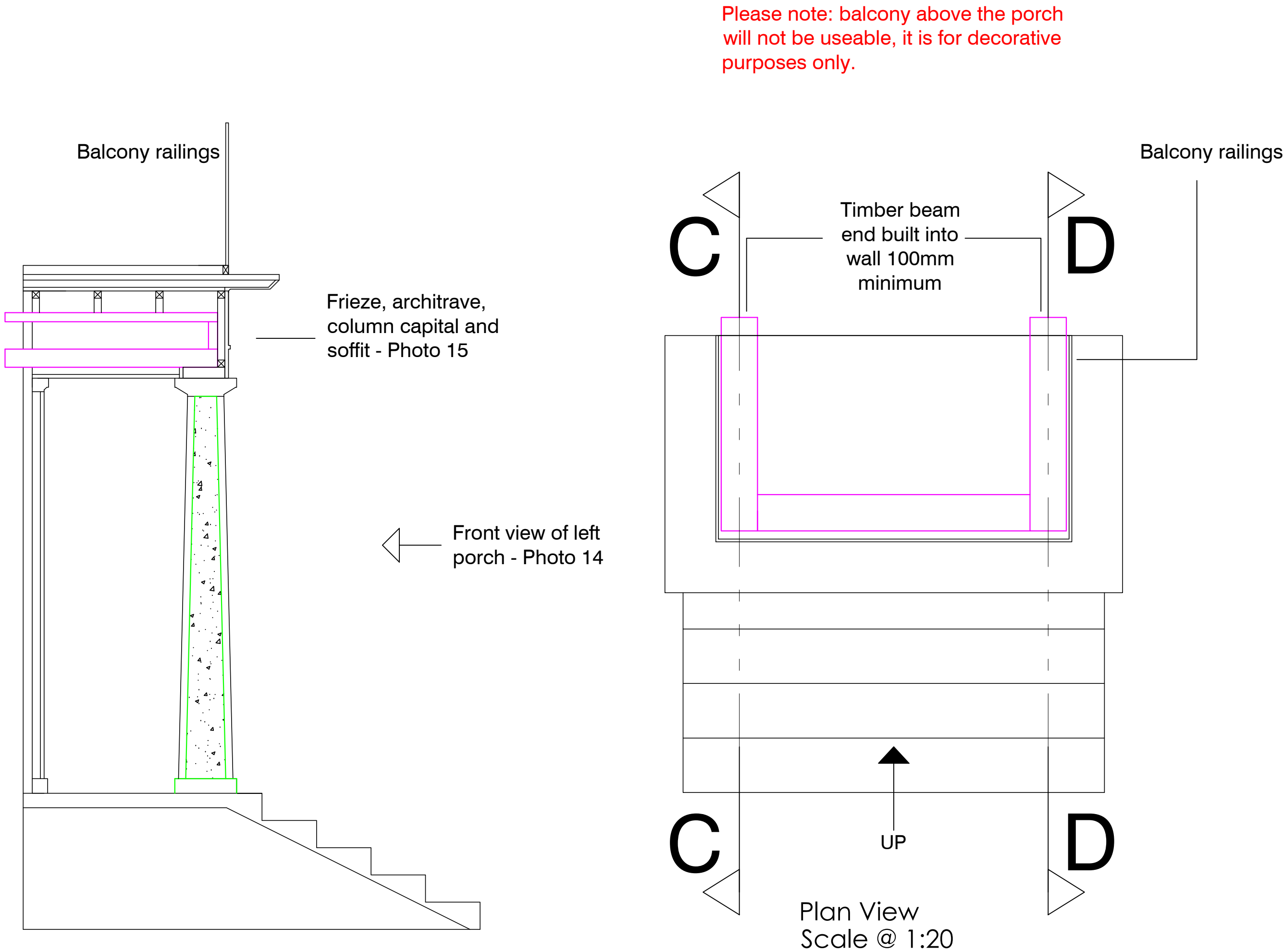
