.16 The application site is of the Edwardian era with an Arts and Crafts style influence. It includes double height bays to the front and whilst it is not noted in the Conservation Area Appraisal as a positively contributing building, it does make a contribution as part of the wider area.

SECTION 6 | IMPACT ON THE CONSERVATION AREA

- 6.1 The proposals seek consent for external alterations including replacement of existing front porch, alterations to fenestration including replacement rear bay, removal of render and replacement front and side boundary treatment at 24 Southwood Lawn Road.
- 6.2 The proposals to the rear elevation cause no harm as they use traditional timber frames and the bay window is of similar size to existing. The works will largely be screened by the boundary treatment
- 6.3 On the front elevation, a new porch is proposed to match the style of the existing building. It will have the same height as the existing one. This is not considered to result in any harm to the Conservation Area. Indeed, it is considered to enhance the visual quality of the existing building and the wider area and will be similar to the design of the porch at No.2 Southwood Lawn Road.
- 6.4 The works include the removal of the existing rendering to brick on all facades. This is considered a visual improvement and is in line with the guidance in the Highgate Conservation Area Appraisal. It will result in a positive contribution towards the character of the conservation area.
- 6.5 The proposal includes the replacement of the front and side boundary walls and fence with a brick wall. At present, the existing front boundary walls are composed of stone. This is seen predominately along the northern side of the road. However, brick walls are present at Nos. 2, 14, 28, and 37 Southwood Lawn Road. In particular, No.2 is the other end of terrace property with a similar width and prominence to No.24. This property has a brick wall which the proposal seeks to match. The brick proposed will match the brick of 24 Southwood Lawn Road and therefore will complement the host property and wider streetscene. The proposed wall will match the height of existing and will include a coping stone to match existing
- 6.6 The existing wooden fence to the side boundary is in a poor state of repair and does not match the composition seen along the street. The replacement of this fence with a wall will be lower in height will be a visual improvement due to the higher quality of the materials. It is noted that there area a variety of wall heights along the street
- 6.7 Overall, the proposals are considered to provide a visual improvement to the front, side and rear elevations of the house as a result of the proposed works. The scheme has been designed in a manner sympathetic to the relevant heritage assets. It is not considered that they will result in any negligible impact on the Conservation Area.
- 6.8 The proposals are in accordance with Haringey Strategic Policy SP12 and Development Management DPD Policy DM9.

SECTION 7 | PLANNING CONSIDERATIONS

7.1 The relevant Borough-wise, London and National planning policies have been taken into consideration to inform the proposed development at this site. The main considerations in respect of the development proposals are as follows:

- Design and Visual Impact
- Impact on Amenity
- Environmental Considerations

a) Design and Visual Impact

7.2 The impact of the character of the area and heritage assets has been discussed in Section 6 of this report. Overall, the proposals will provide a well-designed and sensitive restoration scheme for the existing dwelling. The proposed works are not considered to harm the special character of the Highgate Conservation Area.

7.3 Following the guidance of Policy SP11, these proposals have been developed to respond positively to the character of the surrounding area and they seek to contribute positively to the composition of the existing streetscene.

b) Impact on Residential Amenity

7.4 Planning policy at all levels encourages good design through well laid out development which considered and managed the impact of development upon visual amenity, privacy, overlooking, daylight and sunlight.

7.5 The proposals will not harm the amenity of the neighbouring properties given the nature of development. There will be no material increase in height or massing to any of the proposed structures. As such, it is considered that the proposals are in compliance with local and national guidance.

c) Environmental Considerations

7.6 It is proposed that the existing windows be replaced with double-glazed alternatives to improve thermal efficiency at the site.

SECTION 8 | CONCLUSIONS

- 8.1 This planning and heritage statement has been submitted in support of an application for external alterations at 24 Southwood Lawn Road, London.
- 8.2 The works have been sensitively detailed to respect the Highgate Conservation Area. The scheme will complement the character of the conservation area.
- 8.3 The scheme has also been designed to respect the amenity of neighbouring occupiers.
- 8.4 Overall, the application proposals are consistent with all the relevant planning policies and guidance at the national, regional, and local levels. The application should therefore be considered acceptable by the Council, and we respectfully request that planning permission be granted without delay.

