

HERITAGE STATEMENT FOR 37 NORTH ROAD, HIGHGATE FOR REMEDIATION
OF DECAYED AND DRY ROT INFECTED TIMBERS AND REPAIRS TO EXTERIOR

JOB NO: 162-58

V.3 REPORT 18 JUNE 2025



6 FEBRUARY 2025

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*Cover photograph taken by owner in 2024 prior to erection of scaffolding

1 INTRODUCTION

1.1 AUTHORITY AND REFERENCES

Hutton + Rostron were appointed to prepare a Heritage Statement for 37 North Road, Highgate specific to a scheme of works to facilitate comprehensive repairs to the exterior and address decayed structural timbers affected by a dry rot infestation associated with moisture ingress. H+R are appointed in accordance with instruction received from Douglas Paskin, PKS Architects following a telephone conversation on 4 February 2025. Reference was made to drawings supplied by Douglas Paskin, referenced 37 North Road, N6 4BE (October 2024) for the identification of structures. For the purpose of orientation in this report, the front elevation of the building faces east onto North Road

1.2 AIM

The aim of this heritage statement is, in the first instance, to identify the significance of 37 North Road, Highgate and to provide a review of legislation, policy, and guidance which it is acknowledged will be accounted for in the formal consideration of listed building consent. The heritage impact assessment is intended to account for the former matters and justify the proposed works and why they will preserve the special interests of the listed building and associated heritage assets

The statement is intended to satisfy paragraph 207 National Planning Policy Framework (December 2024)

1.3 LIMITATIONS

The heritage statement supports a specific scheme of works associated with undertaken repairs to the exterior of the building and investigation and remedial works to address a dry rot infestation. It is not intended to support proposals that may involve other works such as onward internal refurbishment. H+R cannot be held liable for not taking account of information not publicly accessible or not provided by the client. The contents of this report do not imply the adoption of the role of Principal Designer by H+R for the purposes of the Construction (Design and Management) (CDM) Regulations 2015

1.4 H+R STAFF ON SITE

Ms Katie McAndrew

1.5 PERSONNEL CONTACTED

Mr Douglas Paskin, PKS Architects

2 ASSESSMENT OF SIGNIFICANCE

2.1 ASSESSING SIGNIFICANCE: SUMMARY

2.1.1 Building synopsis

This synopsis is taken from a Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron which examined both documentary and fabric evidence to provide an understanding of the building's architectural and historic interests and identify its individual significance. Information regarding the documentary sources used to researching the building and collated in the HBR are provided in Appendix A and B. Assessment of the building's fabric and associated photographs from the HBR are provided in Appendix C

- 1 37 North Road forms part of a composition of four dwellings, 37-43 North Road, which are of early 19th century construction. Map evidence indicates they were likely built around the 1830s. They are located on North Road which is a long-established route/roadway dating back to the medieval period from when the Bishop of London established the route/roadway across his parkland. The founding of this route/roadway was a catalyst for the development of Highgate as a settlement on the edge of the bishop's estate, as a place of trade and for travellers to rest. The junction between North Road (as it is now known) and High Street was an important focal point in the settlement and the location of a gatehouse and toll. Highgate developed as a settlement throughout the post medieval period initially attracting the aristocracy and rich who built grand houses here. By the 18th century it was viewed as a small country town with buildings long established on both sides of North Road (as it became known). In the 19th century as London grew development pressures saw some older buildings cleared away, larger plots subdivided, and the settlement footprint expand to make way for more houses and facilitate urban expansion. 37-43 North Road were built during the period of 19th century urban expansion replacing earlier buildings on the site. The name North Road was established in the 19th century
- 2 37-43 North Road reflects the modest sized dwellings that were commonly being built in North Road and around Highgate during the 19th century, these being narrow terraces with accommodation over three to four floors. During this time North Road was a place of trade and business and those living along this road were middle class people, presumably doing reasonably well so could afford good modest accommodation, these being grocers, carpenters, wheelwrights, gardeners, blacksmiths. Although modest in terms of size, the dwellings that form 37-43 North Road present a grandeur by design as a composition, with red brick and the use of bold pilasters and entablature detailing across their façade. However, the interior of 37 North Road, which retains original and historic fabric, is reflective of a modest abode. The staircase is original and of stick spindle dog-leg type, ubiquitous throughout early mid-19th century housing. Ground floor rooms present the finer fixtures and fittings incorporating profiled skirting, cornices, four panelled doors with profiled beading around the edge of the panels and shutters to windows. Otherwise, the upper floors are relatively plain without cornices, plain (unprofiled) skirting and plain doors (without the beading to edge of panels). Fireplaces (surrounds and grates) have previously been removed and only the fireplace in the ground floor reception/lounge remains

2.1.2 Defining significance

- 1 The significance of a heritage asset, as defined in National Planning Policy Framework (Dec 2024) and the Government's Planning Practice Guidance, is the sum of its archaeological, architectural and artistic, and historic interests. In assessing 37 North Road its significance is defined under these headings
- 2 **Archaeological interest:** 37 North Road was built as part of a terrace of four dwellings in the early 19th century. Its fabric reflects its early 19th century period of construction incorporating some identifiable later 19th and 20th century alterations. The interests of the 37 North Road, in terms of understanding its building type and construction, are transparent and consequently the building does not hold potential for further evidence of past human activity. 37 - 43 North Road replaced earlier buildings on the site but as previous buildings were cleared away entirely and these buildings were built with basements the ground would have been heavily disturbed and there is likely limited potential for surviving below ground evidence of past human activity in this locality
- 3 **Architectural and artistic interest:** The architectural interests of 37 North Road derive from it being part of a consciously designed early 19th century terrace of four dwellings, which presents a unified exterior and originally would have had recurrent corresponding internal layouts (assume now altered across the terrace) with the original internal layout remaining discernible within 37 North Road. The external decoration of the front elevation of the terrace is particularly notable as it is designed utilising bold pilasters and entablature detailing across the entire façade and includes decorative cast-iron work to ground floor balconettes. In contrast the interior decoration is reflective of a modest abode which notably accords with the status of rooms i.e. principal ground floor rooms used to entertain and receive guests incorporate greater and slightly more fanciful decorative features. 37 North Road retains original and historic fabric externally and within its interior
- 4 **Historic interest:** The past lives of those associated with 37 North Road reflect the status the building held when it was originally built and through its history. This history contributes to understanding of the building and particularly an understanding the history of the local area and its community. No standout or specific figures or events have been identified with or connected to the building