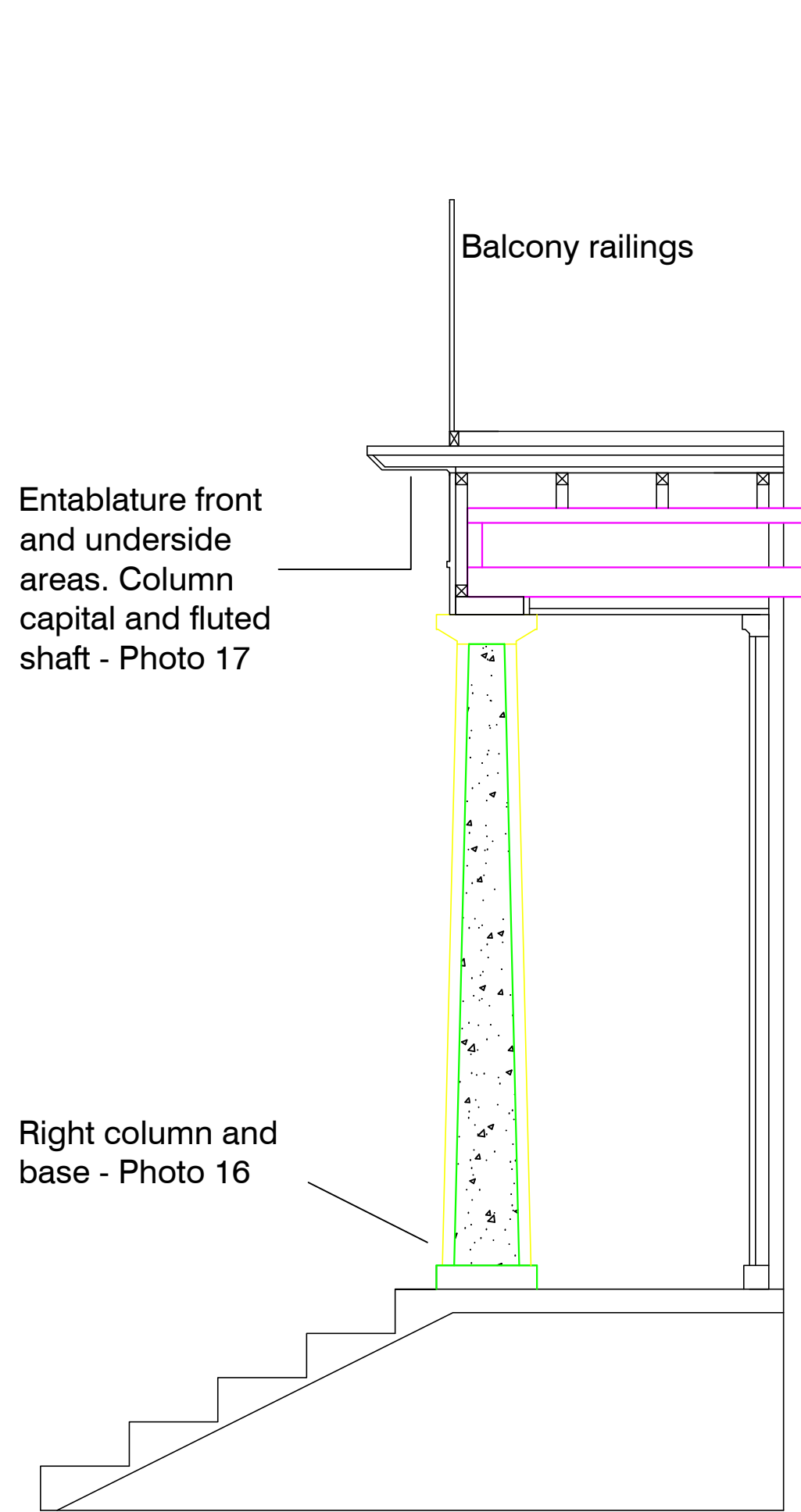
