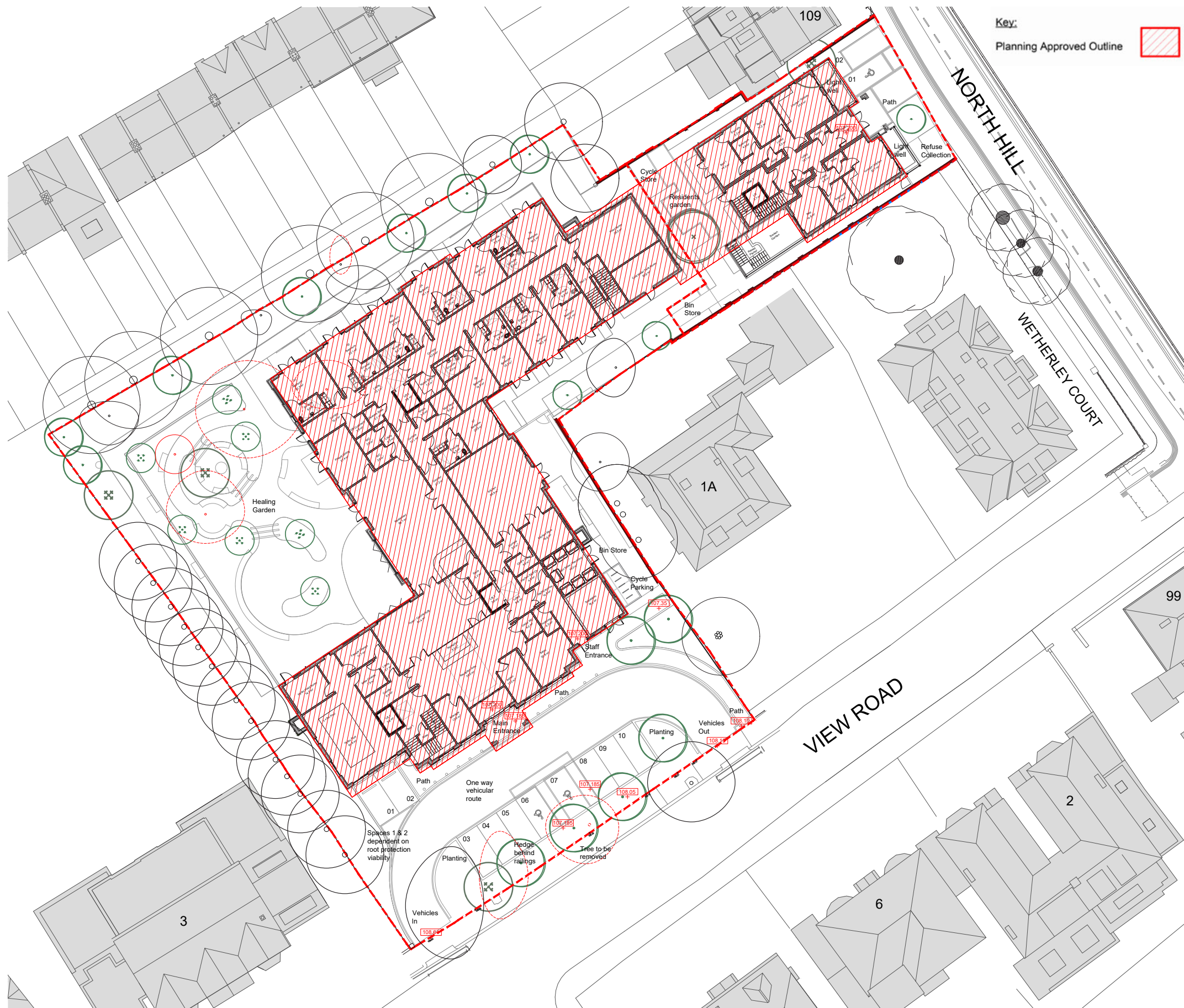




Section 6. Approved and Proposed Comparison



PROPOSED AND APPROVED FOOTPRINT COMPARISONS

The proposal broadly sits within the same footprint as the existing permission.

The main entrance to the care home has been set back further than the existing permission to accommodate the car park.