2.1.3 Fabric significance

This assessment is taken from information collated within the Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron which examined the building's extant fabric in detail. Assessment of the building's fabric and associated photographs from the HBR are provided in Appendix C

- 1 The table below is intended to provide an account of the heritage value of extant fabric associated with the building, proportionate to furthering understanding the significance of fabric affected by works covered by this application. The value of fabric is identified in terms of very high, high, moderate, low and no significance which are accounted for as follows:

Very high value. This value represents fabric and architectural elements at the heart of the building's distinct aesthetic and special architectural interest. This original fabric and these architectural elements contribute intrinsically to the unity and significance of the terrace as a whole

High value: This value represents fabric and architectural elements at the heart of the building's special interest and inherent aesthetic which represent original fabric and

features that maybe of a universal nature and/or of a unifying nature, underpinning the building's historic integrity

Moderate value: This value recognises fabric and architectural elements that contribute to the building's special interest and intrinsic aesthetic but have been subject to perceptible later alteration and/or replacement. This fabric may also reflect positive later alteration

Low value: This value reflects areas of fabric or features of limited interest, typically poorer later alteration or much altered fabric or insensitive fabric

No value: This value is applied where fabric does not contribute to the architectural merit or special interest of the building

2 Table of heritage values specific to extant fabric found on the building's exterior:

Item	Value	Observations
Roof		
Pitched roof coverings including integrated parapet guttering	Moderate	Slate. Evidence of previous 20 th and 21 st century roofing works. To east and west slopes original Welsh slates have been lifted and relayed over felt, assumed 20 th century works. South roof slope subject to 21 st century 'repair' (c. 2013) and has been re-slatted with a Spanish slate over a breather membrane. Roofing felt to flat roof part. Assume mid-late 20 th century. <i>Slate roof finish consistent and unifying material across terrace.</i> Leadwork: To ridge and verge as assumed part of 21 st century repair. To parapet gutter, assume mid-20 th century or later and associated with previous roofing works. <i>Lead detailing consistent and unifying material across terrace.</i>
Roof structure	High	Timber roof structure, mill sawn manufactured softwood timbers
East dormer	Low	Dormer as mid-20 th century insertion with late late-20 th century window. Zinc to flat roof and checks.
West dormer	Low	Dormer as original dormer, but original window lost, cheeks re-rendered over EML and roof covering replaced with felt assume mid-20 th century work. <i>West dormers characteristic of attic window across terrace.</i>
Party wall, chimneystack and pots	Moderate	Original chimneystack shared with adjoining property (39 North Road), with later, assume mid-20 th century, cement repointing and 3 no. modern chimneypots.
Rainwater goods	None	Black plastic guttering and downpipe.
Front (east) elevation		
Decorative cornice	Very high	Original features in Georgian cement-based render. <i>Decorative cornice consistent and unifying feature across terrace.</i>
Decorative pilasters	Very high	Original feature in Georgian cement-based render. <i>Decorative pilasters consistent and unifying feature across terrace.</i>

Brickwork	Moderate	Red brick laid in a bastardized Flemish bond and presenting later, assume mid-20 th century, cement pointing. <i>Brickwork consistent and unifying construction material across terrace although not repointed in cement on other properties.</i>
Front door and fanlight	Low	Bastardized historic door with modified fanlight, assume reflective of mid-20 th century alteration.
Windows: multi-paned sash	Very high	Sash windows presenting 3 no. original multi-paned sash windows at lower ground, ground and first floor. Ground floor window of particular note as floor to ceiling sash window with balconette. <i>Multi-paned sashes consistent and unifying feature across terrace.</i>
Windows: plain glazed sash (no glazing bars)	Low	1 no. first floor window to landing as later modified sash, heavily damaged. At odds with style of sash serving landing window on all other properties within the terrace.
Balconette	Very high	Ironwork balconette to ground floor window incorporating anthemion and Vitruvian scroll detailing on stone balcony. <i>Balconette consistent and unifying feature across terrace.</i>
Steps	High	<i>Steps consistent and unifying feature across terrace.</i>
Rear (west) elevation		
Rendered elevation	Moderate	Painted render with evidence of incised detailing suggestive of an ashlar style decorative finish. Poorly applied finish and failing
Windows: multi-paned sash	Very high	Sash windows presenting 1 no. original multi-paned sash windows at ground floor. 1 no. later multi-paned sash window at first floor. <i>Sash windows consistent and unifying feature across terrace.</i>
Windows: multi-pane side hung casement	None	Lower ground floor side hung casement without glazing bars. Assume late 20 th window.
Rear flat roof extension		
Roof covering	Low	Roofing felt
Brickwork	Low	Painted brickwork
Rear door	Low	Contemporary with flat roof extension. Part glazed timber door.
Windows	Low	Contemporary with flat roof extension. Multi-pane side hung casement.

3 Table of heritage values specific to extant fabric found on the building's interior:

Room Ref	Item	Value	Notes
Attic floor: Second floor			
S1 including S1a Bedroom	Ceiling	High	Ceilings removed, roof structure and underside of roof coverings visible. Staining to underside of rafters' indicative of previous lath and plaster finishes. <i>Note: Defective ceilings fabric removed in association with localised opening up</i>