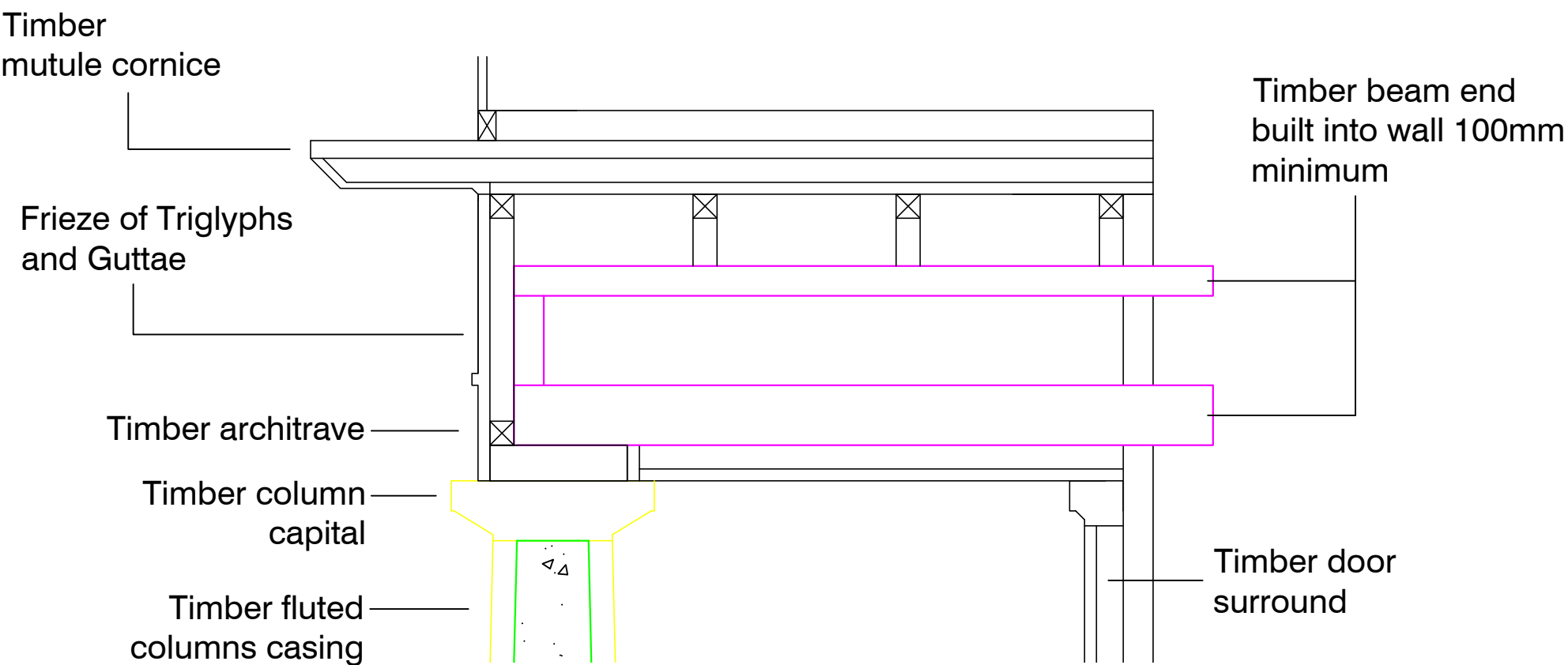