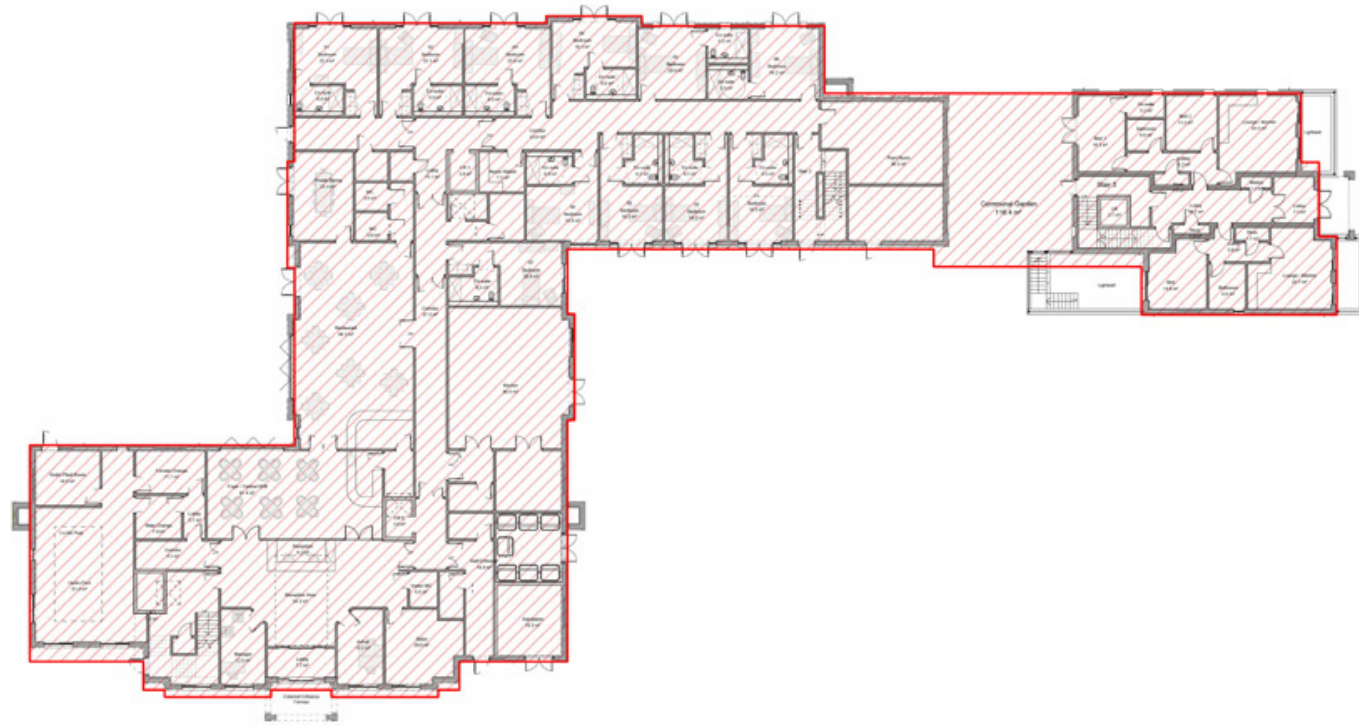
A portion of the two-storey element opposite 1A View Road is omitted in favour of creating clear separation between the care home and the flats, also providing additional amenity space.

The residential flats include a light well to the rear, which will allow light into the living space of the basement unit.

