

ASHMAN Architects

67 MAYES RD
WOOD GREEN, LONDON

03

DESIGN & ACCESS
STATEMENT

PROJECT REF: 669

NOVEMBER 2024

00. Introduction

Overview

This Design Document sets out the design principles for the internal layout reconfiguration of 67 Mayes Road in order to maximise the floor area, connectivity and flow of the ground floor single storey property.

This Design & Access Statement has been compiled by Ashman Architects to set out the design and planning principles for a proposed extension at 67 Mayes Road, Wood Green, London, N22 6TN.

Client Brief

Specifically, the aim of the proposal is to:

- Reconfigure of the internal layout to improve circulation and flow of the property.
- Create a rear extension to accommodate for an open plan living space
- Rebuild of the existing front porch to comply with current building standards.

Accompanying Drawings

This Design & Access Statement - should be read in conjunction with the following planning drawings:

Location

669_LOC01-Location and Block Plan

Existing

669_EX-GA01-Existing Ground Floor & Roof Plan

669_EX-GE01-Existing Elevations Sheet 1

669_EX-GE02-Existing Elevations Sheet 2

Proposed

669_S01-Proposed Site Plan

669_GA01-Proposed Ground Floor & Roof Plan

669_GA02-Proposed GA Plan First and Second Floor

669_GE01-Proposed Elevations Sheet 1

669_GE02-Proposed Elevations Sheet 2

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Ordinance Survey Map (NTS)

01. The Site

Overview of the Site

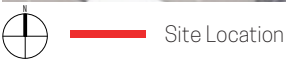
Site Address:
67 Mayes Road, Wood Green, London, N22 6TN.

Brief
Our brief is to present a better configuration of the internal layout of the single storey rear extension to the existing property at 67 Mayes Road, taking into consideration the context of the site and producing a responsive scheme that meets the client's brief and complies with planning standards of Haringey London Council.

Site
The site is located close to Alexandra Palace Station (which connects to the national rail network) and Wood Green Tube Station (Zone 3), (20/25mins to the City/West End).

The site is within easy reach of local amenities including Wood Green Main Shopping City and is situated within a short walk from the attractive green surroundings of Alexandra Park and the palace itself via Wood Green Common (local park).

The site is a ground floor flat, under ownership of the client, with sole use of the long rear garden and front driveway. The flat occupies the entire ground floor of the block of flats, which is a subdivided 3-storey semi-detached property.



Apple Maps 2024 (NTS)

01. The Site

External Photographs

Historically, the building is a three-storey Victorian terrace semi-detached, characterised by its long and narrow layout extending along the length of the site. The site - including building footprint - is 240sqm.

Access to the garden has been maintained via the side entrance. The ground level of the apartment block is owned by the client, while the first and second floors are accessed separately from the side of the property, under the ownership of another resident.

The site features a private driveway (01) and tall windows that echo the design of neighbouring buildings on the street (02).

The rear of the property has been extended (03) and offers a spacious garden and amenity area (04), visible from the kitchen and dining area.



01. View of front (North) elevation and public footpath (looking south east)



02. View of front (north) elevation (looking south west)

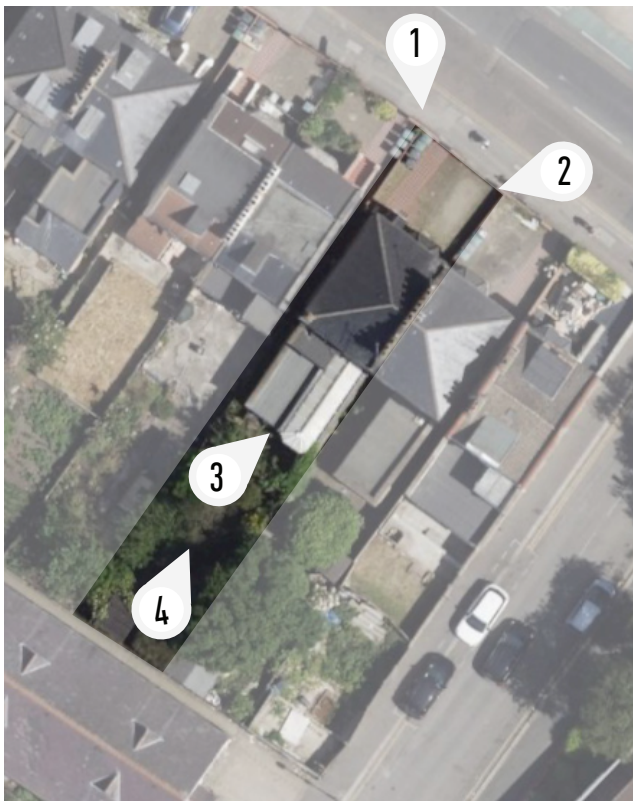


Photo Key (Apple Maps Aerial Photograph - NTS)



03. View of rear elevation (looking north east)



04. View from the end of garden looking to rear of elevation (looking north)

01. The Site

Interior Photographs

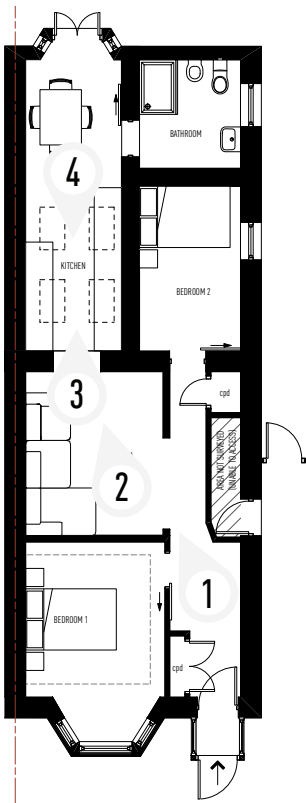
The internal photographs offer a glimpse into the property’s interior spaces, providing a visual walkthrough to better understand how the proposed changes could impact and enhance the configuration of these areas. This helps to illustrate the potential improvements in layout and flow within the property.



