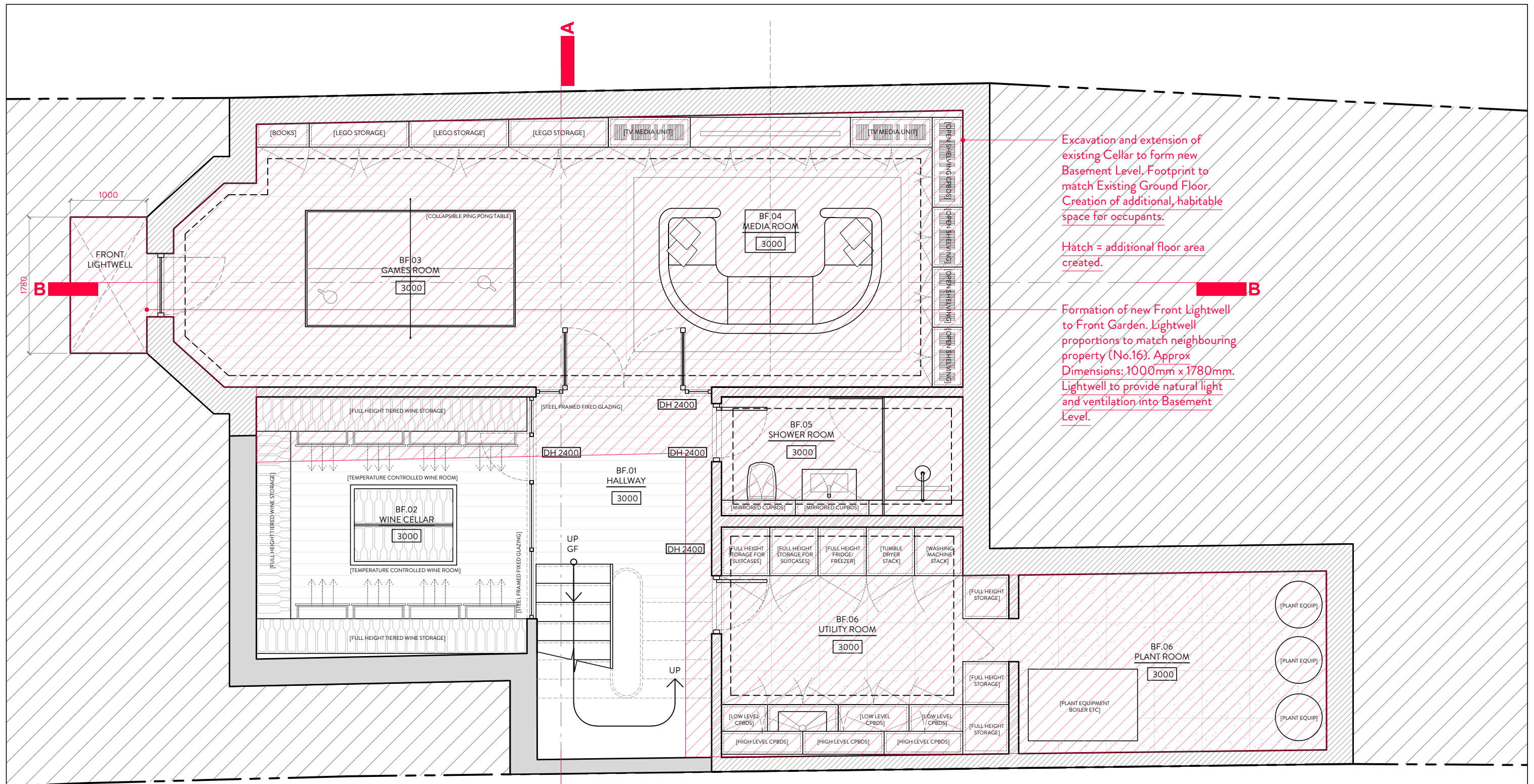
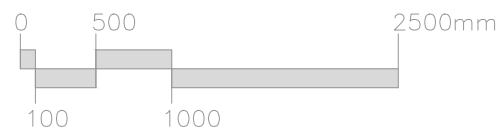




Excavation and extension of existing Cellar to form new Basement Level. Footprint to match Existing Ground Floor. Creation of additional, habitable space for occupants.