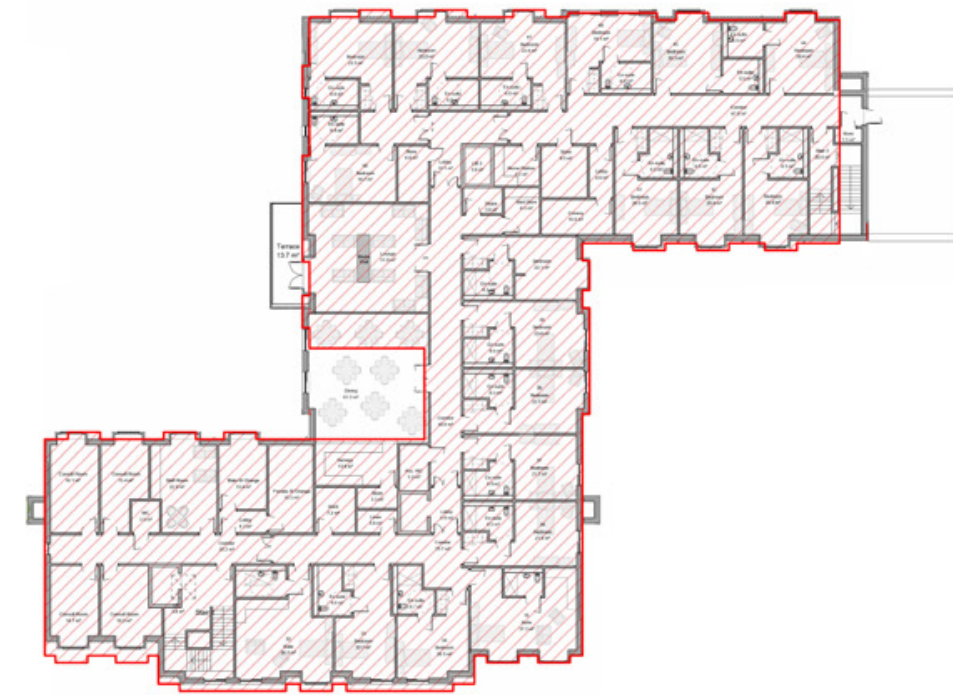
VEHICULAR PARKING

The basement below the care home has been omitted. It is proposed that parking to the care home is sited at the site frontage. A single access route is proposed with parking for 10 no. vehicles.

Parking to the residential flats is sited at the building frontage on North Hill, much as per the existing building configuration. 2 no. spaces are achieved.