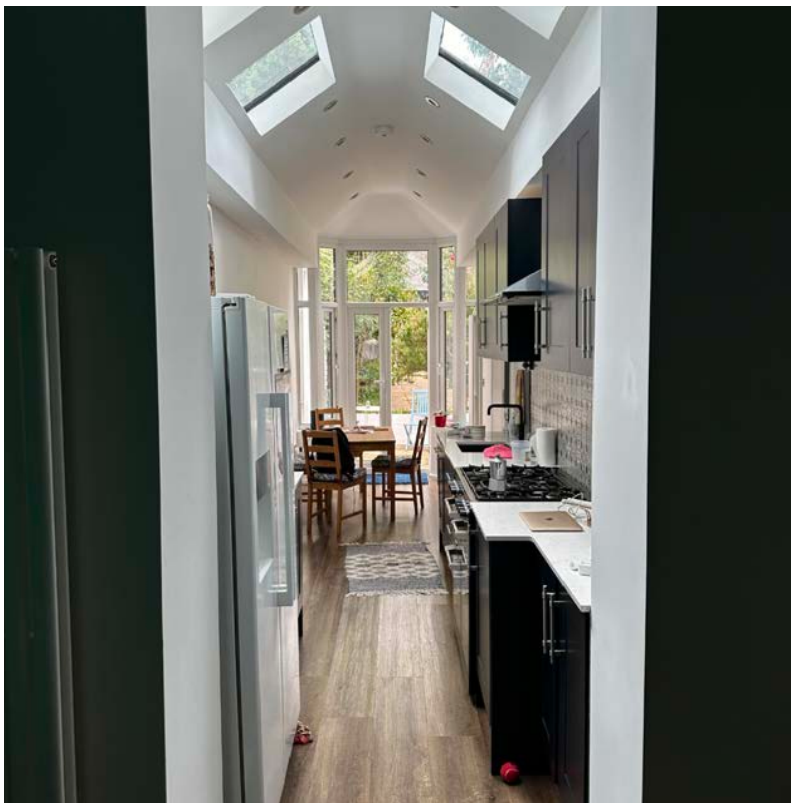
01. View of entrance into hallway



02. View of existing lounge area



03. View of kitchen space looking into lounge area



04. View from lounge looking into kitchen and dining area

02. Planning Policy

Allocations

Flooding

As per Environment Agency flood maps, the site is in Flood Zone 1. The site falls outside 1 in 100-year risk of surface water flooding.

Historic England

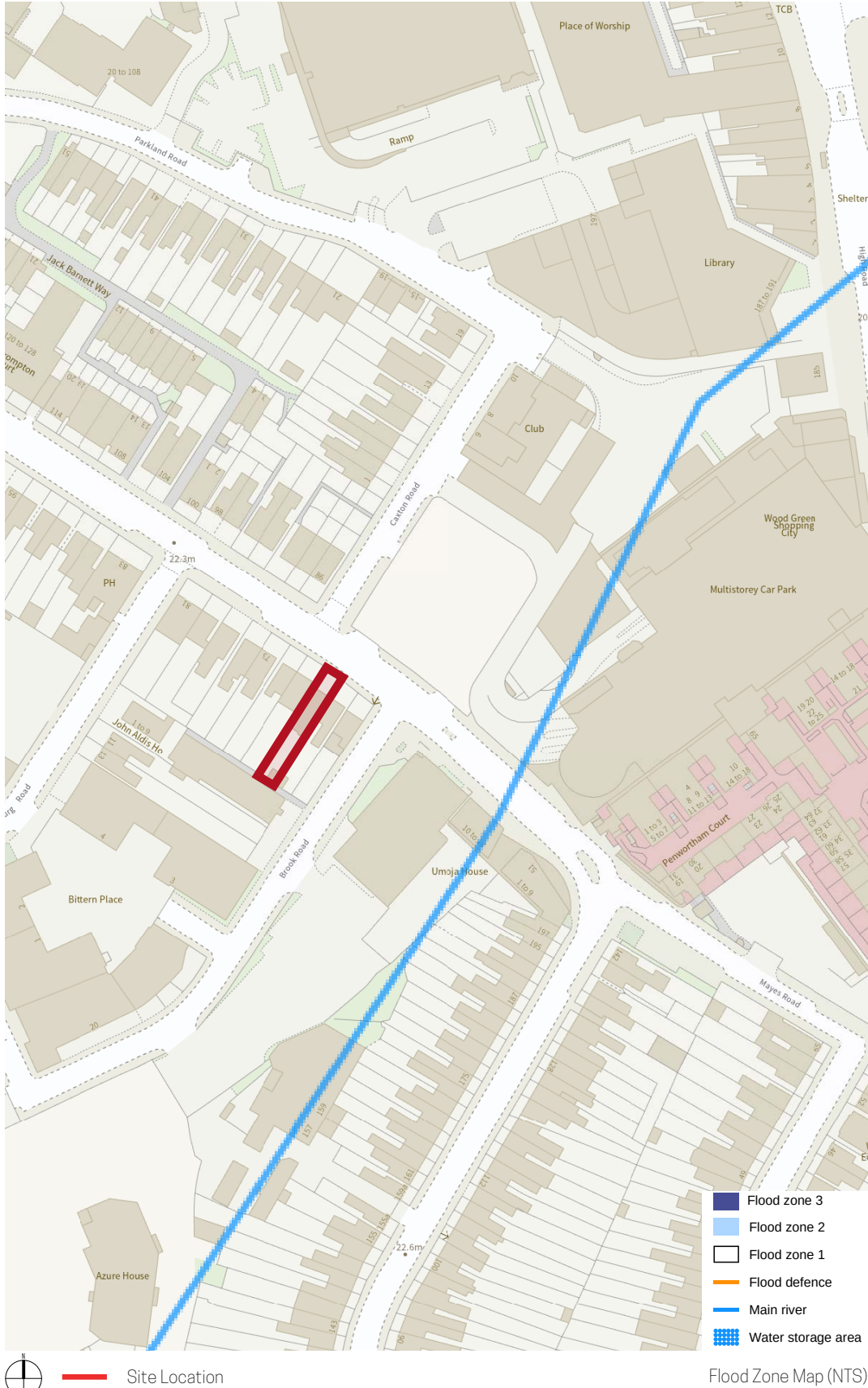
The site is located outside the Wood Green Conservation Area, and the existing building is not listed under Historic England's categorisation of protected buildings. As such, there are no constraints related to conservation or listing that would impact the proposed development.

Tree Preservation Orders (TPOs)

There are no Tree Preservation Orders in place that affect the application site.

Article 4 Direction (A4D)

The site is not subject to Article 4 Direction planning restrictions, meaning that the usual planning controls apply and the proposed development is not limited by additional constraints under this legislation.