Hatch = additional floor area created.

Formation of new Front Lightwell to Front Garden. Lightwell proportions to match neighbouring property (No.16). Approx Dimensions: 1000mm x 1780mm. Lightwell to provide natural light and ventilation into Basement Level.



PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ

DRAWING TITLE: PROPOSED BASEMENT FLOOR PLAN _REV B

DATE: FEB 2025

STATUS: PLANNING

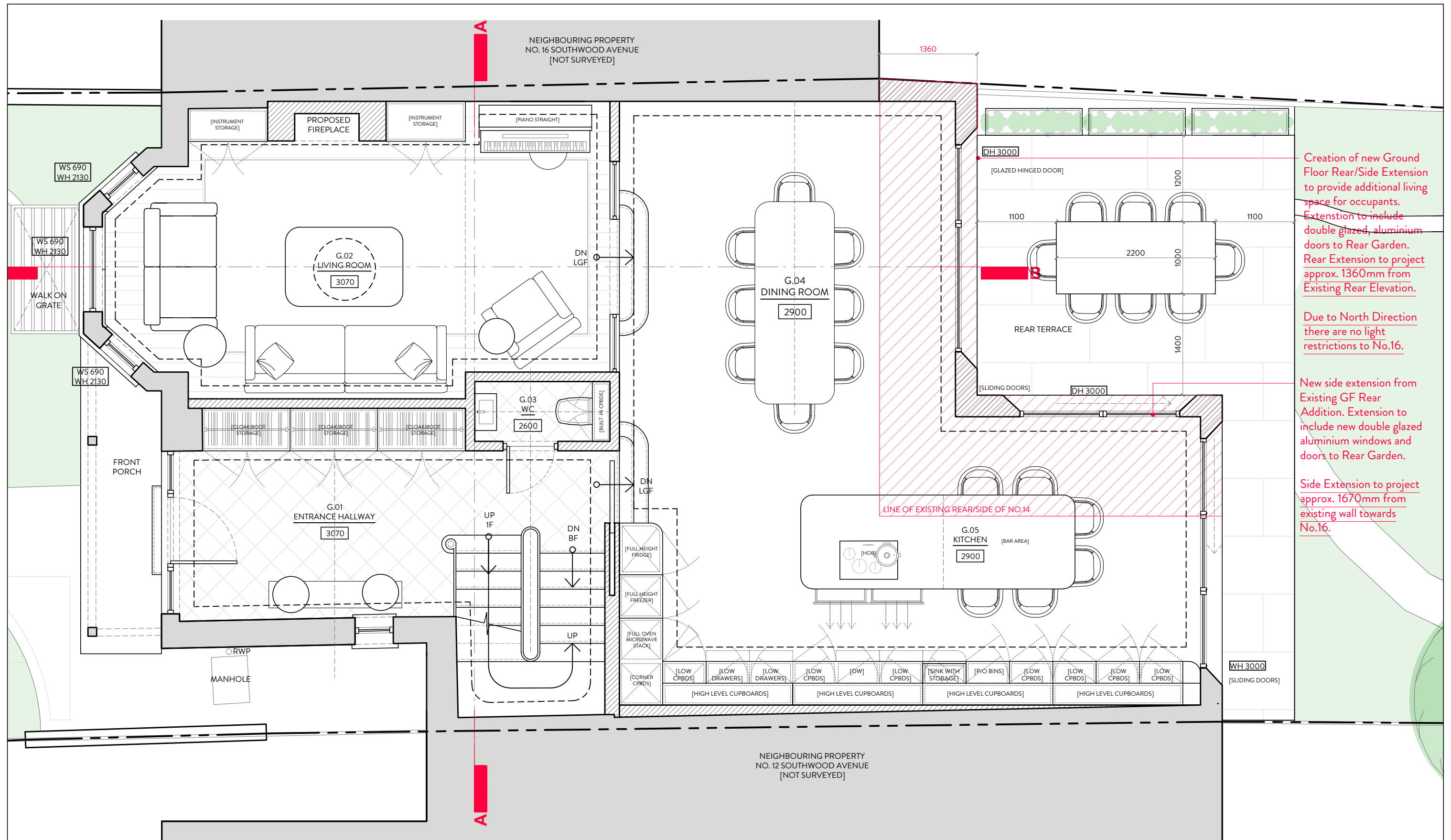
SCALE: 1:50 @ A3

DWG NO/REV: B

MALIN+LYNN

+44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/200B