	Walls	High	<u>North</u> wall as party wall with 39 North Road, decorated lime plaster over brickwork. Skirting present comprising of simple (unprofiled) decorated timber skirting boards @ 125mm height. <u>East</u>, <u>south</u> and <u>west</u> walls with wall finishes removed exposing timber structure. Staining to internal side of ashlar timbers indicative of previous lath and plaster finishes. South wall (west end) with 1 no. cupboard formed of timber panelling. <i>Note: Defective fabric removed from east, south and west walls in association with localised opening up</i>
	Floor	High	Original floorboards extending through both spaces orientated north/south c.210mm (width) x 20mm (depth). Butted. Fireplace hearth present at point of former fireplace.
	Internal doors	High	Original 1 no. four panelled door, painted, plain (without beading detail). Lock case to inner (room) side and key plate to outer side. To cupboard, 1 no. four panelled door, painted, plain (without beading detail). Key plate to room side. Keyhole outer side.
	Fireplace	None	Fireplace aperture without grate or surround.
	Built-in cupboard	High	Ceiling and walls in decorated horizontally laid timber boards @ 205 mm (depth). Horizontal boards have the remains of a lining paper over then.
First floor			
F1 including F1a Landing and staircases	Ceiling	High	Ceiling removed, open to underside of rafters following roofline with underside of parapet gutter visible along south wall. Staining to underside of rafters' indicative of previous lath and plaster finishes. <i>Note: Defective ceilings fabric removed in association with localised opening up</i>
	Walls	High	Decorated lime plaster over brickwork. Plaster finish on south wall appears to be of two coats (scratch coat and finish coat) @ 20mm thick. Skirting comprising of simple (unprofiled) decorated timber skirting boards @ 170mm height.
	Floor	High	Original floorboards orientated north/south c.220mm – 230mm (width) x 20mm (depth). Butted.

	Internal doors		See adj. rooms
	Staircase #1	High	Staircase between first and attic (second) floor: Winder arrangement comprising of eight steps to small landing then turning into three steps up to attic floor. Enclosed on west and south side with a panelling. Stair treads of various width specific to wider form and pronounced nosing. Risers @ 210mm (height).
	Staircase #2	High	Staircase between ground and first floor (upper flight): Dog leg arrangement, open string with timber balustrade comprising of stick spindles (20mm x 20mm @100-115mm centres) and polished wood handrail. Treads @ 235mm (depth) with pronounced nosing, risers @ 150mm (height). Square newel to first floor integrated with panelling. Newel missing at landing.
F2 Bedroom	Ceiling	Moderate	Decorated lath and plaster with patches of gypsum based plaster. Note: evidence of plasterboard having been used to perimeter of room where previous repairs have been undertaken.
	Walls	Moderate	North, east and south as decorated lime plaster over brickwork with evidence of localised use of gypsum plaster particularly along east and south wall. West wall as decorated lime plaster over assumed studwork. Skirting comprising of simple (unprofiled) decorated timber skirting boards @ 175mm height. Picture rail comprising of rounded rail.
	Floor	High	Original floorboards, orientated north/south @ 220mm-230mm (width) x 20mm (depth). Fireplace hearth visible in floor.
	Internal doors	High	Original 1 no. four panelled door, painted, plain (without beading detail). Lock case missing to inner (room) side and key plate to outer side. Door set within profiled architrave built up from plain boards with applied beading. Architrave fixed to timber grounds (timbers embedded within walls) within opening.
	Fireplace	None	Fireplace aperture without grate or surround.
F3 Bedroom	Ceiling	High	Decorated lath and plaster.
	Walls	High	<u>North</u> , <u>south</u> and <u>west</u> as decorated lime plaster over brickwork. East wall as decorated lime plaster over assumed studwork. Skirting comprising of simple (unprofiled) decorated timber skirting boards @ 175mm height.

	Floor	High	Floorboards orientated north/south @ 220mm – 230mm (width) x 20mm (depth). Butted. Fireplace hearth is visible within floor.
	Internal doors	High	1 no. four panelled door, painted, plain (without beading detail). Lock case and handle to inner (room) side and key plate to outer side. Door set within profiled architrave built up from plain boards with applied beading. Architrave fixed to timber grounds (timbers embedded within walls) within opening. Architrave 130mm (width).
	Fireplace	None	Fireplace aperture without grate or surround.
	Fitted cupboards	High	Cupboards either side of chimney breast. East and west side cupboards with four panel, painted, plain (without beading detail) door within profiled architrave.
F4 Former bathroom	Ceiling	None	Ceilings removed, roof structure/joists visible. Evidence of previous plasterboard ceiling finish.
	Walls	Low	Plaster finish on brickwork, appearing to be possible lime plaster finishes with gypsum skim. No skirting although skirting likely existed given gap between plaster and floor.
	Floor	Low	Floorboards orientated east/west. Uniform @ 120mm (width) x 25mm (depth)
	Internal doors	-	None.
Ground floor			
G1 Hallway	Ceiling	High	Assume decorated lath and plaster.
	Walls	High	Decorated lime plaster over brickwork. Plaster finish on south wall appears to be of two coats (scratch coat and finish coat) @ c.20mm thick. Skirting comprising of profiled painted timber skirting boards @ 235mm height (170mm plain board with 65mm profiled beading to upper part). Cornice comprising of moulded cornice, assume plaster @ 90mm (height).
	Floor	High – floorboards. Vinyl floor covering of no value	Modern checkered pattern vinyl floor covering over assumed floorboards.
	Internal doors		See adj. rooms
G2 Lounge /reception room	Ceiling	High	Assume decorated lath and plaster.
	Walls	High	North, east and south as decorated lime plaster over brickwork. West wall as decorated lime plaster over assumed studwork. Skirting comprising of profiled painted timber skirting boards @ 240mm height. (170mm plain board with 70mm profiled beading to upper part). Cornice comprising of moulded cornice,