Ground Floor Comparative Footprint Plan



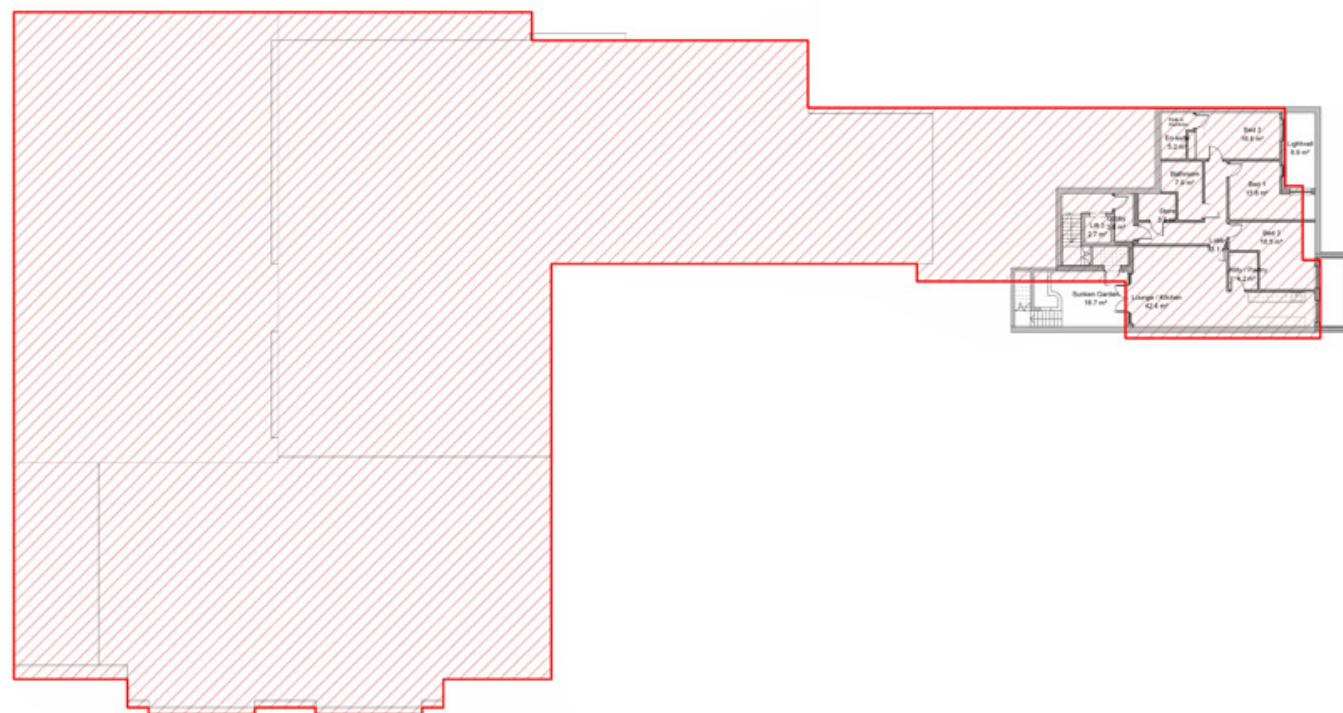
Second Floor Comparative Footprint Plan



Second Floor Comparative Footprint Plan



Third Floor Comparative Footprint Plan



Basement Floor Comparative Footprint Plan



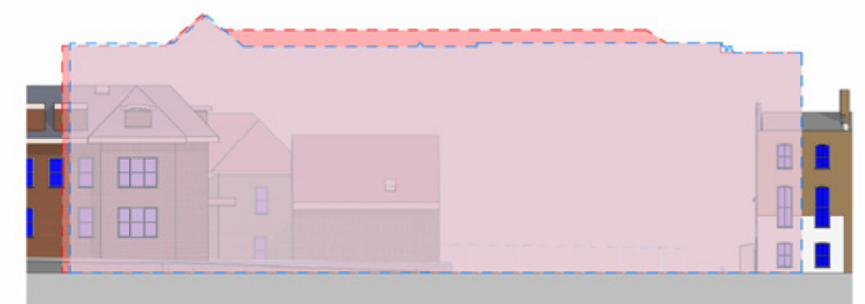
First Floor Comparative Footprint Plan

Key:
Planning Approved Outline





Elevation A-A - Comparative



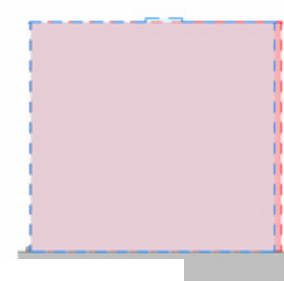
Elevation B-B - Comparative



Elevation C-C - Comparative



Elevation D-D - Comparative

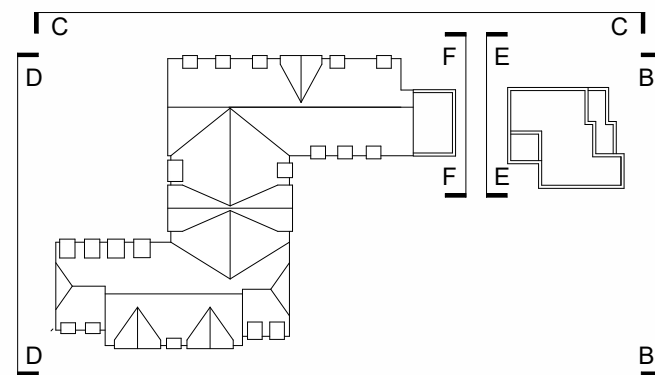


Elevation E-E - Comparative



Elevation F-F - Comparative

KEY:
Previous Planning Approved Building Outline
Proposed Building Outline



PROPOSED AND APPROVED COMPARISONS

Comparative floor plans and elevations demonstrate that no discernible negative change is proposed to the height, scale, or massing of the design proposal.

The most noticeable external change is the omission of a portion of the two-storey element opposite 1A View Road, in favour of creating both clear separation between the care home and residential flats, in turn providing resident amenity space for the flats.

CHANGE OF USE CLASS AT NORTH HILL

The site has an established C2 use, and this will be retained for the care home, however it is proposed that the North Hill portion of the site becomes C3 use as residential flats. We believe this to be more appropriate in the North Hill residential setting, with all commercial activities carried out at View Road, where the care home and well-being centre will be accessed.

OMISSION OF BASEMENT TO THE CARE HOME

The basement is to be fully omitted below the care home, for reasons of viability and buildability. The omission of the basement significantly lessens the scale of the development. The basement to the residential flats is to be retained and includes a 3-bedroom family unit with a private sunken garden.