Creation of new Ground Floor Rear/Side Extension to provide additional living space for occupants. Extension to include double glazed, aluminium doors to Rear Garden. Rear Extension to project approx. 1360mm from Existing Rear Elevation.

Due to North Direction there are no light restrictions to No.16.

New side extension from Existing GF Rear Addition. Extension to include new double glazed aluminium windows and doors to Rear Garden.

Side Extension to project approx. 1670mm from existing wall towards No.16.



PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ

DRAWING TITLE: PROPOSED GROUND FLOOR PLAN _REV B

DATE: FEB 2025

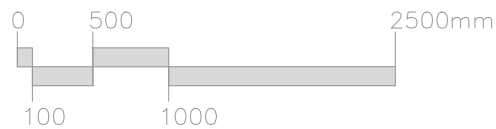
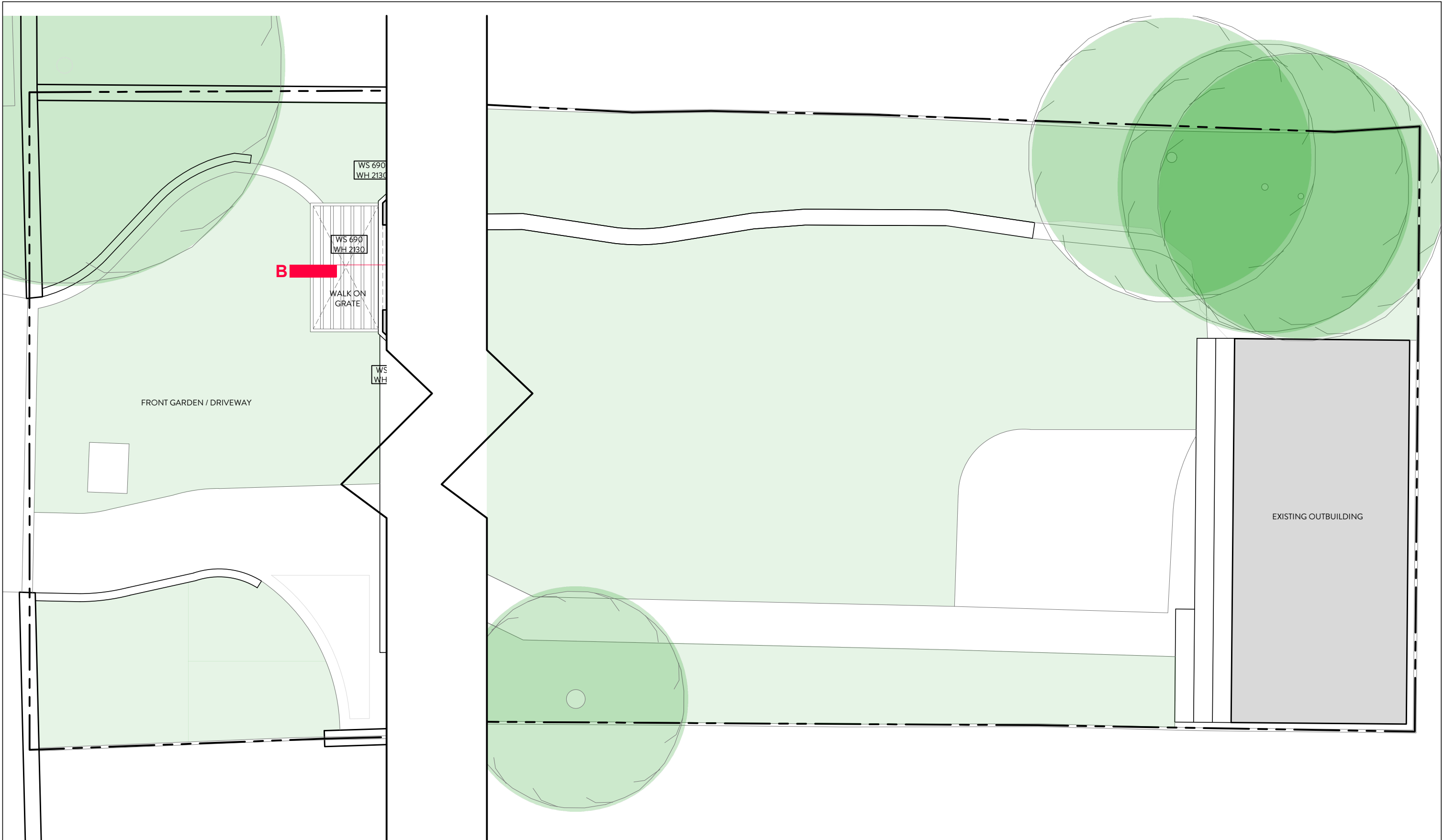
STATUS: PLANNING