			assume plaster.
	Floor	High	Floorboards orientated north/south @ 220mm-225mm (width) c 20mm (depth). Fireplace hearth visible within floor.
	Internal doors	High - architrave	Missing. Profiled architrave to doorway opening built up from plain boards with applied beading. Architrave 125mm width.
	Fireplace	High	Marble surround 1.4m (width) x 1.19m (height) with decorative cast-iron hob grate.
	Shutters	High	Sash window set within splayed reveal incorporating full height panelled shutters.
G3 Lounge /reception room	Ceiling	High	Assume decorate lath and plaster.
	Walls	High	<u>North</u> , <u>west</u> and <u>south</u> as decorated lime plaster over brickwork. <u>West</u> wall as decorated lime plaster over assumed studwork. Skirting comprising of profiled painted timber skirting boards @ 240mm height (170mm plain board with 70mm profiled beading to upper part). Cornice comprising of moulded cornice, assume plaster.
	Floor	High	Original floorboards orientated north/south @ 220mm-225mm (width) c 20mm (depth).
	Internal doors	High	Original four panelled door, painted with beaded embellishments within panels. Inner (room) side with beehive door handle and key plate to outer side. 810mm (width) x 1.98m (height). Door set within profiled architrave built up from plain boards with applied beading. Architrave @ 130mm (width).
	Fireplace	None	Fireplace aperture without grate or surround.
	Shutters	High	Sash window set within splayed reveal incorporating panelled shutters and timber window back below window.
	Fitted cupboards/shelving	Low	One third height cupboards and shelving to either side of chimneybreast. Double panelled doors. Shelving above assumed modern.
G4 Rear hallway	Ceiling	Low	Assume decorated lath and plaster.
	Walls	Low	North wall as hardboard partition. South wall, with full height vertical Wainscott timber boards over brickwork. Tongue and groove @ 100mm (width). Wainscoting fixed by timber grounds within wall.
	Floor	Low	Ply over assumed floorboards.
G5 Former bathroom	Ceiling	None	Unconfirmed, possibly cement board.
	Walls	None	North, east and west walls as gypsum plaster on brickwork. South wall as hardboard partition.
	Floor	None	Screed over possible floorboards.
Lower Ground Floor			
LG1 including LG1a and LG1b Hallway	Ceiling	Low	LG1, assume lath and plaster. LG1a as underside of staircase. LG1b as sheet board.
	Walls	Low	LG1 as decorate plaster to brickwork with evidence of gypsum plaster to walls. Skirting missing. LG1a and LG1b as undecorated gypsum plaster.
	Floor	None	LG1 and LG1a as diamond patterned sheet vinyl floor tiles over concrete. LG1b as floorboards orientated east/west @ 220mm (width)

	Internal doors	Low	LG1a with 1 no. painted timber door. 630mm (width) x 1.57m (height). LG1b with 1 no. painted plank and batten door with upright handle. 640mm (width) x 2.08m (height).
	Staircase	High	Staircase between ground floor and lower ground floor (lower flight): Dog leg arrangement, closed string with timber balustrade comprising of stick spindles (20mm x 20mm @100-115mm centres) and polished wood handrail. Treads @ 220mm (depth) with pronounced nosing, risers @ 170mm (height). Turned newel.
LG2 Dining room	Ceiling	Low	Assume decorated lath and plaster with gypsum finishes.
	Walls	None	Decorated plaster over brickwork, gypsum and cement-based plaster. Skirting @ 125mm (height) modern,
	Floor	None	Vinyl floor tiles over concrete floor.
	Internal doors	Low	1 no. undecorated modified timber four panel door with glazed upper lights inserted into upper panels. 800mm (width) x 1.76m (height).
	Fireplace	Moderate	Timber surround. No grate. Fireplace decorated with delft style tiles.
	Cupboards	Low	Cupboards either side of chimneybreast with architraves but doors missing.
LG3 Former kitchen	Ceiling	None	Decorated plasterboard.
	Walls	None	Decorated plaster over brickwork, gypsum and cement-based plasters. No skirting.
	Floor	None	Concrete floor.
	Fireplace	None	Fireplace aperture without grate or surround.

2.2 ASSESSING SIGNIFICANCE: STATUTORY DESIGNATIONS

2.2.1 Listed status

- 1 37 North Road is a grade II listed building (listed 10 May 1974), forming one of a composition of four dwellings which are collectively listed under the following list entry:

37-43 North Road N6

Earlier C19, 2 pairs, linked in centre by recessed porch wings. Each 2-storey and basement. 1 large window per storey and 1 window in porch wing. Bright red brick with cement anthemion capped pilaster strips resting on cemented basement and under cement entablature and cornice. Porch wings also cemented. Slate hipped roof to each pair. Not attractive but have distinct character, Nos 37 and 43 have modern dormers

2.2.2 Adjacent listed buildings

- 1 The following listed building adjoins 37 North Road on its south side:

- Adjoining 37 North Road
35 North Road. Grade II, listed 10 May 1974, list entry no. 1358849
Early C18 cottage of 2 storeys and attic, 1 window. High pitched tiled roof with 1 flat dormer. Weather-boarded 1st floor has tripartite sash window with glazing bars. On ground floor a 6-panel door; in panelled reveal, with panelled pilasters frieze and

cornice; and sash window with glazing bars in a canted bay. This front appears to be mainly reproduction

2 The following listed buildings are in the immediate vicinity of the site:

- To the south (adjoining 35 North Road)
33 and 33A North Road. Grade II, listed 10 May 1974, list entry no. 1294348
C18 with alterations. 2 storeys, 4 windows. Front roughcast, with parapet. Sash windows with glazing bars. On ground floor a mid-late C19 shop front and modern garage doors. Included for group value only.
- To the south (adjoining 33 and 33A North Road)
31 North Road. Grade II, listed 10 May 1974, list entry 1079195
Mid C19 house of large proportions, 3 storeys, 2 windows. Stucco, with rusticated 1st floor, quoined 2nd floor, bracketed cornice and parapet. Sash windows with glazing bars, those on 2nd floor round beaded in double moulded architraves. 1st floor windows in moulded architraves with serpentine broken pediments on brackets. Arcaded ground floor has rusticated moulded architraves to openings divided by flat pilasters. Modern plate glass in openings

2.2.3 Conservation area status

- 1 The building is located within the Highgate Conservation Area (designated December 1967) which is a designated heritage asset

2.3 ASSESSING SIGNIFICANCE: PLANNING HISTORY

- 1 There are two previous applications associated with 37 North Road. Haringey Council Development Management Support Team have confirmed these are the only planning records associated with the building and there is no planning history associated with this building prior to 2024. The planning history associated with the buildings is as follows:
- **2024** (September) listed building consent application HGY2024/2339 and planning application HGY/2024/2437. Investigatory and remedial works to establish the extent of dry rot, wet rot and rising damp
 - **2024** (August) Notification of tree works HGY/2024/2205. Decided

2.4 ASSESSING SIGNIFICANCE: DOCUMENTARY RECORDS

- 1 There is some documentary records and referencing to assist in providing an understanding of the interests of the heritage assets affected by this proposal. Information obtained through documentary research, which primarily informed the preparation of the summary is collated with the Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron

2.5 ASSESSING SIGNIFICANCE: FABRIC ASSESSMENT

- 1 Assessment of the building's fabric provides an opportunity to understand the building and identify the provenance and value of fabric and identify features of special architectural and historic interest which may remain. The materials of construction and surviving historic fabric all contribute to establishing an understanding of significance