Flood Zone Map (NTS)



Conservation Area

Wood Green Conservation Area Maps (NTS)

03. Site Analysis

Constraints & Opportunities

Reconfiguring the Layout

Renovating the interior presents the opportunity to arrange the principle living spaces where daylight/ views can be maximised - exploring the option to introduce the living area in the newly extended rear extension. The existing lounge area will form the dining room for a natural improved connectivity between spaces.

Access

The side access to the garden will be maintained to ensure that a direct access to the garden and amenity is maintained. Therefore eliminating the potential issues arising from only being able to access the garden through the house.

Screening/Views

The building's massing, orientation and boundary vegetation provides adequate screening from neighbouring properties. The proposed extension should seek to minimise any impact resulting from loss of light. Views from the property should be focused to the amenity space and looking out to the garden.

Orientation

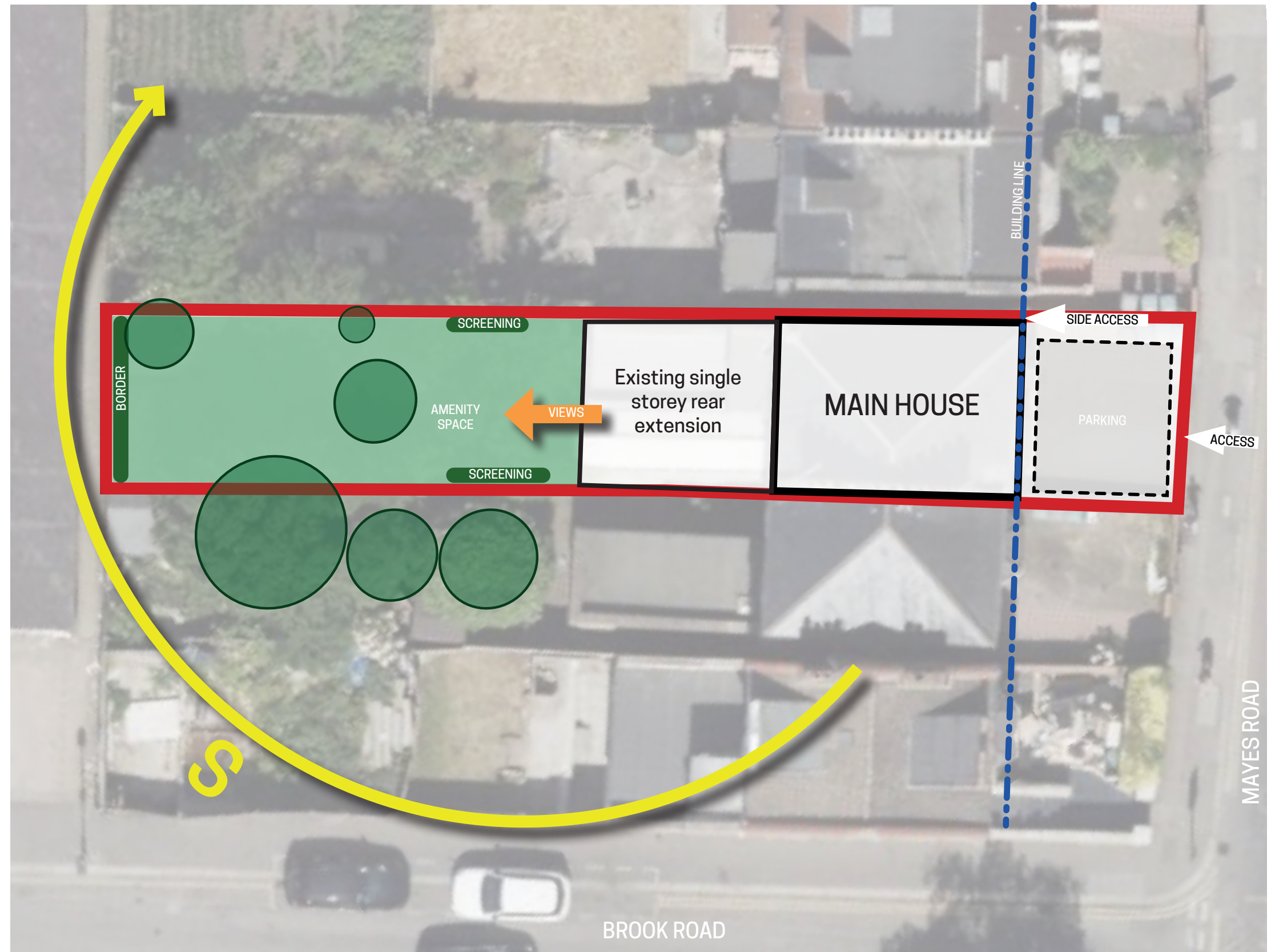
The south and west facing aspects of the building lends itself to taking full advantage of the day and evening sunlight.

Scale and Massing

To avoid the negative influence the proposed development may have on the surrounding properties in terms of size, scale, and proximity. Considerate and thoughtful proposal will need to be devised to avoid impact on the site amenity and character.

Party Wall Notice

The foundation of the proposed extension excavation will be built against the site boundary, therefore party wall notice will need to be issued.



Constraints & Opportunities Diagram (NTS)

03. Site Analysis

Constraints & Opportunities

Building Line

Careful consideration is required to ensure that the existing building line is taken into account when proposing works to the front elevation. The proposed front porch element needs to be subservient and in-keeping with the street elevation.