SCALE: 1:50 @ A3

DWG NO/REV: B

MALIN+LYNN +44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/201B



PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ

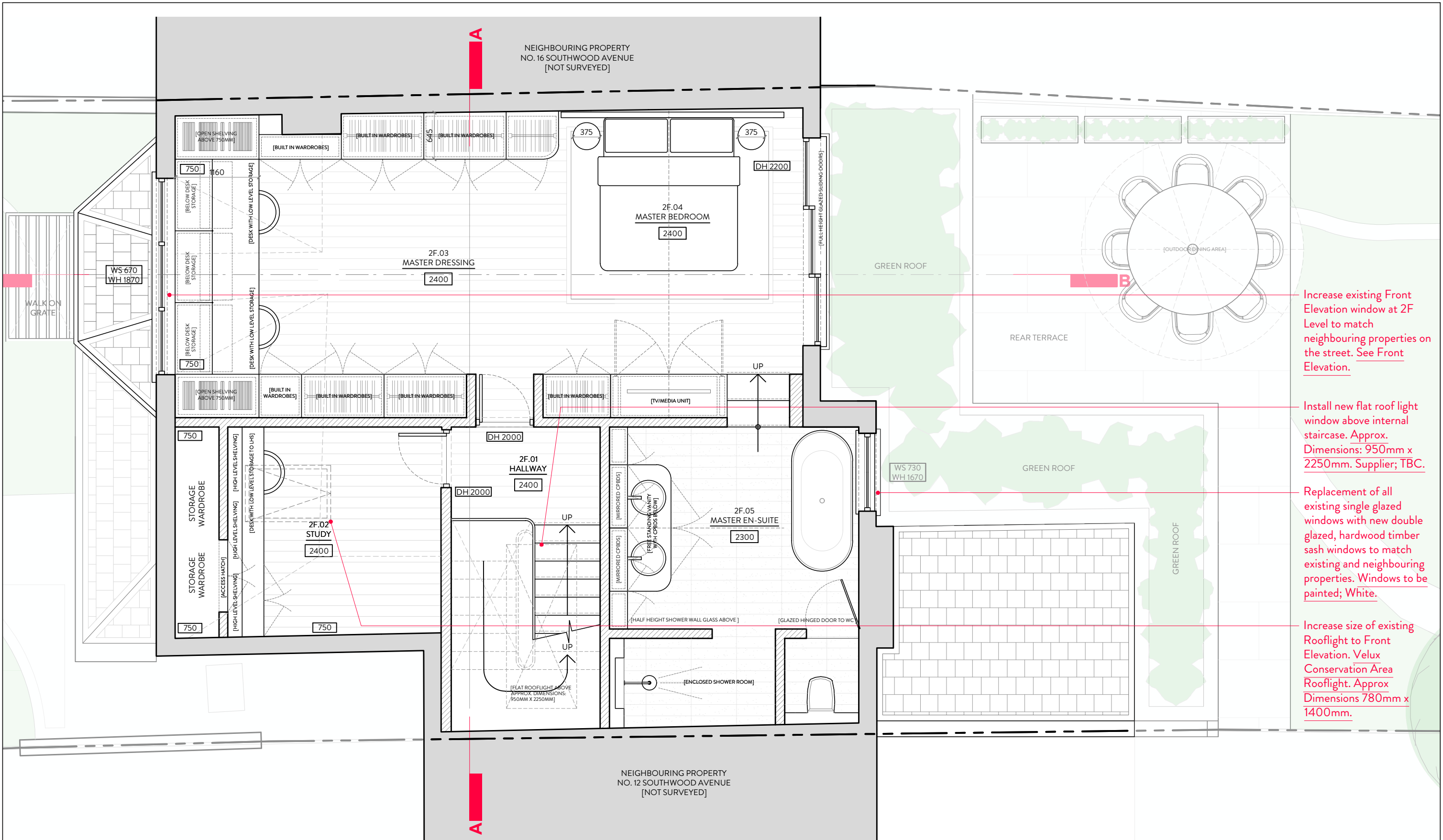
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN - FRONT & REAR GARDENS_REV B