- 2 The fabric of the buildings has been full assessed, and this information has been collated in the Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron

3 CURRENT LEGISLATIVE, POLICY AND GUIDANCE CONSIDERATIONS

3.1 PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

- 1 The local planning authority must determine any listed building consent application and, if relevant, associated planning application for any works of alteration, extension or demolition with due regard to the statutory duties under s16 and s66 Planning (Listed Buildings and Conservation Areas) Act 1990, which states:

s16 'In considering whether to grant listed building consent for any works the local planning authority..... shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'

s66 'In considering whether to grant planning permission for development which affects a listed building or its setting the local planning authority..... shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'

- 2 This listed building is located within a conservation area, the local planning authority will have to determine any planning application for works deemed to constitute development with due regard to the statutory duty under s72 Planning (Listed Buildings and Conservation Areas) Act 1990, which states:

s72 'In the exercise, with respect to any buildings or other land in a conservation area...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area'

3.2 NATIONAL PLANNING POLICY FRAMEWORK (DEC 2024)

- 1 The National Planning Policy Framework (NPPF) sets out the government's planning policies for England and how they are expected to be applied, these are a material consideration in the decision-making process when local authorities assess planning applications. The local planning authority will have due regard to the policies set out in the NPPF. The extant NPPF was issued 12 December 2024
- 2 It is acknowledged that the local planning authority will give due regard to policies within the NPPF specifically those under section 16 – Conservation and enhancing the historic environment, when determining this application. Policies 207, 208, 210 and 213 are viewed to be of specific relevance to this proposal. General policies on decision taking under policy 11 and application of condition under policies 56 and 57 will also be relevant. For the purpose of this application, it is considered that the works proposed will cause no harm to the significance of the building

3.3 LOCAL PLAN CONSIDERATIONS

- 1 The local planning authority will have to determine any application affecting 37 North Road with due regard to local plan policy particularly where there is an up-to-date development plan. The extant Local Plan documents for this planning authority are the Haringey Local Plan: Strategic Policies 2013 – 2026 (March 2013) and Development Management Plan DPD (Adopted July 2017). The local planning authority's historic environment/heritage policies within these documents are set out as follows:

Strategic Policies 2013 – 2026 (March 2013)

Policy SP12 Conservation

The Council shall ensure the conservation of the historic significance of Haringey's heritage assets, their setting, and the wider historic environment. The borough's heritage assets include Statutory Listed Buildings, Conservation Areas, Registered Parks and Gardens, Archaeological Priority Areas, and other locally important heritage assets such as Locally Listed Buildings, Local Historic Green Spaces and Sites of Industrial Heritage Interest. Where archaeological excavation is required, findings should be published, disseminated, and used as the basis for archaeological interpretation on site.

The Historic Environment should be used as the basis for heritage-led regeneration and as the basis for good design and positive change. Where possible, development should help increase accessibility to the historic environment. All development shall protect the Strategic view from Alexandra Palace to St Paul's Cathedral as protected in the London Mayoral "London View Management Framework" Revised SPG, July 2010, and key local views

Development Management Plan DPD (Adopted July 2017)

Policy D9: Management of the Historic Environment

Haringey's Heritage Assets

A Development that conserves and enhances the significance of a heritage asset and its setting will be supported.

B Proposals affecting a designated or non-designated heritage asset and its setting will be assessed against the significance of the asset and its setting, and the impact of the proposals on that significance. Applicants are required to submit with their planning application a statement describing the significance of the heritage asset(s) concerned, including any contribution made by its setting, along with an assessment and justification of the impact of the new development on the asset and its setting.

C When considering the impact of proposals on the historic environment, the Council will have regard to:

- a The priority given to sustaining and enhancing the significance of a heritage asset and its setting;
- b Character appraisals and management plans or other guidance, where they are available;
- c The preservation or reinstatement of original or historic form, fabric, function or character of the asset and its setting;
- d The relationship with adjoining and neighbouring uses, particularly where these are heritage assets of significance in their own right;
- e The desirability of securing a viable use for a heritage asset consistent with its conservation;
- f An understanding of and respect for significance of heritage assets as parts of measures

to mitigate and adapt to climate change; and
g The contribution that the sensitive utilisation of heritage assets can make to sustainable regeneration.

Conservation Areas

D Subject to (A-C) above the Council will give consideration to, and support where appropriate, proposals for the sensitive redevelopment of sites and buildings where these detract from the character and appearance of a Conservation Area and its setting, provided that they are compatible with and/or complement the special characteristics and significance of the area.

E Proposals for alterations and extensions to existing buildings in Conservation Areas should complement the architectural style, scale, proportions, materials and details of the host building and should not appear overbearing or intrusive.

Listed and Locally Listed Buildings

F In addition to (A-C) above, the Council will seek opportunities to secure the future of listed buildings particularly those on the 'Heritage at Risk' register, provided they:

- a Do not lead to substantial harm or total loss of their significance;
- b Retain and repair existing features and fabric, or, if missing, replace them in a sympathetic manner;
- c Do not harm the structural integrity or stability of the building or that of adjoining buildings or structures; and
- d Extensions are restricted to less significant parts of the building, relate sensitively to the original building and do not adversely affect the internal or external appearance or character of the listed building, curtilage or its setting.

G Subject to (A-C) above, the Council will seek to protect the local distinctiveness of the Borough by sustaining and enhancing the significance of locally listed buildings.

Archaeology

H Proposals affecting a designated Archaeological Priority Area will be considered having regard to:

- a The significance of an archaeological asset and its setting;
- b The impact of the proposal on archaeological assets; and
- c The priority given to preserving and managing the archaeological asset and its setting in situ.

I All proposals will be required to assess the potential impact on archaeological assets and where appropriate ensure adequate arrangements for the investigation, recording and archiving of assets of archaeological importance and engage with the relevant advisory organisations.