CAR PARKING FOR THE CARE HOME

The site is to be accessed via the existing singular vehicle access route. Parking is to be reduced to 10 no. spaces and will be set behind a new retaining boundary wall. The car park will be partially screened by this wall, which will have planting set behind railings sat on low level brick walling to match the care home brick.

CAR PARKING REQUIREMENTS FOR THE RESIDENTIAL FLATS

2 no. parking spaces are indicated to the frontage of the flats, accessed via North Hill, in similar fashion to the existing arrangement on site.

URBAN GREENING FACTOR & BIODIVERSITY REDUCED

There will be additional hard landscaping at both frontages to accommodate vehicle parking. It is to note that the building is split is two, in order for a rear garden and amenity space to be created for the flats. The scheme benefits from green roof areas and will achieve an Urban Greening Factor of 0.318 across the site.

LANDSCAPING

Minimal change is proposed to the care homes' healing garden. The residential flats will benefit from a communal garden to the rear. This area will also include bin and cycle storage facilities.

OVERLOOKING CONCERNS

Overlooking will continue to be minimised, with no additional windows facing residential properties. Terraces are included to each flat at North Hill and these will be screened by way of balustrading with obscure glazing which will ensure privacy to neighbouring properties.

WINDOW POSITIONS & GENERAL FENESTRATION

Window positions and fenestration are broadly unchanged to all street facing elevations. Minor changes are proposed to the rear garden facing elevations, where window positions are adjusted to suit the relocated well-being centre and internal plan reconfigurations.

BUILDING HEIGHT AND MASSING

Building height remains unchanged and massing broadly remains the same.

PROPOSED FLOOR SPACE

The proposal achieves a total of 4,907.5m² (3,899.3m² care home + 1,008.1m² residential flats). This is a reduction of 1,922.7m² over the current planning approval of 6,830.2m².

ADDITION OF AIR SOURCE HEAT PUMPS TO FLATS ROOF

The proposal indicates 9 no. air source heat pumps to the roof of the North Hill flats. The pumps include an acoustic housing to ensure no noise disturbance to neighbours. The acoustic housing will be barely noticeable from eye level at street level.



Section 7. Access

CARE HOME ACCESS

Residents and guests are expected to arrive by way of private ambulance, where they will be dropped off in the main car park. A drop off / deliveries area is provided for ease of vehicle movements. The site benefits from good transport links and it is anticipated that staff will use public transport to travel to and from the site. A separate dedicated staff entrance is located to the right side of the frontage to limit delivery movements through the resident hub.

The ground floor of the care home will focus on providing a vibrant, open, welcoming entry to a central hub. The hub will be focal point, a space to meet, access facilities, and to access the well-being centre. The central hub is informed by the shape and use of the site and links the internal space with what will be the secure and private healing garden.

The ground floor will broadly sit as per the existing level and will provide level access throughout. External levels will be graded through planted areas, and paths and access routes will be level with no external gradient steeper than 1:20. Each entrance into the building, and exit from dayrooms, and similar areas, will have level thresholds for ease of wheelchair use. Strategically placed 13-person lifts will allow for access to the upper floors which will provide level access throughout.

Corridors are designed to be a minimum 1.8m width, to allow for moving of beds and sufficient width for wheelchairs to pass each other. All doors to resident areas will be designed with a minimum clear width of 800mm, allowing sufficient space for wheelchair access.

All rooms will benefit from generous floor space, wheelchair friendly wet room en-suites (large enough to allow for staff assistance) and their own private kitchenettes with drink making facilities. Private patios will be provided at the ground floor, whilst a number of Juliet balconies will be provided at first floor. All windows are designed to allow views for wheelchair users.

The building will be designed to be Building Regulation Document Part M and Equality Act compliant and will meet all current standards with regards to fire safety and allowing for access by the fire authority in case of emergency.

RESIDENTIAL FLATS ACCESS

Two parking spaces are provided at the building frontage, including 1 no. accessible space. Not all residents are expected to own a car and the site benefits from good transport links having been accepted as PTAL 3 level.

The ground floor will sit as per the existing level so as to broadly maintain the same relationship with its neighbour and the public highway.

The frontage will be generally level, with no external gradient steeper than 1:20. Each floor within the building will provide level access throughout and both the front and rear doors will provide level thresholds.

