

Design, Access & Heritage Statement

111 Nightingale Road - First Floor Rear Extension

13th December 2024

Ref: PP-13489795



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Introduction

The current building is a two-level semi-detached home, it is located on a street featuring a diverse mix of residences, such as purpose-built apartments, hipped-roof cottages, and gable-fronted houses influenced by the Arts and Crafts movement. Primarily the neighbouring properties are 2 or three storeys but to the south are two 15 storey tower blocks.



Front of property



Rear of property

The proposed works include the construction of a 12m² rear first-floor extension. As the extension is to the rear, it will not be visible from the street. The design aligns with neighbouring properties, many of which have been extended at both ground and first-floor levels to a similar extent. The extension will harmonise with the local context by matching the form and materials of the surrounding buildings.



Neighbouring properties



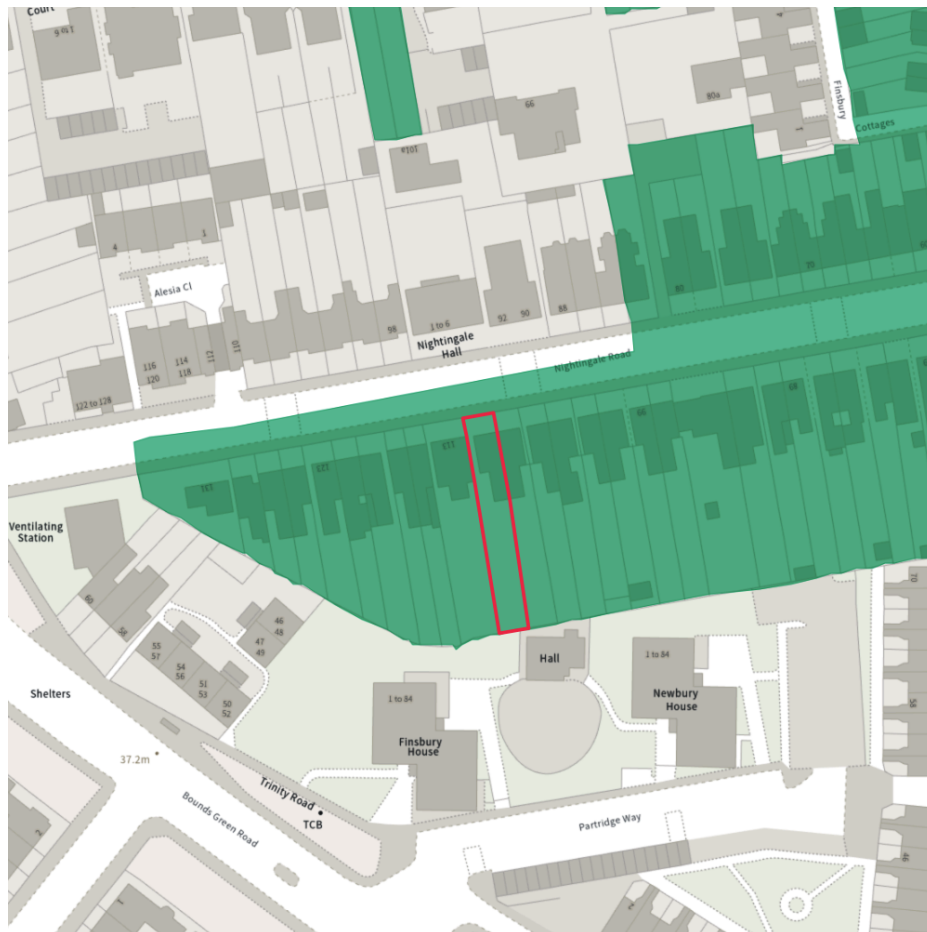
Neighbouring properties to the east that have similar two storey rear extensions

Site and Context

Nightingale Road is a mixture of a number of different styles of houses, 111 is at the end of a row of identical properties, all dating from the same period. Its neighbour to the west is a 3 storey set of flats that breaks up the rhythm of the repeating houses.

Among the houses that share 111's style, all have been extended at both ground and first floors except for Number 111, which was only extended at ground level in the late 1990s.

The property is located within the Bowes Park Conservation Area (pictured below).. This conservation area, designated in 1994, covers 22.3 hectares around Bowes Park, including Bowes Park train station and Myddleton Road, a street with a variety of local shops.



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Design Proposal

The existing first floor contains two bedrooms and a bathroom. The proposed extension will add a third bedroom, located above the current ground-floor extension. This addition will restore parity with the neighbouring three-bedroom properties on the street. The new bedroom will include a south-facing window, avoiding direct views into neighbouring properties and mirroring the design of adjacent houses.

At ground level, the existing kitchen is narrow and dark, with limited natural light. The proposal seeks to reconfigure this space into a bright, open-plan family kitchen, featuring French doors that open onto the garden.

The proposed extension will aim to match neighbouring properties in its form and materials, matching the rhythm of the houses to the east, which all extend to the proposed distance at ground and first floor and brick will be chosen to blend seamlessly with the surrounding architecture.

Conservation & Heritage Strategy

As the proposed extension is located at the rear of the property, it will not be visible from the street. The design is consistent with the character of neighbouring properties, respecting the architectural integrity of the area. By replicating the materials and form of adjacent extensions, the proposal ensures the character of the Bowes Park Conservation Area remains unaffected.

Access

The primary access to the property from Nightingale Road will remain unchanged. At the rear, the current doorway on the west side of the annex will be removed. Access to the garden will instead be provided through the new French doors, offering greater privacy while maintaining functional access.

Landscaping

The proposal does not include any landscaping changes. Existing trees in the area will not be affected by the construction.