Enabling development

J The Council will approve proposals for enabling development where it is demonstrated that:

- a It is the only viable means of securing the long term future of the asset affected; and b It is the optimum viable use, supported by an appropriate options appraisal; and
- c The proposals address relevant policies (A-I) above

- 2 The local planning authority will have to determine any application affecting 37 North Road with due regard to the London Plan: The Spatial Development strategy for Greater London (March 2021). Policies within The London Plan's historic environment/heritage chapter that apply to the proposed works are as follows

London Plan: The Spatial Development strategy for Greater London (March 2021)

Policy HC1 (PART C AND PART E)

C Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process

E Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse

3.4 GUIDANCE

- 1 Haringey Council have also published the Highgate Conservation Area: Character Appraisal and Management Plan (December 2013) which provides guidance specific to proposals affecting the Highgate Conservation Area. The appraisal and management plan is not a supplementary planning document (SPD) and is to be weighted as guidance only

4 HERITAGE IMPACT ASSESSMENT AND POLICY COMPLIANCE

4.1 ASSESSING IMPACT: CONTEXT

- 1 The heritage impact assessment is intended to explain the works proposed at 37 North Road covered by the plans and supporting information. This heritage impact assessment is prepared with due regard to the following documents:
 - Plans (floor plans: existing and elevations: existing) by PKS Architects (dated August 2024). For reference to building form and layout only
 - Plans (floor plans: existing showing areas of floor and ceiling opened up to investigate dry rot outbreak) by PKS Architects (dated January 2025)
 - Plans (roof plans: existing and proposed) by PKS Architects (dated January 2025)
 - Dry rot and timber condition investigation report by H+R (dated 1 November 2024) plus additional methodology (prepared February 2025)
 - Façade masonry condition investigation (dated 28 November 2024) plus additional methodology (prepared February 2025)
 - Level 2 historic building record for 37 North Road, Hornsey by H+R (dated 18 December 2024)
 - Method Statement for remedial structural works due to dry rot by Mistry Design (dated 17 February 2025)
- 2 **Risk register status:** 37 North Road presently appears on the Historic England at Risk register where it is identified to be in poor condition and at immediate risk of rapid deterioration or loss of fabric. The building has been unoccupied for around eighteen months and in a dilapidated and deteriorating state for decades. In its current condition the building is not fit for habitation and required a scheme of works to bring it back to a state where it can be occupied again. The building had not been wind and watertight for many years and this has led to moisture related defects including an outbreak of dry rot. In 2024 the building was acquired by a new owner who is seeking to address its dilapidated state, bring it back into use as a single dwelling house and facilitate its removal from the risk register
- 3 **Local planning authority enforcement:** The building's current owner is aware that in 2017 Haringey Council served a s215 notice on the building's previous owner/occupant which was not complied with. Furthermore, it is understood that in March 2023 the Council were seeking to implement works under the outstanding notice although seemingly got no further than clearing the garden. The building's new owner has only recently been furnished with a copy of the notice
- 4 **Preapplication enquiry (PRE/2024/025):** On acquiring the building in 2024 the new owner sought to engage with the Local Planning Authority, through the pre-application process. The advice received by e mail covered 'investigative works' and identified documents that may be needed to support proposals for initial works to the building to investigate the dry rot infestation. Additional comment was made regarding other works including provision of a lower ground floor conservatory and onward remediation works
- 5 **Interim building protection and drying down:** Since acquiring the building in 2024 the new owner has introduced interim protection measures at the building to prevent ongoing

rainwater ingress into the building, allow the building to dry out and impede the dry rot infection. A scaffold system has been erected around the building supporting a tin roof and high-level scaffold sheeting. The tin roof and scaffold sheeting is protecting the roof and upper parts from further rainwater penetration and helping facilitate drying out of the fabric. Additional background heating (portable heaters) have also been installed within the building to aid the drying out process and restore dry internal conditions. The removal of some plaster finishes for localised opening is facilitating ventilation that aids drying down. The interim building protection and drying down measures will remain in place while works covered by this application are carried out

- 6 **Phase one repairs:** Works proposed under this application are intended to account for a first phase of works which are those essential to replacing decayed structural timbers, decayed mostly as a consequence of dry rot infection, and repairs to the external envelope of the building that will ensure the external envelope is wind, watertight and structurally sound so to restore and maintain dry conditions within the building. A second phase of works will follow which will detail onward refurbishment and repair

4.2 ASSESSING IMPACT: EXTERNAL WORKS

4.2.1 Refurbishment of roof covering to main roof

Proposed work

- Lift and relay slate roof covering allowing for replacement of modern inferior Spanish slates with new Welsh slate, introduce breather membrane beneath. Additionally, replace failed felt flat roof area with lead (code 5), and refurbishment dormers with lead covering (code 5)

Consideration and justification

- This work involved substantial and essential repair of fabric at roof level. The fabric to be repaired is of moderate value or low value (in the case of the felt roof covering and east dormer). Historic fabric, this being some surviving original Welsh slate, will be retained. After repair the fabric will have a moderate value incorporating positive alteration
- The H+R report for façade masonry condition investigation (28 Nov 24) provides assessment (including photographs) of the condition of the extant roof and accounts for repair in the corresponding methodology. Reference to proposed roof repairs is also shown on PKS Architects plans (roof plans: existing and proposed) (Jan 2025)
- The existing slate roof covering and felt to flat roof will be lifted. Original/historic Welsh slates will be salvaged for reuse where they are capable of being reused. Salvaged Original/historic Welsh Slate will be re-laid alongside new Welsh slate when the slate roof covering is re-laid. The Spanish slates will be removed entirely. The flat roof will be re-roofed in lead (code 5) which will replace the failed felt
- The slate roof covering will be re-laid over a breather membrane. Where sarking boards survive on the east and west roof slopes these will be retained, and the breather membrane will be laid over them
- The slate roof covering is currently detailed with leadwork to ridge and verges, a roof detail which is consistent across the entire built composition of 37-43 North Road. In the case of 37 North Road the detailing has been compromised where localised repairs have been undertaken using 'flashband' and other materials. When the roof covering is re-laid the ridge and verge details will be reinstated in lead (code 5)