Extent of extension

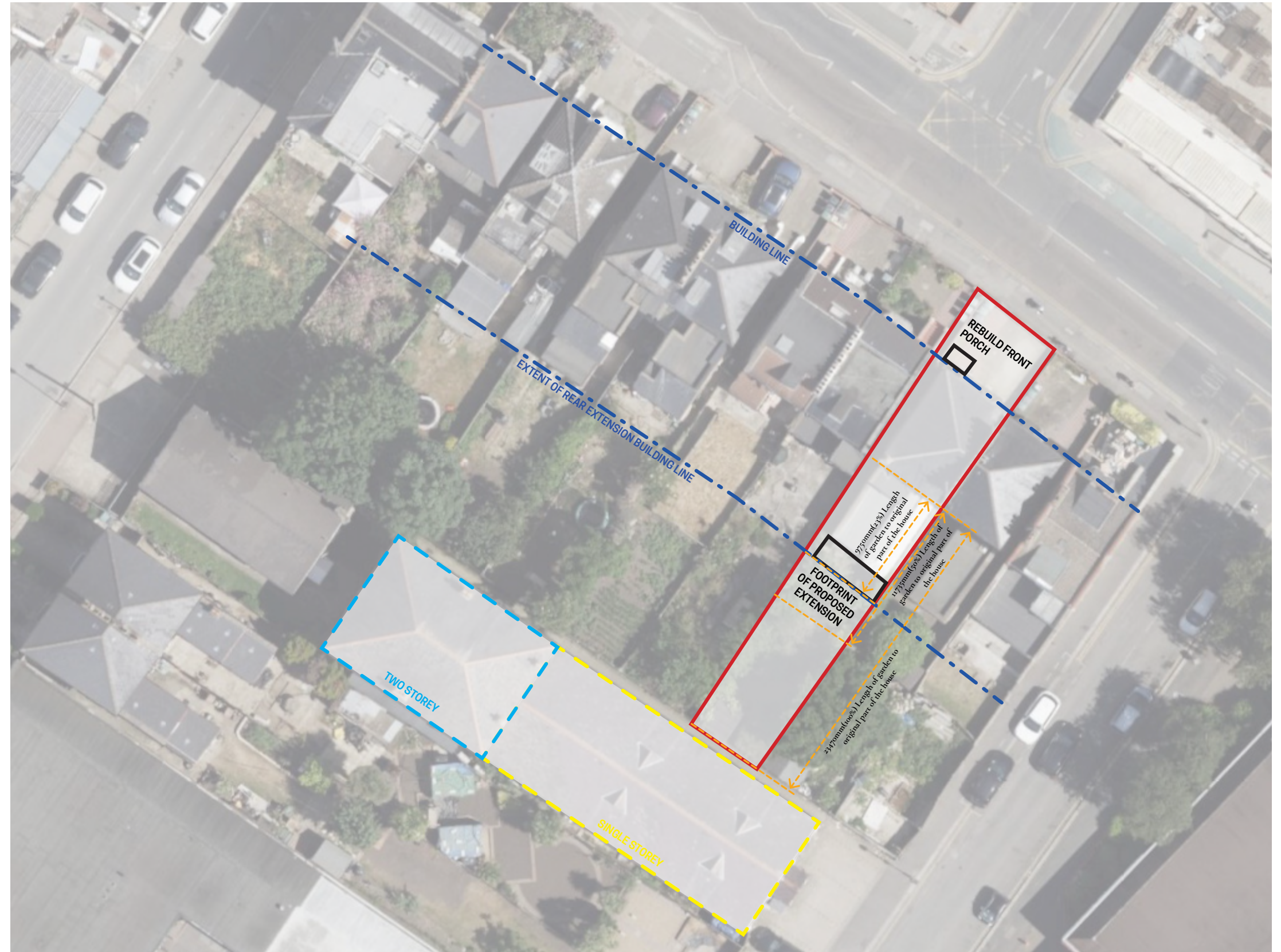
The proposed rear extension has been designed with consideration of the surrounding context and will remain within the established building line. This ensures that the development is in harmony with neighbouring properties, maintaining a consistent and appropriate appearance in the area.

Neighbouring properties

Awareness and consideration for the proposed element has been taken into account to avoid privacy and overlooking issues.

Extension footprint and proportion

The extension aligns with the building line of other rear extensions on the street and respects the original garden's length of approximately 23.4 metres. Positioned to minimise impact, it covers only 9.7 metres, or 23% of the garden, remaining well within the halfway mark of 11.7 metres or 50%. This careful design preserves the garden's proportions while ensuring a balanced footprint.



04. Design Intervention Overview

Extension to the Rear

The site is the ground floor flat and rear garden of a subdivided, 3-storey, semi-detached Victorian terrace building. The proposal seeks to extend at the rear to create an additional living area maximising the view out to the garden.

Access to the garden is maintained through the side access. The site is under ownership of the client and occupies the whole ground floor of the building. The first and second floor is accessed through the side of the property under a separate ownership of the resident.