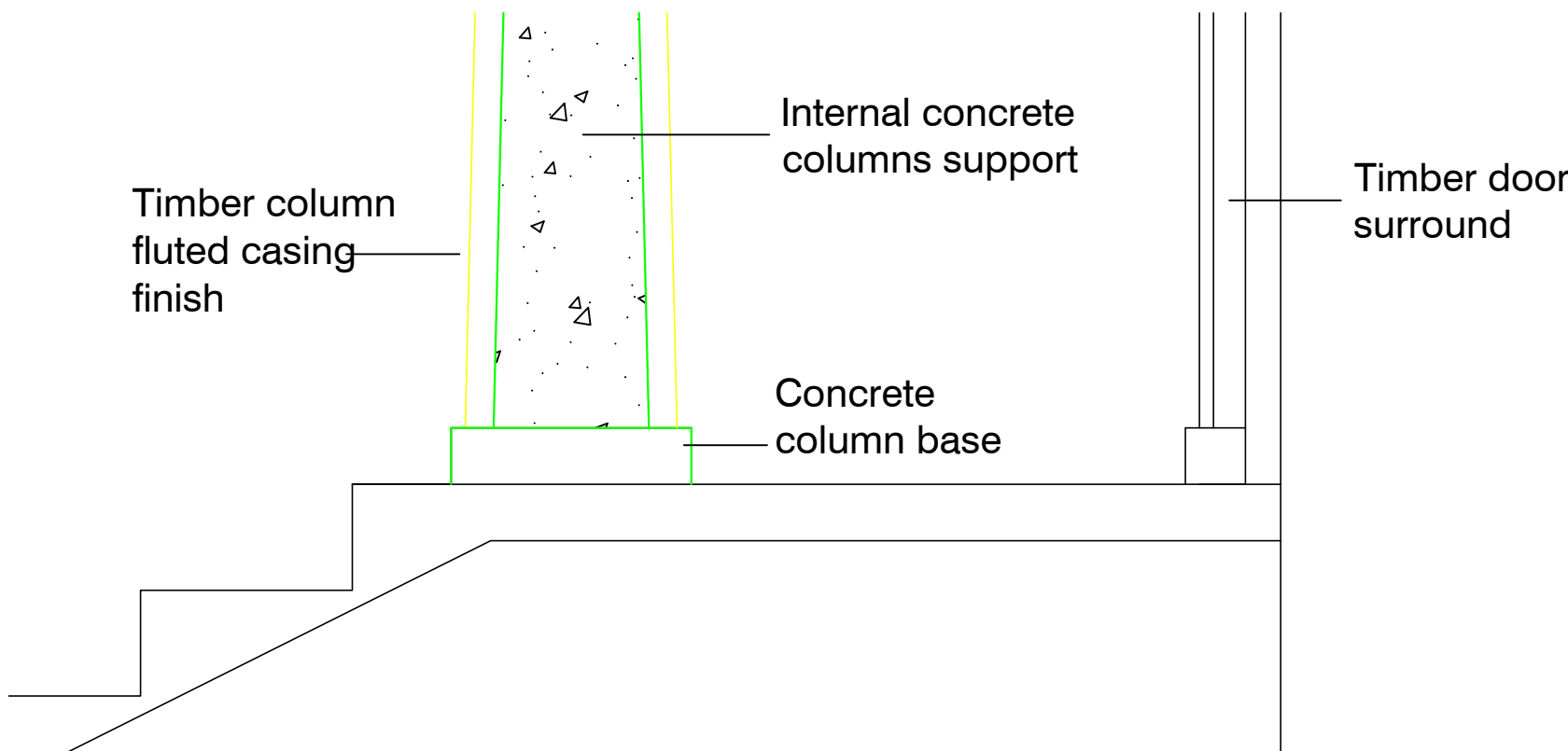
Section C-C
Scale @ 1:20



Section D-D
Scale @ 1:20



Section View
Scale @ 1:10



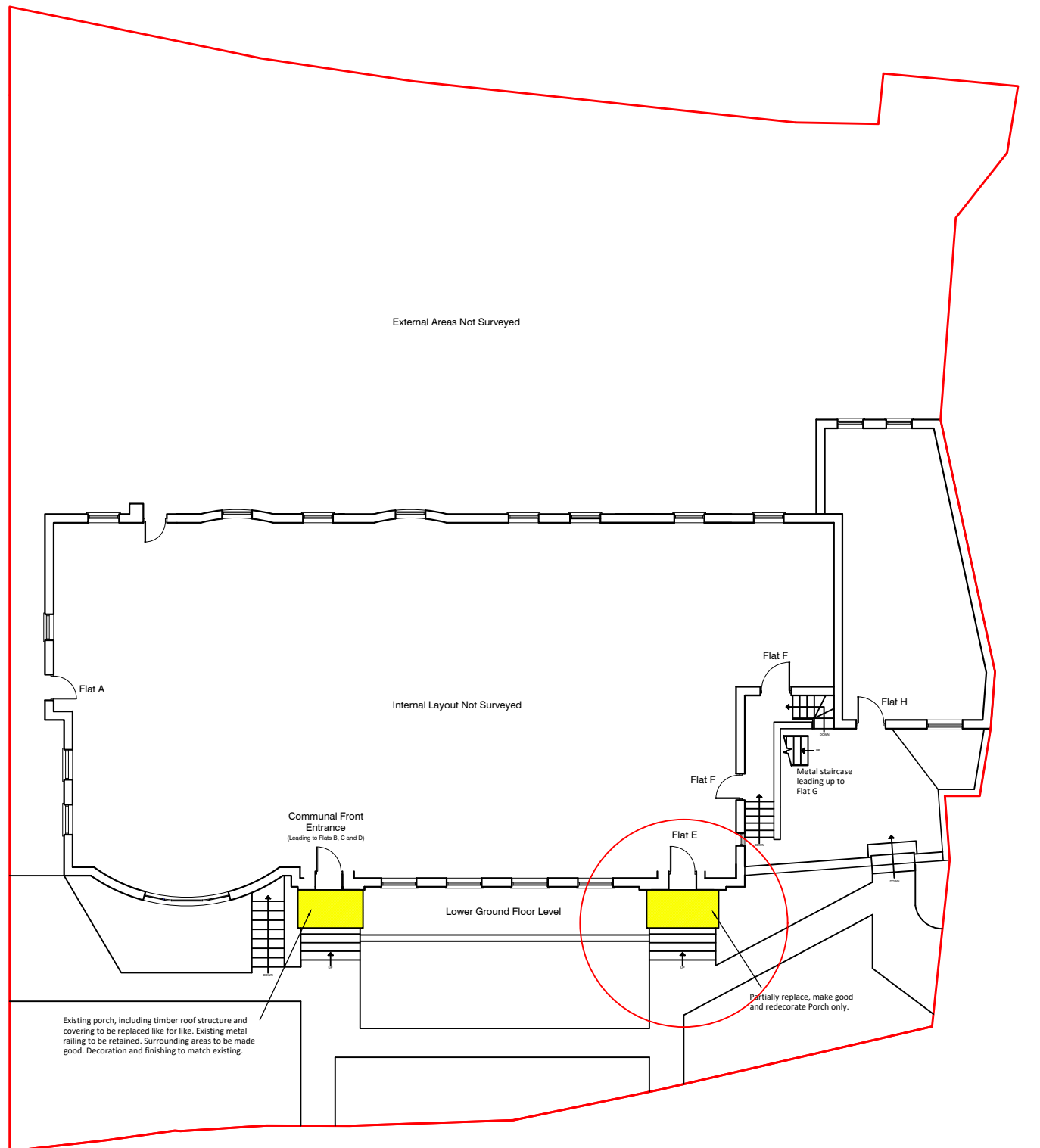
Section View
Scale @ 1:10

All timber areas of the porch which is to be replaced like for like is highlighted in Yellow. All other areas are to be retained, repaired and redecorated to match existing identically.

Magenta lines show assumed existing/original timber beam locations within porch structure. These will be retained.

Green lines show assumed existing concrete column built up from concrete column base

Photo number annotations shown on this drawing correspond to images in the Condition Report for visual references of the existing condition



Site Plan
Scale 1:200

Contractor to check the setting out, dimensions and levels before commencement of building works and shall verify any discrepancies. Photographs are to be taken prior to any removal works. Elements replaced/repaired are to match existing.

All disturbed works to be made good to match existing.

Joiner responsible for mould creation should be contacted prior to any works completed on the porches and site visit arrangements should be organised if necessary.

Contractor to ensure all tools and equipment are suitable for careful removal and handling of the column casing to avoid unnecessary damage. Specialist tools are to be used for detaching fragile timber and potentially masonry elements where required.

Contractor is to carefully use non-invasive methods such as hand tools for dismantling process to avoid excessive vibrations/damage. Clear away all debris from the site.

All elements and areas which are salvageable must be labelled and stored in location agreed with client and C.A.