- The rear (west) dormer has failed felt roof covering and rendered cheeks. The extant roof covering and external finishes of the cheeks will be removed. The roof will be dressed in lead. It is known the dormer structure is affected by timber decay. The timber structure will be retained and repaired in the first instance or replaced on a 'like for like' basis if repair is not possible
- The front (east) dormer has a poor-quality zinc covering. The extant covering to the dormers will be removed and replaced with lead. The roof and cheeks will be dressed in lead to match the extant dormer detail present at 43 North Road, at the north end of the architectural composition. It is known the dormer structure is affected by timber decay. The timber structure will be retained and repaired in the first instance or replaced on a 'like for like' basis if repair is not possible
- The removal of roof coverings will facilitate access to carry out essential repairs the timber roof structure where repair is required to address decayed timber affected by dry rot infection. These repairs are accounted for under item 4.3.3
- This works will facilitate restoring and maintaining dry conditions within the building and ensure the watertightness, appropriateness and longevity of the roof covering. The original characteristics and appearance of the roof covering deriving from its materials, form and detailing will be preserved through the remedial works proposed
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), works proposed to the roof covering will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.2.2 Chimneystack repairs

Proposed work

- Repair 1 no. chimneystack allowing for removal of ACMs (asbestos containing materials being assumed cement cowl and possibly flue riser), localised brickwork repairs, resetting of chimney pots in renewed flaunching and provision of flue liner and ventilation

Consideration and justification

- This work involved essential localised repair of fabric at roof level. The fabric to be repaired is of moderate value. Historic fabric, this being brickwork, will be retained repaired and enhanced by repair. After repair the fabric will have a moderate value
- The H+R report for façade masonry condition investigation (28 Nov 24) provides a detailed assessment (including photographs) of the condition of the extant chimneystack and accounts for corresponding recommendations of repair. Further details for repair are accounted for in the corresponding methodology
- A single chimneystack at the party wall with 39 North Road serves seven fireplaces within 37 North Road and presumably seven corresponding fireplaces within 39 North Road. The south side of the chimneystack associated with 37 North Road presents brickwork defects including spalling, wide spread presence of cement-based pointing

and cement based 'plastic repairs' across the face of some brick. The flaunching has failed and at least 3 no. chimney pots are modern replacements with at least one presenting an assumed asbestos cement cowl. 1 no. pot is showing clay failure. The south side of the chimneystack serving 37 North Road requires repair to ensure it is structurally sound and properly detailed

- The chimneystack will be conserved and repaired. In the first instance any identified ACMs will need to be removed. To the brickwork, the inappropriate cement pointing will be removed and replaced with a lime-based mortar and a limited number of spalled or damaged bricks will be removed and replaced to match the existing. The defective mortar flaunching will be replaced, and chimney pots will be set within this. 1 no. defective pot will be replaced with a new like for like pot. Where flues are to be brought back into reuse the flues will be lined. Where flues remain redundant a ventilated cowl shall be introduced onto the chimney pot(s) corresponding with ventilated board (register grate) internally across the throat of the flue
- This works will facilitate restoring and maintaining dry conditions within the building and ensure the watertightness, appropriateness and longevity of the chimneystack. The original characteristics and appearance of the chimneystack deriving from its materials, height, form and detailing will be preserved through the repairs proposed
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the repairs to the chimneystack will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.2.3 Party wall repairs

Proposed work

- Rebuild east (front) wall head to party wall, repair west (rear) wall head and allow for appropriate lead flashing (code 5)

Consideration and justification

- This work involved essential localised repair of fabric at roof level. The fabric to be repaired is of moderate value. Historic fabric, this being brickwork, will be retained, repaired and enhanced by repair. After repair the fabric will have a moderate value
- The H+R report for façade masonry condition investigation (28 Nov 24) provides a detailed assessment (including photographs) of the condition of the extant party wall and accounts for corresponding recommendations of repair. Further details for repair are accounted for in the corresponding methodology
- It is evident that the party wall between 37 North Road and 39 North Road is in poor condition. The front (east) slope is particularly poor with failed 'roman cement' render finishes over fractures and crumbling brickwork. The nature of this defect will be a cause of water ingress within the building. The party wall to the rear (west) slope has been built up and altered in the past and shows localised defects including spalled bricks and the presence of cement-based mortars

- The front (east) section of party wall head is in very poor condition and requires rebuilding. This will be done on a like-for-like basis with the wall head retaining its existing height, form and appearance. New brickwork will be used to build up the wall head and this will be rendered as it was previously in a sympathetic 'Roman cement' finish. A lead flashing detail will be introduced to protect the junction between the wall and slates
- The rear (west) section of the party wall will be conserved and repaired. Inappropriate cement pointing will be removed and replaced with a lime-based mortar and a limited number of spalled or damaged bricks will be removed and replaced to match the existing. A lead flashing detail will be introduced to protect the junction between the wall and slates, replacing the existing cement fillet
- This work will facilitate restoring and maintaining dry conditions within the building and ensure the watertightness, appropriateness and longevity of the chimneystack. The overall characteristics and appearance of the party wall deriving from materials, height, form and detailing will be preserved through the works proposed
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to the party wall will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.2.4 Repairs to front (east) elevation

Proposed work

- Address structural failures to upper south-east corner of the building through localised rebuilding of brickwork and localised replacement of cornice along with localised repairs and remedial works to address defects across the remaining facade

Consideration and justification

- This work involved essential localised repair of fabric of the façade (east elevation). The fabric to be repaired is of **very high** value in the case of the decorative cornice and pilasters and **moderate** value in the case of brickwork. Historic fabric is to be retained where possible and fundamental defect repaired. After repair the fabric will maintain a **very high** value where essential and sensitive repair is undertaken to decorative cornice and plasters to prevent further loss and restore these features and **moderate** value in the case of the brickwork
- H+R report for façade masonry condition investigation (28 Nov 24) provides a detailed assessment (including photographs) of the condition of the extant front (east) elevation and accounts for corresponding recommendations of repair. Further details for repair are accounted for in the corresponding methodology
- Mistry Design report on method statement for remedial structural works due to dry rot (17 Feb 25) identifies structural works required to the front (east) elevation
- 37 North Road is part of a composition of four dwellings, 37-43 North Road, which have been built to present a grand frontage constructed in red brick with bold pilaster

and cornice detailing derived from 'Roman cement' plaster finishes applied over brickwork. The cornice is built up to project with sandstone slabs