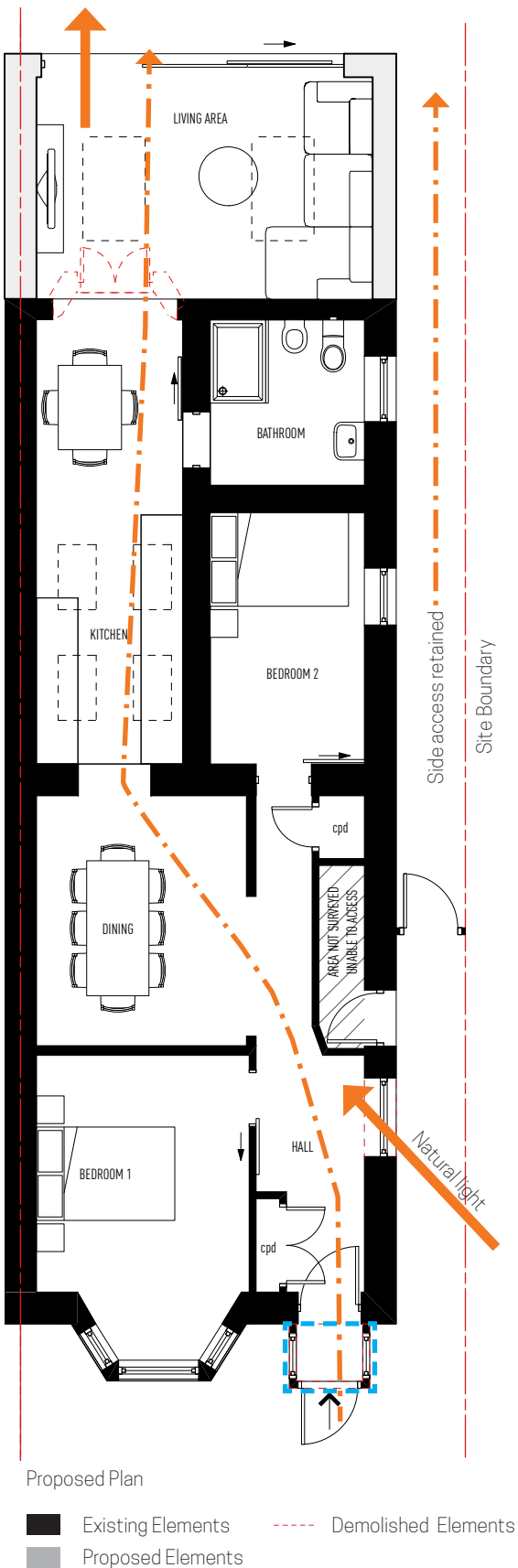
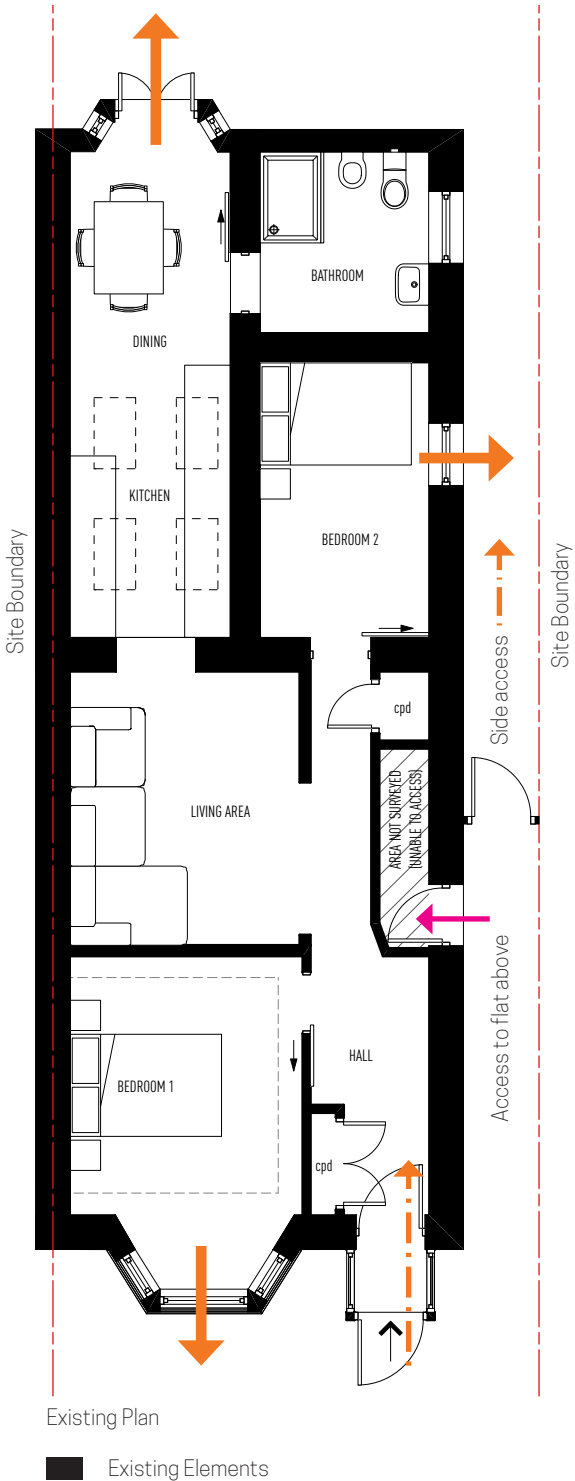
The proposed daytime living spaces are located to the rear of the house to provide sunlight and view to the garden for the most utilised rooms through the day.

The kitchen area is maintained at the central part of the house, with skylights providing natural light into the space. The dining area is set off of the kitchen for serving / socialising.

The living area is north facing giving outlook to the rear and views of the garden.

The front canopy will be replaced to a more current and standardised front porch to ensure that gives a weatherproof and spacious entrance area.

Existing GF internal area shown: 68sqm
Proposed GF internal area shown: 84sqm



04. Design Intervention Overview

Design Approach

The approach to the rear element treatment has been illustrated in a sketch to convey the proposed design intent.

Firstly, the existing element that requires rebuilding is outlined with a red dashed line. The existing hipped roof and mono-pitch bathroom need work to ensure the junction with the proposed element is properly integrated, and that the roof drainage is well constructed.

The drainage from the existing mono-pitch roof could be concealed and boxed internally as a straightforward solution. Alternatively, by adjusting the roof angle and slope, we could integrate it with the proposed roof and drain it externally via the slope and gutter of the proposed element.

The blue dashed line shows the elements that need to be removed to create a new opening in the existing dining area.

The proposed outlines of the extension are indicated by the green dashed lines. We believe a simple flat roof will be most effective in minimising the impact on the surrounding buildings and the site itself.

To maintain consistent head height at ground floor level, a proposed flat roof would be the most practical option. This avoids any impact on the first-floor window and prevents the constraints that would arise from introducing a pitched roof, which could affect views and natural daylight.



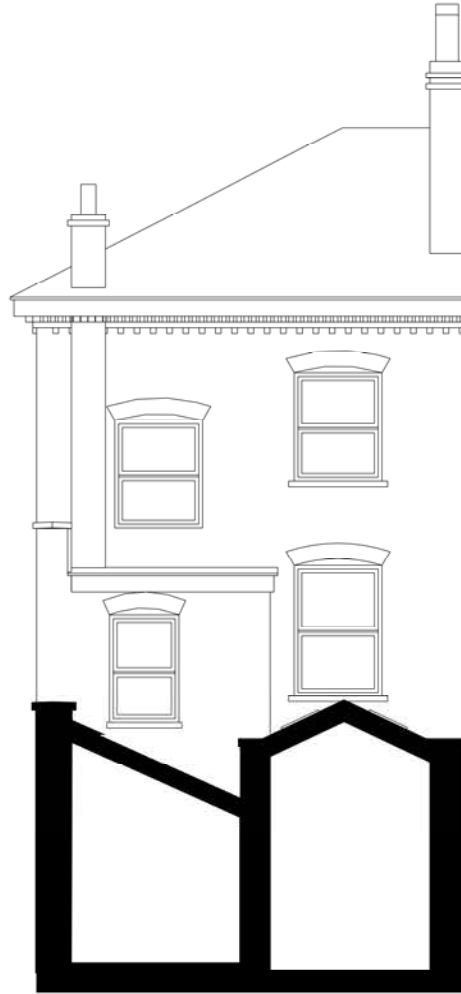
--- Existing Elements to be rebuilt --- Existing elements to be made good --- Proposed element

