

Highgate CAAC objection to [HGY/2024/3411](#) 14 Southwood Avenue, N6 5RZ

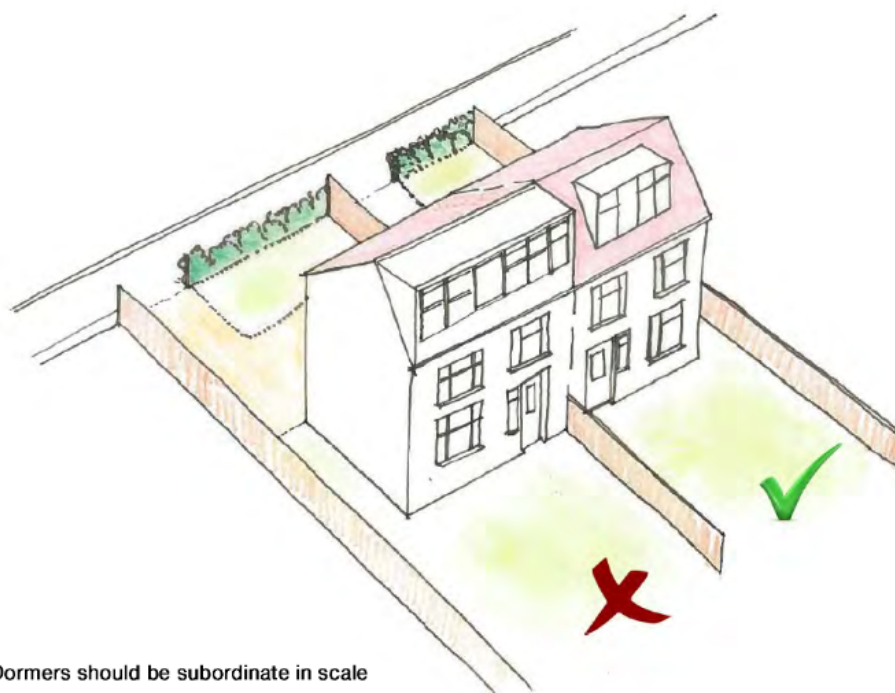
Enlargement of cellar to create a basement level, with front lightwell, single storey ground floor rear/side extension, construction of new glazed gable at second floor level; replacement single glazed timber windows for double glazed timber windows and new rear juliette balcony at second floor.

Summary

Highgate CAAC believes this application should be refused for a number of reasons, in particular because the proposed roof extension is far too extensive, contrary to numerous policies, and would be visible from the street, and due to the loss of original features and other problems outlined below.

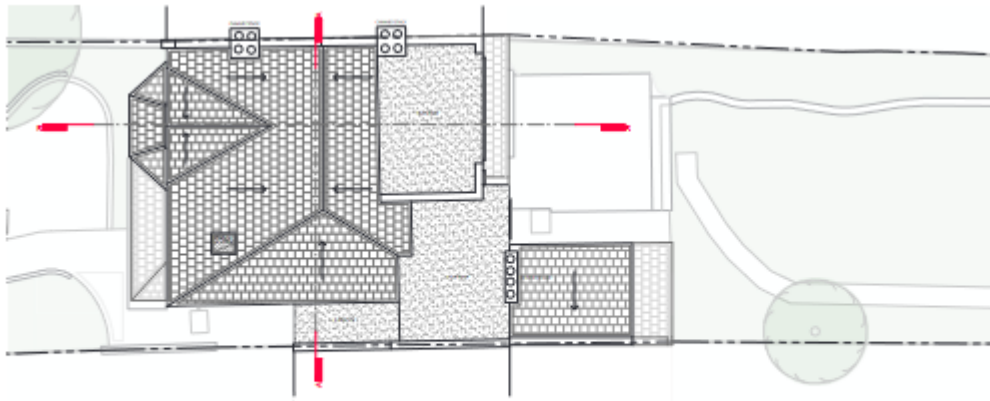
Roof extension/dormer

The proposed roof additions in this application are far more extensive than the precedent of [HGY/2021/2732](#), for No 16 Southwood Avenue cited in the DAS. The dormer permitted under that application was fairly limited and in keeping with policies such as DH5 of the HNP and section 12.3.13 (pp 167-8) of the Highgate Conservation Area Character Appraisal (2013).