DATE: FEB 2025 STATUS: PLANNING SCALE: 1:50 @ A3 DWG NO/REV: B

MALIN+LYNN

+44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/202B



Increase existing Front Elevation window at 2F Level to match neighbouring properties on the street. See Front Elevation.

Install new flat roof light window above internal staircase. Approx. Dimensions: 950mm x 2250mm. Supplier; TBC.

Replacement of all existing single glazed windows with new double glazed, hardwood timber sash windows to match existing and neighbouring properties. Windows to be painted; White.

Increase size of existing Rooflight to Front Elevation. Velux Conservation Area Rooflight. Approx Dimensions 780mm x 1400mm.

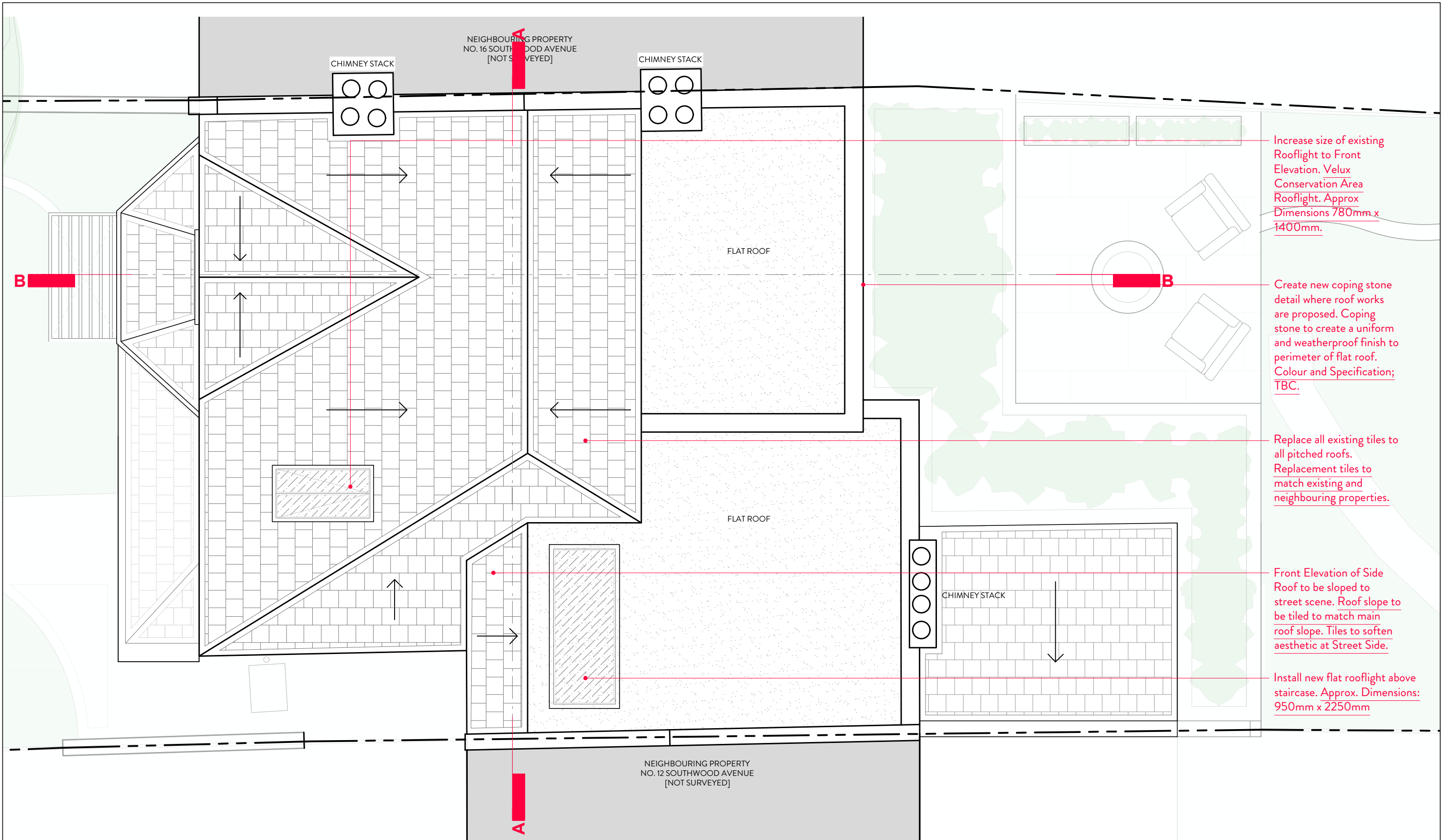


PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ
DRAWING TITLE: PROPOSED SECOND FLOOR PLAN _REV B

DATE: FEB 2025 STATUS: PLANNING SCALE: 1:50 @ A3 DWG NO/REV: B

MALIN+LYNN +44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/204B



Increase size of existing
Rooflight to Front
Elevation. Velux
Conservation Area
Rooflight. Approx
Dimensions 780mm x
1400mm.

Create new coping stone
detail where roof works
are proposed. Coping
stone to create a uniform
and weatherproof finish to
perimeter of flat roof.
Colour and Specification;
TBC.

Replace all existing tiles to
all pitched roofs.
Replacement tiles to
match existing and
neighbouring properties.