04. Design Intervention Overview

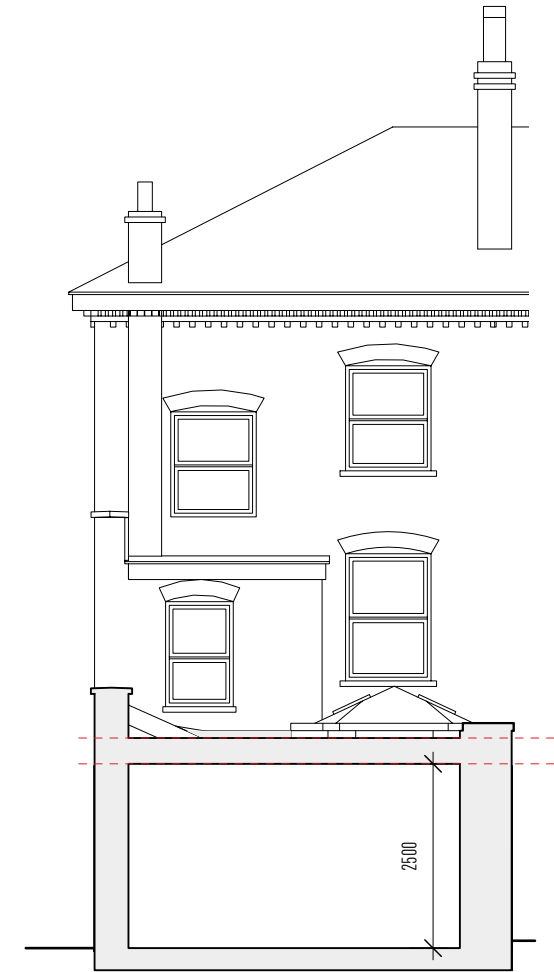
Section Cut Through

Illustrative Existing & Proposed Sections:

The proposal aims to rectify the arrangement of existing roof typologies and improve drainage by directing rainwater away from the building. The current section highlights the cut through the bathroom and kitchen areas, while the new design intends to introduce a flat ceiling height of 2.5 metres to the extended living area, enhancing both functionality and aesthetics.



01. Existing Section



02. Proposed Section

05. Massing Study

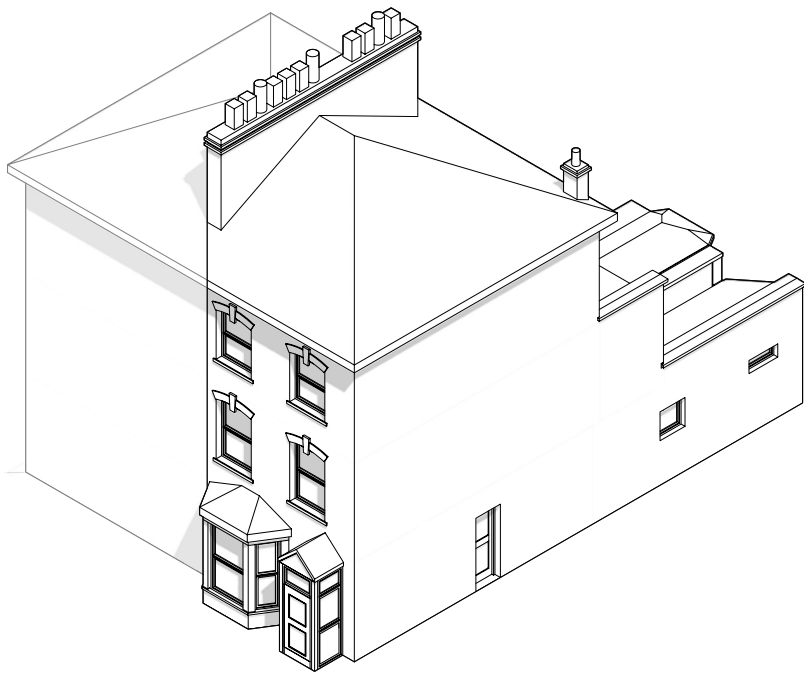
Isometric Views

Illustrative Existing & Proposed Isometric Views:

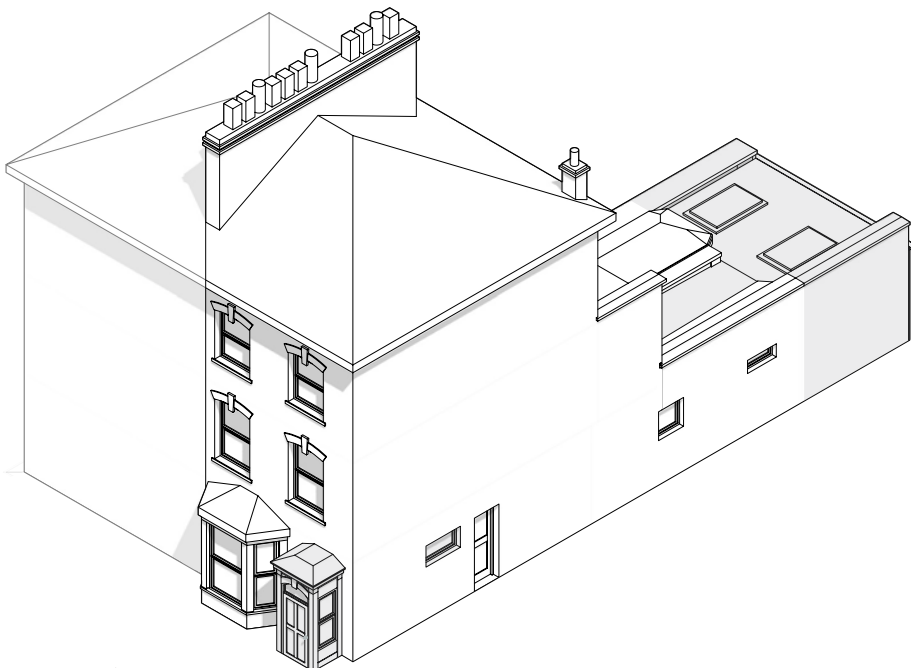
To enhance understanding and convey the proposal effectively, the following illustrative isometric views have been created to clearly demonstrate the differences between the existing and newly proposed elements.

The existing tired front porch will be replaced with a more fitting and higher-quality design that respects the proportions of the front elevation. The porch has been reduced in size and height to ensure that the main structure remains the focal point, enhancing the overall appearance of the property and creating a design that is both in keeping with and subservient to the original house.