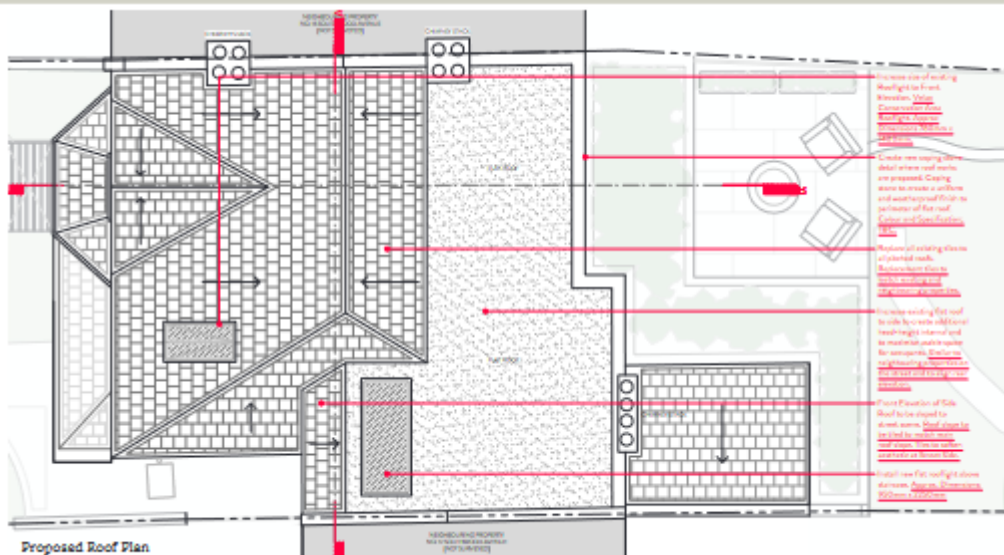
The roof extension proposed here is clearly contrary to such policies: not subordinate in scale, and extending all the way to the back and side boundaries, even above the link section. This is also contrary to HNP policy DH5.

Existing roof:



Existing Roof Plan

Proposed roof:



A comparison of the relevant elevation drawings makes it clear that the proposed roof extension includes a considerably higher section above the recessed link section between Nos 14 and 12 which will be clearly visible from the public domain, i.e. Southwood Lane.

to hydrology, in part in response to the greater likelihood of extreme weather events in future.

As Section 6.3.1 of the Highgate Conservation Area Character Appraisal (p77) notes “this is an area of complex geology and hydrology”. The Environment Agency’s surface water flood risk map clearly shows a significant risk of flooding down the rear of this row of houses, and water descending towards Archway Road, where there is a considerable surface water flood risk. Adding more impermeable structures below ground will not improve this situation.

In any event, the basement of No 16 is less extensive than that envisaged here. For both reasons we do not believe it constitutes a precedent for the basement proposals in this application.

The front light well was permitted next door as part of [HGY/2011/2249](#). As noted above, a different regulatory environment now applies and hence the light well at No 16 does not constitute a precedent. We believe the proposed lightwell at the front of No 14 would introduce an unacceptable light source at the front of property, detracting from the Highgate Conservation Area.

Other changes to the front elevation

The proposals include a measure apparently applicable to the front dormer:
“Increase existing Front Elevation window at 2F Level to match neighbouring properties on the street. See Front Elevation.” We would not want to see any loss of original material or the introduction of an unsympathetic glazed feature.

We regret the proposal to replace the original front door. As the HCA CA notes, these streets are notable for the retention of such original features and their loss should be resisted. Alternative measures of improving energy efficiency should be considered.

These losses seem clearly contrary to HMP DH2 and Haringey Policy DM9.

Balcony

A roof terrace next door was refused under [HGY/2019/0393](#) because of the negative effect on neighbours' amenity: overlooking, loss of privacy, contrary to Haringey Development Management DPD Policy DM1 and comparable London Plan policy. Likewise [HGY/2014/0329](#) for 36 Southwood Avenue and many other such examples. We believe the Juliette balcony may cause similar problems.

Rear window layout

We believe the rear window layout is not sympathetic to the building or the context of neighbouring buildings. The top rear bedroom doors and glass balustrade should be reduced to the overall width of, and align with the two windows below.

Replacement windows

Any replacements for original windows should be exact copies. Detailed drawings should be supplied to ensure that this is the case, as some replacement windows can be very approximate, detracting from the HCA.

Summary

We believe this application should be refused. The key changes to the house next door date from 2011 and are less intrusive and so do not constitute any sort of a precedent for the proposals here. The raised roof extension/dormer extending across the main roof and above the link section is particularly unacceptable, as are losses to original features and other alterations to the front elevation.