Safe transport must be organised to transport the porch components to the joiners workshop for mould creation. Ensure the joiner is able to complete and create detailed moulds of the existing porch elements, specifically the fluted column casing. The new casing must replicate the original design as closely as possible using traditional methods and materials.

Ensure all new elements are fabricated using high quality materials that are sympathetic to the original, ensuring durability and compliance with listed building requirements.

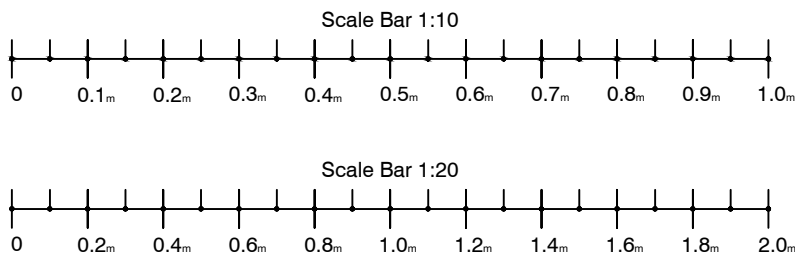
Following the removal of the porch, structural elements are to be inspected. it is assumed steel rods and concrete are embedded within the columns.

Structural engineer is to thoroughly inspect all elements and instruct any necessary treatments or replacements to maintain the structural integrity of the porch. Concrete elements should be assessed for any signs of degradation or cracking, and appropriate repairs should be carried out as necessary.

Any modern materials or techniques used must be approved by the conservation officer and building inspector to ensure compatibility with the listed building.

The new casing must be installed in the exact original location, ensuring that it is level, plumb, and securely fixed. any fixings or reinforcement must be discreet and in line with heritage best practices, avoiding any visible modern interventions where possible. Final adjustments should be made to ensure that the new porch blends seamlessly with existing structure.

Allow to make good all areas following reinstallation and repairs.



CONTRACT	SCALE	1:10/ 1:200 @A1
Mountford House, 7 Tottenham Green East, London, N15 4UU	DATE	November 2024
	DRAWN	JB
	CHECKED	
TITLE	DRAWING No	24176_04
Existing Right Porch Joinery Details	REVISION	