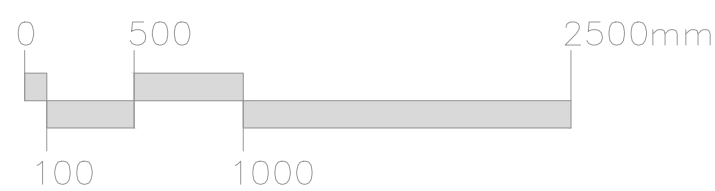
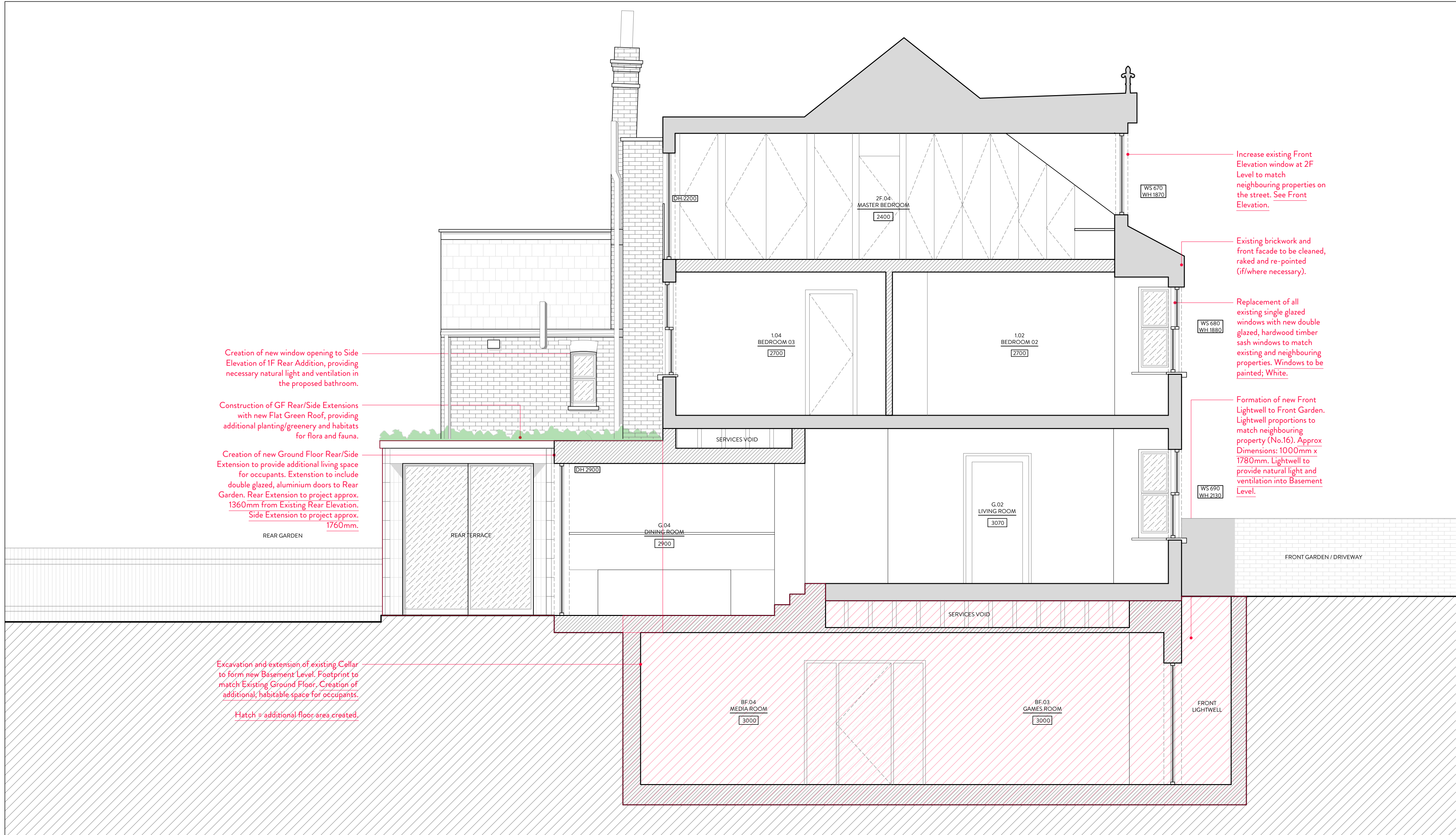
Front Elevation of Side
Roof to be sloped to
street scene. Roof slope to
be tiled to match main
roof slope. Tiles to soften
aesthetic at Street Side.

Install new flat rooflight above
staircase. Approx. Dimensions:
950mm x 2250mm

PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ
DRAWING TITLE: PROPOSED ROOF PLAN _REV B

