



A193 41 Hillfield Avenue

BRE Assessment

12.11.2024

BRE Assessment

Introduction



The following assessment is to be read in conjunction with the application drawings for the Rear infill extension and change of use from Large HMO (Sui Generis) to Dwellinghouse (C3) at 41 Hillfield Avenue (Ref: HGY/2024/I95I).

The purpose of the assessment is to address the concerns raised by the Planning Officer relating to the height of the proposed boundary wall.

To support our proposal, we have conducted a Building Research Establishment (BRE) 45-degree test on the neighbouring property to 41 Hillfield Avenue. This test aims to validate that the height of the proposed boundary wall will not adversely affect the daylight received by the neighbouring windows at 39 Hillfield Road.

There is no rear extension therefore a BRE test is not required at the boundary with 43 Hillfield Avenue.

The methods set out in the BRE document 'Site Layout Planning for Daylight & Sunlight: A Guide to Good Practice (2022)' have been used to assess the proposals.

BRE Assessment Existing Rear Elevation



The specific window in question is a patio door, and as per BRE guidelines (Section 2.2.17), the assessment measurement has been taken from a point 1.6 metres above the internal floor level. This standard ensures that the analysis accurately reflects potential impacts on daylight within the primary living space.

Solely applying the 45-degree test would limit the infill extension to 2.1 metres at the boundary line. However, our findings indicate that the existing two-storey outrigger at 41 Hillfield Avenue is the primary limiting factor. Consequently, the proposed extension (with a boundary wall height of 2.5 metres) will not create any additional obstruction or reduction in daylight to the neighbour's windows at 39 Hillfield Road beyond what is already caused by the existing structure.

There is a small existing ground floor extension to the infill of 41 Hillfield Avenue. This extends 1.2 metres beyond the original rear wall of the property. The wall is 3.8 metres at its lowest point and 4.1 metres at its highest point. This is located immediately adjacent to the patio door. This extension will be removed as part of the proposed works and the new boundary wall will be sited at a lower level than it is currently.

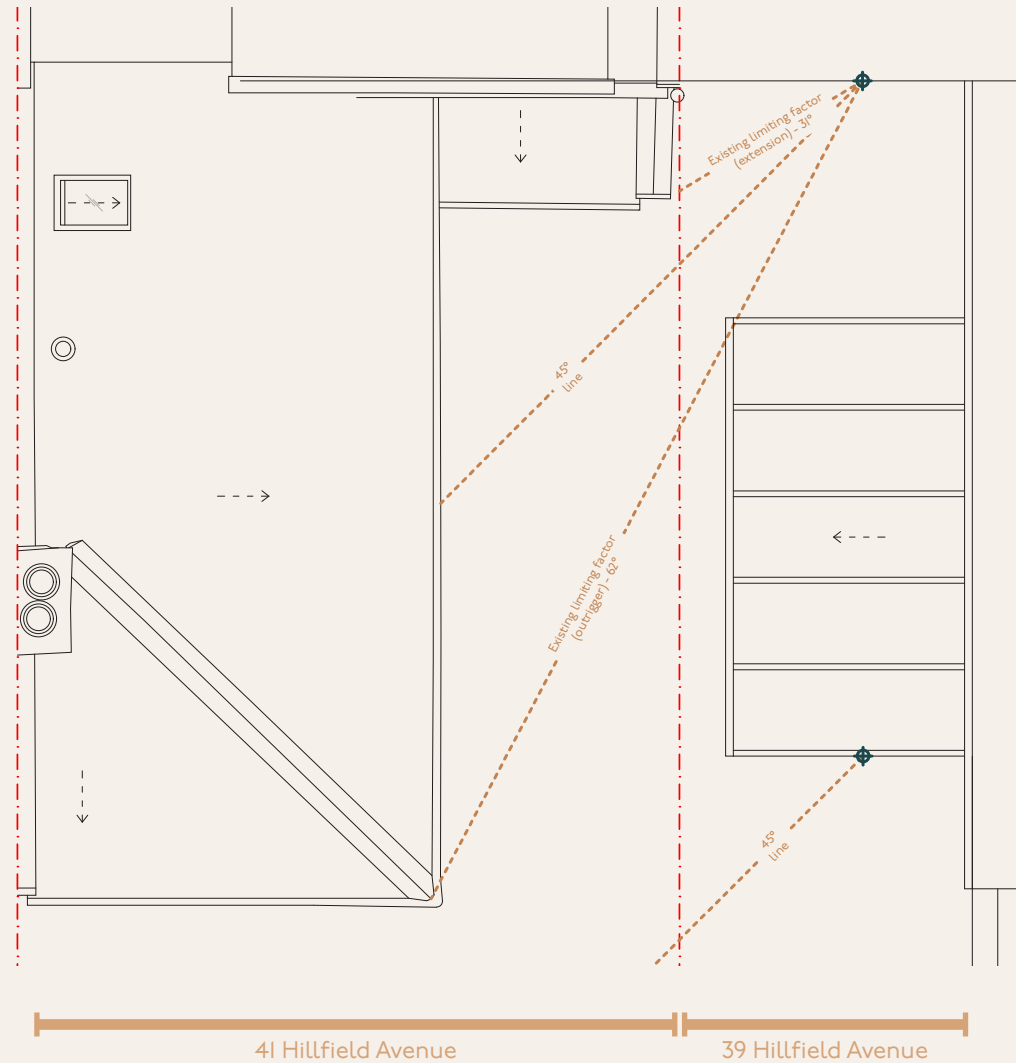
39 Hillfield Road has an existing infill extension, though it is unclear whether planning permission was granted for this structure. While the roof of the extension is glazed, the internal ceiling is solid and enclosed (as seen in the attached photographs). This extension is positioned near to the boundary line and, due to its placement relative to the patio door, already contributes to a sense of enclosure.