An 8-person lift is located centrally, within the main stairwell, for ease of circulation throughout the building.

The building will be designed to be Building Regulation Document Part M and Equality Act compliant and will meet all current standards with regards to fire safety and allowing for access by the fire authority in case of emergency.

CARE HOME BUILDING ENTRANCE

The care home main entrance is clearly defined, in a prominent central location facing out to View Road. The main entrance will be managed by electronic video / audio access control or fob system which will have data logged and recovery provision.

VIEW ROAD VEHICULAR ACCESS

The site is bounded by a newly proposed low-level wall at the frontage. The access point will be open and inviting, without the restriction of gates. CCTV will monitor the vehicular access point.

CCTV

CCTV will be installed to comply with the requirements of BS EN 62676: 2014 video surveillance systems for use in security application and will monitor the buildings perimeters and main access points. The system will have recording capability and will be monitored within the home.

CARE HOME LIGHTING

24-hour lighting will be proposed to communal areas, including the communal foyer, corridors, restaurant, stairwells, and all entrance / exit points.

CARE HOME POSTAL DELIVERIES

Postal deliveries will be via the main building entrance. Large deliveries will be greeted by the reception, where access will be controlled. CCTV will be installed in the lobby area and will cover the front entrance and the mailbox and will meet DHF TS008.

CARE HOME BOUNDARY TREATMENTS

The development will be fully enclosed to all boundaries with treatments existing and proposed to a min height of 1.8m. The frontage, to the South, will include a new brick & metal rail wall.

To the West, dense quality mature vegetation will create a green boundary. To the North & North-East, a timber panel fence will be erected. The East will retain an existing brick wall adjacent 1A View Road and will extend to the frontage in timber panel fencing.

CARE HOME EXTERNAL DOORS & WINDOWS

Main entrance doors will be to a minimum standard of LPS 1175 SR2 or STS 202 BR2. They will be self-closing and self-locking with key coded access and push button to exit. Exit doors and other external access doors generally will have access control via a door entry panel, with an integrated camera that can record images of people entering the premises. All other accessible doors and windows providing access to resident areas, including the gardens, will be tested and certificated to a minimum standard of PAS 24:2016. Any integral glazing will meet a minimum standard of BS EN 356:2000 class P1A. Fire release buttons throughout the scheme will be fitted with an electronic reset mechanism and not manually reset with a key (break glass type). The reset will occur automatically after 3-5 minutes and will not require a staff member to reset the locking system.

CARE HOME SECURE GARDENS

The secure resident garden will be bounded by a minimum of 1.8m high timber panel fence or existing brick wall structures. All pedestrian gates will span from floor to min 1.8m height to prevent gaps for intruders to climb over or under. They will be of a robust construction and not easily climbable or scalable and with no mid rails. They will be self-closing and self-locking with fob access and push button to exit, with the exit button positioned so as not to be accessible from the street. Pedestrian gates will be a certified product to LPS1175 SR2 or STS 202 BR2. They will be fitted with two Maglocks of 500kg holding force fitted one third from the bottom up. They will be self-locking with fob access and push button to exit, with the push button positioned so as not to be accessible from the street.

Pedestrian gates to the care home will be subject to CCTV / audio access control or fob system and will aim to be UL293 compliant. The fob system will have data logged and recovery protection, allowing interrogation for fob use.

Footpaths are to include lighting to the relevant levels as defined in BS 5489:2013.

FLATS BUILDING ENTRANCE

The main entrance is clearly defined and set in a prominent central location facing North Hill. The site is open and benefits from good visibility from the highway which should discourage anti-social behaviour.

NORTH HILL VEHICULAR ACCESS

The frontage will be open and without the restriction of a boundary treatment. Vehicles will pull into the site direct from North Hill. CCTV will monitor the site frontage.

CCTV

CCTV will be installed to comply with the requirements of BS EN 62676: 2014 video surveillance systems for use in security application and will monitor the buildings perimeters and main access points. The system will have recording capability and will be monitored within the home.

FLATS LIGHTING

24-hour lighting will be proposed to communal areas, including the building frontage, communal foyer, corridors, stair well and rear garden.