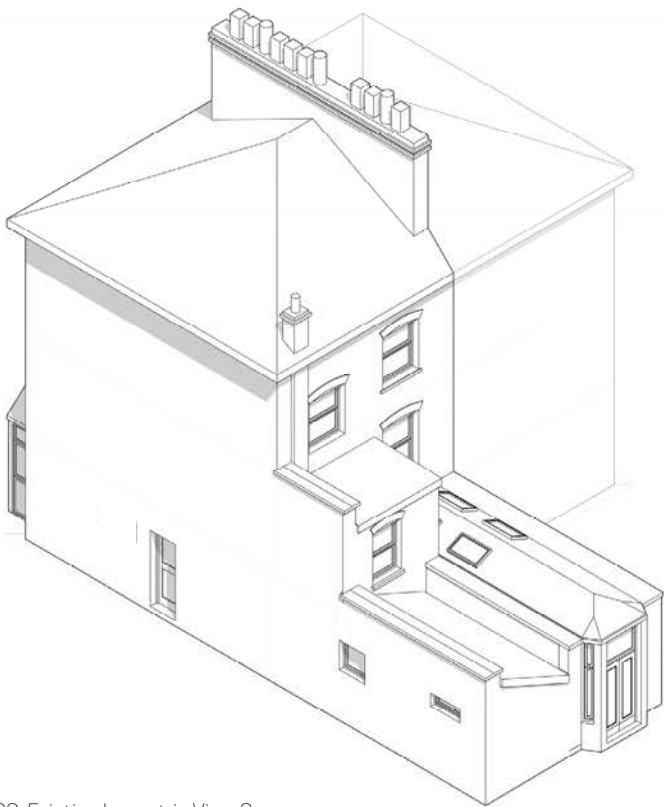
Secondly, the parapet has been extended forward from the existing walls to incorporate a new flat roof, offering a more practical solution while prioritising the building's character. The addition of two skylights allows ample natural light to flood the extension, enhancing both the kitchen and deeper dining areas. Most importantly, this design creates a strong visual connection to the garden, providing key views of the main outdoor space.



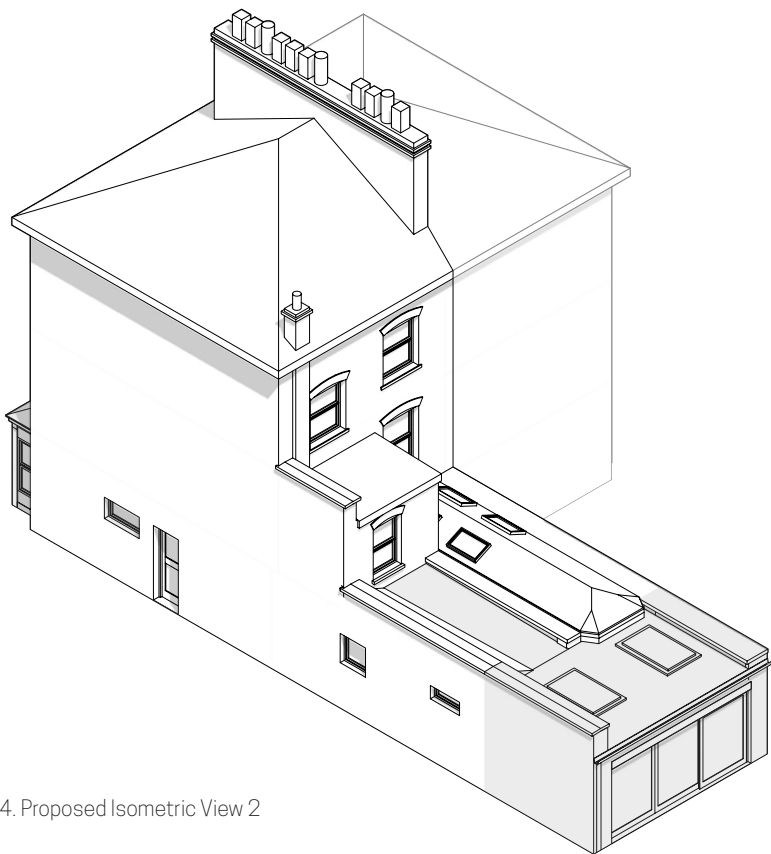
01. Existing Isometric View 1



02. Proposed Isometric View 1



03. Existing Isometric View 2



04. Proposed Isometric View 2

o6. Design & Access

(see also chapter 5 - Design Intervention Overview)

Use

The existing building is residential use. There is no proposed change of use related to this application.

Amount

The gross internal area of the building would increase by 16sqm - up from 68sqm to 84sqm.

Layout

The site consists of the ground floor flat and rear garden of a subdivided, three-storey, semi-detached Victorian terrace. The proposal aims to extend the rear of the property to create an additional living space, optimising views of the garden.

Access to the garden is retained via the side entrance. The site, owned by the client, encompasses the entire ground floor of the building. The first and second floors are accessed separately from the side of the property and are under the ownership of a different resident.

The proposed living areas are positioned at the rear of the house to ensure sunlight and garden views for the rooms that are most frequently used during the day.

The kitchen area is situated in the centre of the house, enhanced by skylights that bring in natural light. The dining area is positioned adjacent to the kitchen, facilitating serving and socialising.

The living area faces north, offering a view of the rear and the garden.

The existing front canopy will be replaced with a more modern and standardised porch to provide a weatherproof and spacious entrance area.

Scale & Massing

The purpose of the rear extension is to provide additional living area and enhanced view to the outdoor garden and ensuring the property is better suited to the end users' needs.

The internal floor space follows the original footprint of the rear extension and looks to seamlessly connect the old (original house) to the new (extended).

The proposed roof looks to be considerate to the original and aims to improve the appearance of the rear elevation and ensures that the drainage and fenestration of the blocks are well considered.

The scale and massing of the proposed elements seeks to communicate a clear hierarchy between the old (original house) replaced (front porch) and new extension to the rear (living area). The is elaborated through the reduced height of porch to the front and flat roof extension to the rear with continuation of the parapet from the previous extended part of the house (vaulted kitchen and bathroom).

Appearance

The proposed flat roof extension to the rear aims to unify and tidy the existing mix of roofscapes, with a clear focus on respecting and enhancing the building's character. This approach ensures a more cohesive and visually appealing design that complements the original structure.

The raised parapet follows the line of the existing single-storey element at the rear, aligning both roof and wall width with the original house footprint and existing single-storey structures. This design approach ensures continuity and harmony with the building's established proportions.

The proposed replacement of the old front porch comprises a lightweight glazed structure that looks to improve the appearance of the front elevation positively.