BRE Assessment Existing Roof Plan



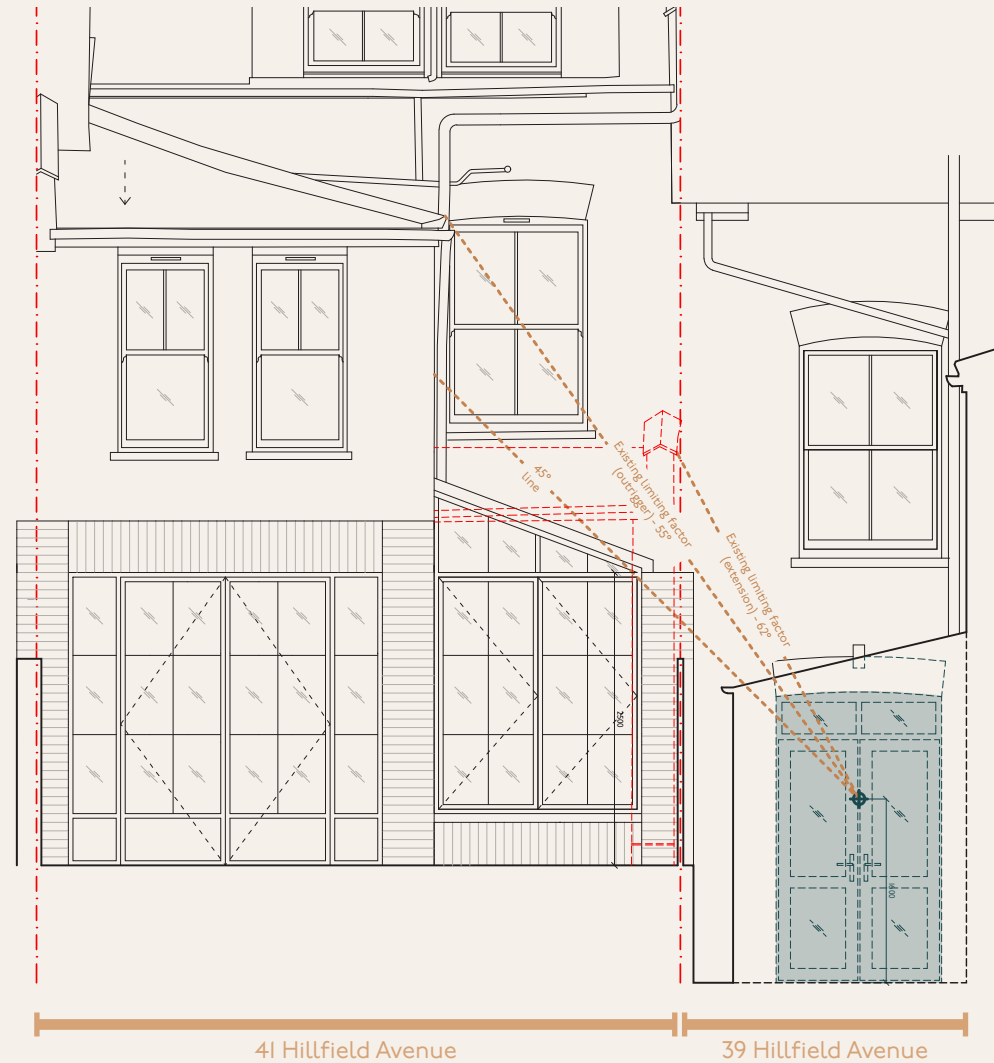
In plan view, the primary limiting factors affecting daylight and sunlight are the existing two-storey outrigger at 41 Hillfield Avenue and the side extension at 39 Hillfield Avenue. Applying the BRE 45-degree test, it is noted that the line from the existing outrigger intersects with the side extension of 39 Hillfield Avenue. This indicates that the proposed infill extension would not contribute to any additional obstruction or reduction in daylight to the neighbouring windows beyond the impact already imposed by the existing side extension at 39 Hillfield Avenue.



BRE Assessment Proposed Rear Elevation



Solely applying the 45-degree test would limit the infill extension to 2.1 metres at the boundary line. However, our findings indicate that the existing two-storey outrigger at 41 Hillfield Avenue is the primary limiting factor as per BRE guidelines (Section 2.2.18). Consequently, the proposed extension (with a boundary wall height of 2.5 metres) will not create any additional obstruction or reduction in daylight to the neighbour's windows at 39 Hillfield Road beyond what is already caused by the existing structure.



Additionally, the proposed extension remains within the 45-degree line when measured from the glass door at the rear of the side extension to 39 Hillfield Avenue.

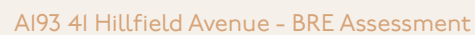




Figure 1



Figure 2



Figure 3

BRE Assessment Conclusion

Using the methods outlined in the BRE document 'Site Layout Planning for Daylight & Sunlight: A Guide to Good Practice (2022),' we have assessed the impact of the proposed extension on the neighbouring property at 39 Hillfield Avenue.

Our analysis concludes that the proposed extension, with a boundary wall height of 2.5 metres, would not result in any additional impact on daylight beyond that already caused by the existing two-storey outrigger at 41 Hillfield Avenue and the side extension at 39 Hillfield Avenue.





Thank you.

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