FLATS POSTAL DELIVERIES

Postal deliveries will be via the main building entrance where an intercom system will allow access to a secure covered lobby. CCTV will be installed in the lobby area and will cover the front entrance and the mailbox and will meet DHF TS008.

FLATS BOUNDARY TREATMENTS

The site frontage, to the East, will be open and inviting allowing vehicular access. The South will retain an existing brick wall which will be re-pointed and made good.

The East boundary will be timber fencing shared with the care home. The North boundary will be an existing masonry wall with timber panel infill fencing.

FLATS EXTERNAL DOORS & WINDOWS

The main entrance door and the stairwell / rear door will be to a minimum standard of LPS 1175 SR2 or STS 202 BR2 and will be self-closing and self-locking with resident fobs and push button to exit. Both doors will have an integrated camera that can record images of people entering the premises. All doors and windows will be tested and certificated to a minimum standard of PAS 24:2016. Any integral glazing will meet a minimum standard of BS EN 356:2000 class P1A.

FLATS HOME SECURE GARDENS

The resident garden will be bounded by a minimum of 1.8m high timber panel fence which will be shared by the care home. All pedestrian gates will span from floor to min 1.8m height to prevent gaps for intruders to climb over or under. They will be of a robust construction and not easily climbable or scalable with no mid rails. They will be self-closing and self-locking with fob access and push button to exit, with the exit button positioned so as not to be accessible from the street. Pedestrian gates will be a certified product to LPS1175 SR2 or STS 202 BR2. They will be fitted with two Maglocks of 500kg holding force fitted one third from the bottom up. They will be self-locking with fob access and push button to exit, with the push button positioned so as not to be accessible from the street.

Pedestrian gates will be subject to CCTV / audio access control or fob system and will aim to be UL293 compliant. The fob system will have data logged and recovery protection, allowing interrogation for fob use and the facility to manage problematic users.

Footpaths are to include lighting to the relevant levels as defined in BS 5489:2013.

REFUSE COLLECTION & DELIVERIES

Vehicle access at View Road will generally use the existing entry point in a one-way arrangement with parking for 10 no. spaces provided at the site frontage.

Vehicle access at North Hill will be minimised with 2 no. spaces provided, one of which will be fully accessible.