The lightweight design maintains a clear distinction between the original (Brick) building and new (framed glass) porch - both in terms of materiality and style .

Landscaping

The extension footprint will extend to the edge of the patio, with steps introduced to transition smoothly up to the garden level. This design incorporates a stepped approach, leading up to the existing garden path and creating a seamless connection between the indoor and outdoor spaces.

Access

There are no proposed alterations to the site access - pedestrian or vehicular.

The existing parking area, which accommodates approximately two vehicles, is sufficient and appropriately scaled to meet the needs of the occupants of the ground floor property.

Access to the proposed extension will be created by removing the existing double French doors, establishing a seamless connection between the new living area and the kitchen and dining space. This design allows for a more open, integrated layout that enhances the flow between these key areas of the home. For details, see Design Intervention Overview section.

07. Summary

Conclusion

Evaluating the proposal's suitability required careful consideration of various constraints, including the site layout and boundaries, views, the quality of existing buildings, and the relationship with neighbouring properties. Additionally, internal amenity and access were key factors in ensuring the proposal would be both practical and respectful of the surrounding environment.

The proposal aims to achieve multiple objectives while preserving and enhancing the character of the existing building. These key goals include the following items:

- The proposal includes a reconfiguration of the internal layout to enhance circulation and improve the overall flow throughout the property. This redesigned layout aims to create a more efficient and cohesive space, making movement between rooms smoother and ensuring a more practical and enjoyable living environment.
- The proposed rear extension is designed to accommodate an open-plan living space, creating a spacious and versatile area that enhances the functionality of the home. This open-plan layout promotes a sense of connectivity and allows for flexible use of the space, ideal for modern living and social gatherings.
- The existing front porch will be rebuilt to comply with current building standards, ensuring it meets modern safety and structural requirements. This refurbishment will improve both the functionality and appearance of the porch, while maintaining harmony with the character of the property.

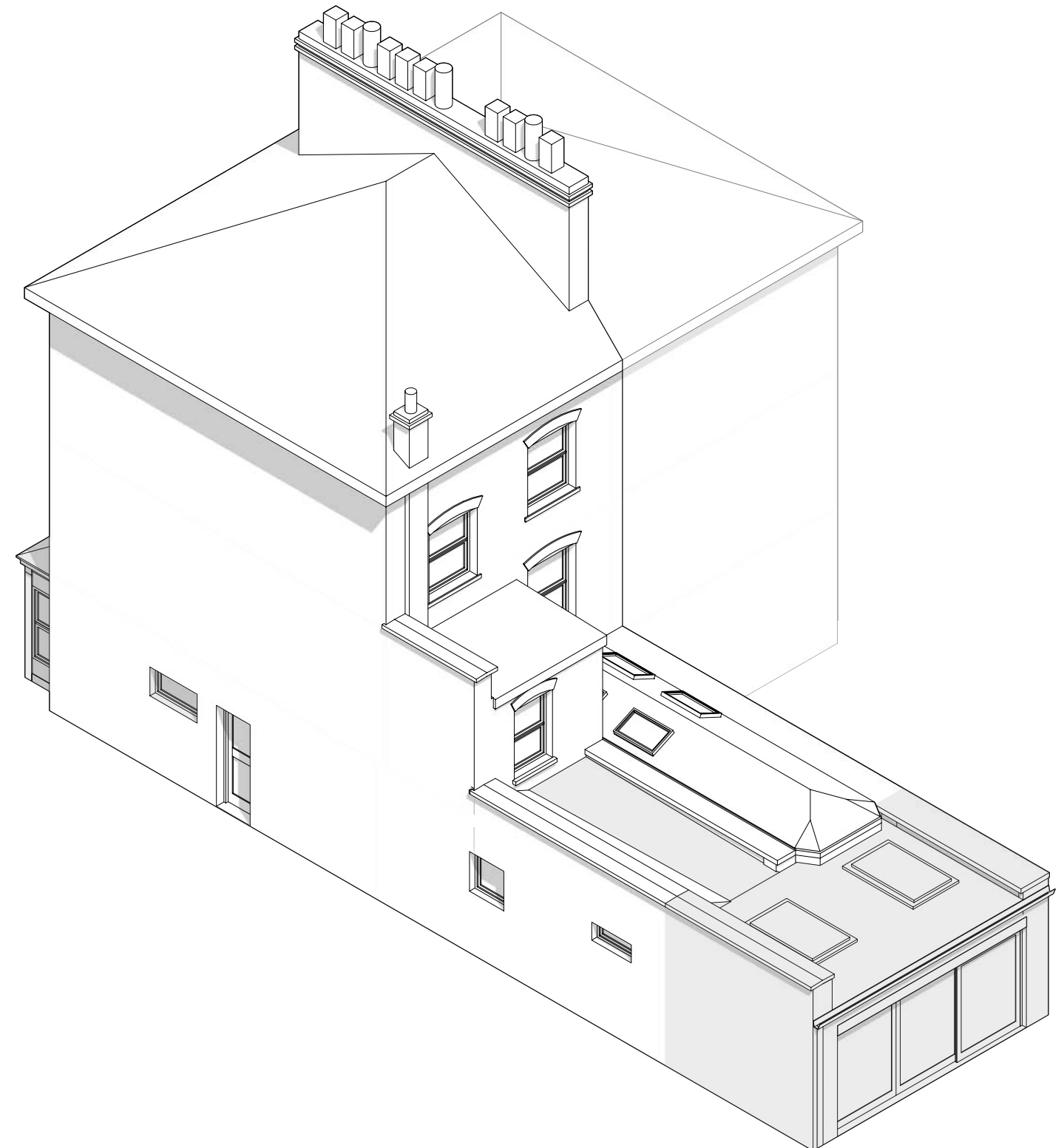
The proposal offers an enhanced level of amenity for the residents, improving the overall living experience. Additionally, it has been designed to ensure that there is no unacceptable impact on the amenity of neighbouring properties, maintaining a respectful balance between the needs of the occupants and the surrounding environment.

Great care and consideration have been taken to ensure that the proposal is appropriate and justifiable in terms of its scope and scale. It has been designed to respect the character of Mayes Road and its broader context, ensuring that the development complements the surrounding area and maintains the local architectural harmony.

The benefits of the proposal are considered to outweigh the potential harm.



01. Proposed Rear Elevation



02. Proposed Isometric View

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