DATE: FEB 2025 STATUS: PLANNING SCALE: 1:50 @ A3 DWG NO/REV: B

MALIN+LYNN +44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com 121/205B



PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ

DRAWING TITLE: PROPOSED SECTION BB_REV B

DATE: FEB 2025

STATUS: PLANNING

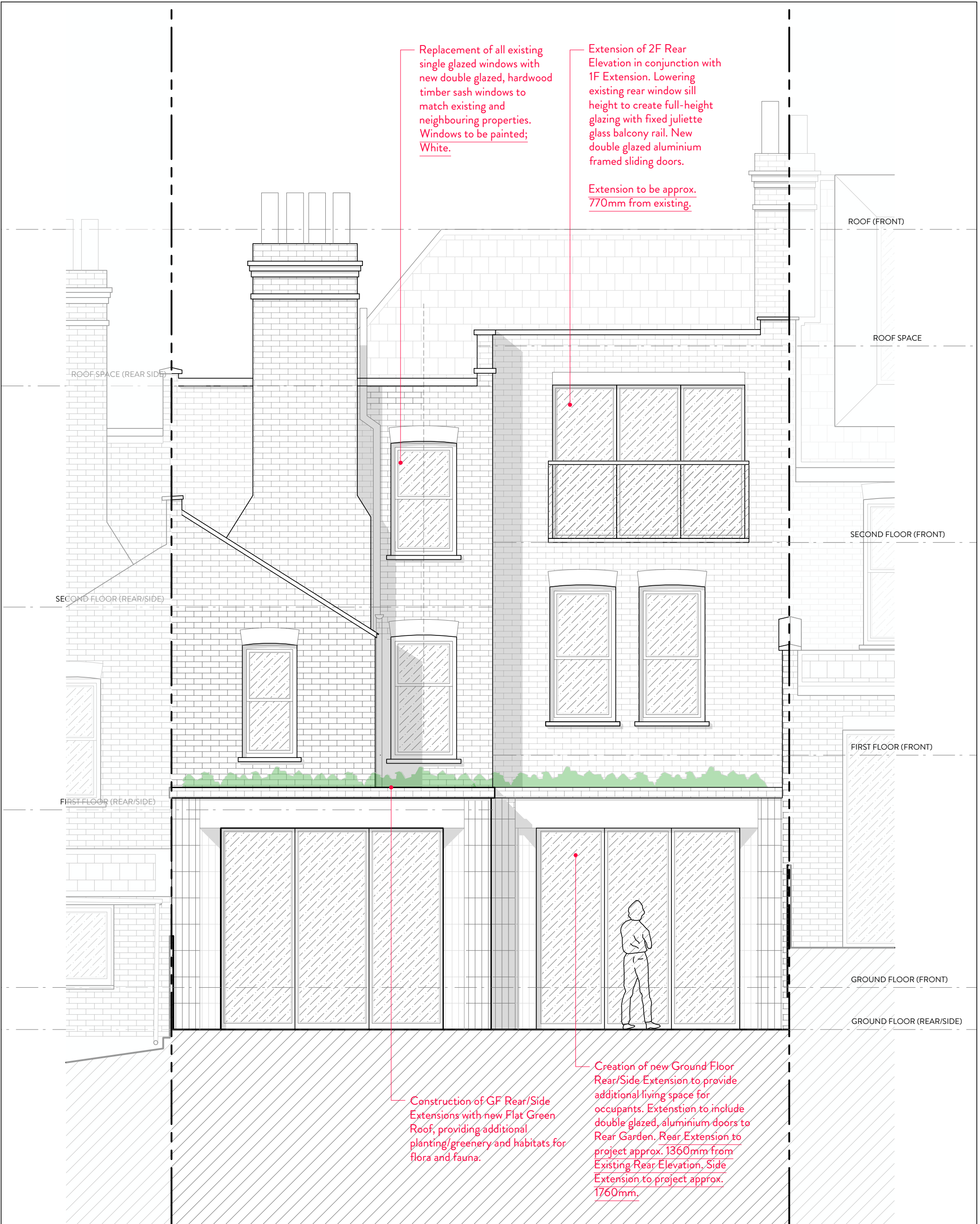
SCALE: 1:50 @ A2

DWG NO/REV: B

MALIN+LYNN

+44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/206B



PROJECT: 14 SOUTHWOOD AVENUE, HIGHGATE N6 5RZ
DRAWING TITLE: PROPOSED REAR ELEVATION _REV B

DATE: FEB 2025 STATUS: PLANNING SCALE: 1:50 @ A3 DWG NO/REV: B

MALIN+LYNN
+44 (0)7980 504 546
+44 (0)7931 659006
hello@malinandlynn.com

121/208B