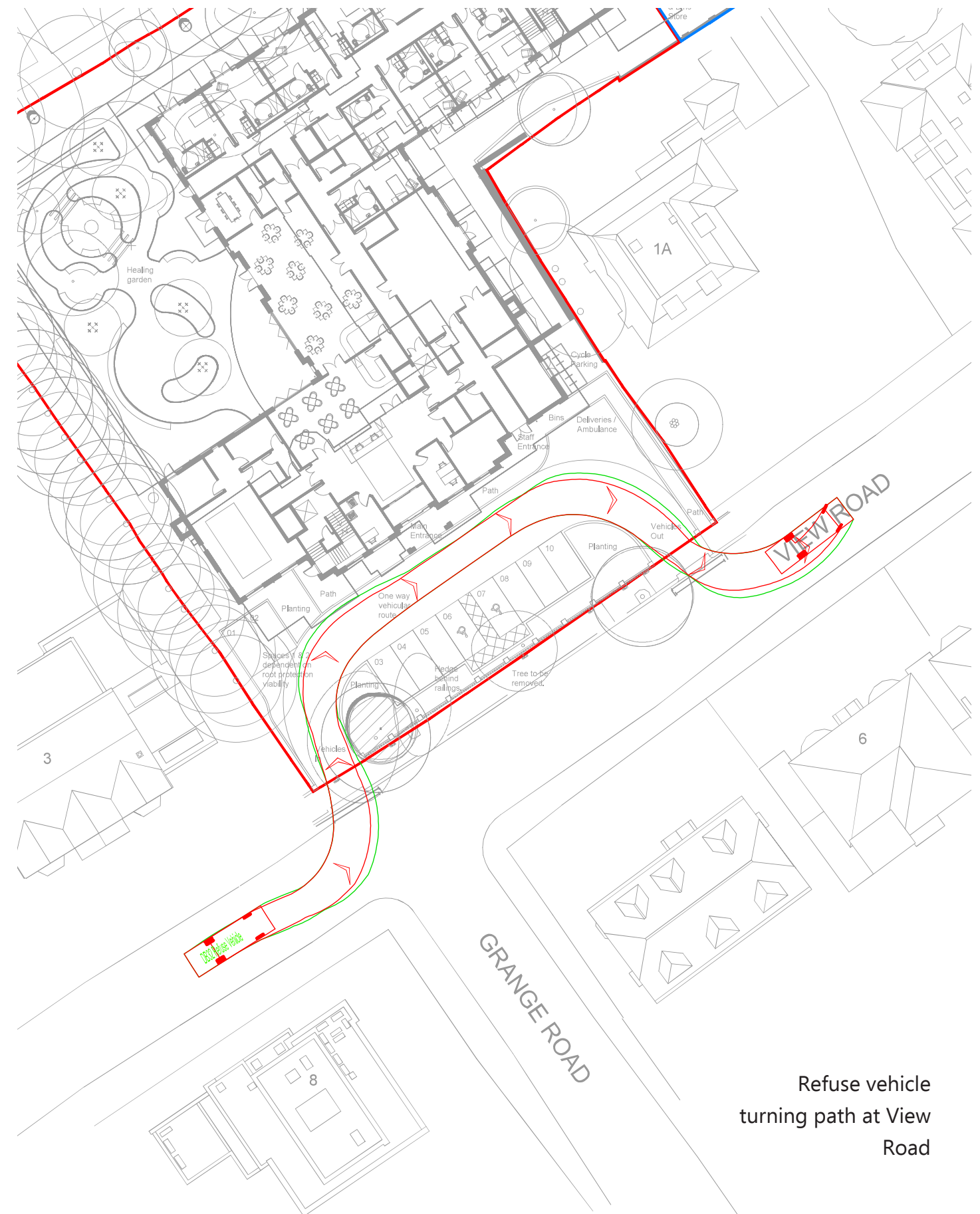
Parking studies have been undertaken, to ensure that the level of parking provision to both the care home and the flats are sufficient to accommodate demand, without unduly encouraging vehicle trips.

Drop-off, deliveries, and servicing for the care home will take place on View Road, using spaces within the site boundary. All waste collection will be from the dedicated store at ground floor level adjacent to the servicing bay and will be collected by a private waste specialist suitable for medical / care use. The refuse collection area to the care home is located adjacent the substation and is sited so that there is no visibility of the louvred doors, and smell will not be noticeable on the pedestrian access route.

Residential waste collection will be undertaken by the public service already collecting from residential properties on North Hill as part of the same route. Residents will move bins from the rear permanent waste store to the temporary kerbside collection area, which is within 10m of the collection point, and moved back to the rear of the site once emptied.

All deliveries to the care home will be managed and will be directed to access the site via View Road, where a deliveries zone is located adjacent the staff entrance.

The care home includes a covered cycle shelter with provision for 8 cycles is proposed in close proximity to the staff entrance. The residential flats include a covered cycle shelter with provision for 16 cycles in the resident garden.





Section 8. Conclusion

CONCLUSION

The new proposal will include a C2 use class 50 bed care home, with a well-being facility, and a C3 use class 9-unit block of residential flats. The proposal achieves a total of 4,907.5m², which is a reduction of 1,922.7m² over the current planning approval of 6,830.2m².

The scale and massing of the proposal has been carefully considered in order to further reduce its impact on neighbouring properties. The proposed development is of no greater height or massing to that currently planning approved.

The development will be high quality, energy efficient, and constructed in accordance with all current regulations and standards as a minimum.

The development will meet all current energy performance standards and look to use renewable technologies as far as is practicable. It is intended that the new care home be a sustainable development.

Landscaping, refuse storage, cycle parking, and vehicular parking will be included. Parking studies have been undertaken, to ensure that the level of parking provision to both the care home and the flats are sufficient to accommodate demand, without unduly encouraging vehicle trips.

The proposed care home and the residential flats will offer the opportunity to positively enhance the character and appearance of the local area by way of their contribution and visibility to the street scape.

The scheme will provide 60 full time positions for local people in its operation, and numerous short-term opportunities throughout the construction period.

It is considered that this document demonstrates that the proposal is in accordance with the requirement of the local authorities planning policy objectives.





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