- At 37 North Road the front (east) elevation is suffering from a range of defects, including localised structural failure to upper parts, and the nature of these defects is a cause of moisture ingress within the building. Structural failure has occurred at the south-east end of the parapet/wall head and cornice where render finishes have failed and have been failing over a long period of time (failure having been exacerbated by poor quality cement repairs and inappropriate paint finishes) resulting in and exposing fractured and crumbling brickwork and sandstone beneath. The capital detail has been lost to the upper part of the pilaster. At the north-east end of the parapet/wall head and cornice damage is more limited and comprises of debonded render and cracking in the render finish. Across the remaining façade there is localised failure of the rendered finishes which have debonded from underlying brickwork, this is notable to render above the entrance, render forming the pilaster and render below the string course. Additionally, there is failure of past repairs at first floor level (where 'plastic repairs' have been carried out over spalled brickwork faces) , localised spalling bricks and soiling from ivy roots (ivy has previously been removed) or staining from water damage
- **Parapet/wall head and cornice repairs:** The nature of defects are such that the upper parts of the south-east corner of the building need to be dismantled and rebuilt; all fractured and crumbling brickwork and stonework underlying the rendered cornice needs to be removed, and the south end of the parapet/ wall head and cornice built back up from the point where sound and stable brickwork is identified. Reconstruction will be in materials to match original i.e. bricks to match original and render cornice in a 'Roman cement'. Where the cornice can be retained towards the central and north end the inappropriate paint finishes will be removed and cracks in the render filled with a 'Roman cement'. The entire cornice will then be painted in Keim paint. The intent is to retain as much fabric as in-situ as possible and reconstruct only those parts where structural failure has occurred, and reconstruction is essential
- **Render finishes:** Across the front (east) façade damaged render finishes including those forming the pilaster detailing will be addressed. Firstly, inappropriate paint finishes will be removed from render along with loose material. At ground floor level it is anticipated that all render below the string course will need to be removed. To the upper part of the south-east pilaster loose render will be removed. Render will be replaced with a new 'Roman cement' to reflect what had existed or localised repairs i.e. infilling of cracks, where render can be retained, will be undertaken in the same. The capital detail to the south pilaster needs reinstating where it is lost and this will be done by taking a mould from the party wall plaster or an adjacent property, replicating the capital in 'Roman cement' and reinstating it. All render finishes will then be painted in a Keim paint. The intent is to conserve and repair the render retaining as much fabric as in-situ as possible and replace only areas of render where failure has occurred, and replacement is absolutely necessary
- **Brickwork repairs:** failing past repairs will be removed. Where bricks are spalled these bricks will be replaced on a like for like basis and set within pointing to match surrounding pointing. Where brickwork is soiled from ivy roots this will be clean and where brickwork is stained from water damage a poultice cleaning maybe used to tidy this up. The intent is to retain as much fabric in-situ as possible and replace bricks only where absolutely necessary. It is identified that façade currently presents cement repointing, and, in this instance, this will be left in-situ as it is cost prohibitive to remove it
- This works will facilitate restoring and maintaining dry conditions within the building

- The original characteristics and appearance of the front (east) elevation deriving from form, materials and detailing will be preserved through the remedial works proposed
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to the front (east) elevation will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.2.5 Refurbishment of rainwater disposal

Proposed work

- Re-line parapet gutters in lead (code 5) and replace existing plastic rainwater goods to rear (west) elevation with metal rainwater goods

Consideration and justification

- This work involves replacement of non-original late 20th and/or 21st century fabric. The fabric to be replaced is moderate value in the case of leadwork within parapet gutters and no value in the case of plastic rainwater goods. After remedial works the fabric will have a moderate incorporating positive alteration where plastic rainwater goods are replaced with metal rainwater goods
- H+R report for façade masonry condition investigation (28 Nov 24) provides comment (including photographs) on the parapet gutter lining and accounts for corresponding recommendations of repair. Further details for repair are accounted for in the corresponding methodology
- The original design of this building incorporates rainwater disposal via lead lined parapet gutters which serve the front (east) roof slope and side (south) roof discharging to the rear (west) elevation. Presently rainwater discharges into a relatively small late 20th century plastic hopper head and onward into a late 20th century plastic downpipe that discharges onto the flat roof of the later rear extension. Localised parts of the lead lined parapet gutters are compromised by structural failure to the south-east corner of the building and are a cause of moisture ingress within the building. The hopper head and downpipe are also considered inadequately sized to take rainwater discharge from the parapets
- The existing leadwork will be removed from the parapet gutters. In conjunction with relaying the slate roof covering, once all structural repairs have been completed to the south-east corner of the building and structural timbers have been replaced/repared, the timber form of the parapet gutter structure will be repaired/replaced and relined in lead
- The removal of the lead from parapet gutters will provide access to repair the timber roof structure and parapet gutter structure, where repair is required to address decayed timber caused by the dry rot outbreak. These repairs are accounted for under item 4.3.2
- The plastic hopper head, gutter and downpipe will be replaced by new textured black Alumsac metal heritage rainwater goods. The hopper head, half round gutters, and

round downpipe will be sized larger than existing to ensure they can adequately accommodate rainwater discharge from the parapet gutters

- The historic arrangement and characteristics of rainwater disposal will be retained although detailing to the rear (west) elevation comprising of hopper and downpipe will be enhanced in function and appearance by the introduction of better-quality metal rainwater goods
- Rainwater goods will discharge to extant below ground drainage to the rear of the building
- This works will facilitate restoring and maintaining dry conditions within the building
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to the rainwater disposal will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.2.6 Refurbishment of rear (west) elevation and refurbishment of later flat roof

Proposed work

- Remove and replace exterior render and remove and replace flat roof felt roof covering from rear addition

Consideration and justification

- This work involved essential localised repair of fabric at the repair of the building. The fabric to be repaired is of moderate value in the case of the render and low value in the case of the roof covering on the flat roof. After repair the fabric will have a moderate value in the case of the render as original fabric will be replaced on a like for like basis to address defect and moderate value in the case of the flat roof covering which will be a positive alteration
- The H+R report for façade masonry condition investigation (28 Nov 24) provides comment (including photographs) on the rear (west) elevation render with corresponding repair recommendations. Further repair details are accounted for in the corresponding methodology
- The render to the rear elevation is in poor condition with evidence of surface cracking and debonding. Its inadequacies are compounded by the fact it was likely poorly applied in the first instance, and it has been painted with an impermeable paint finish which is likely trapping moisture. Defects and inadequacies in this render will be a cause of moisture ingress within the building. The render will be removed and replaced with a new NHL render decorated in Keim paint
- The flat roof of the rear addition has a failed felt roof covering. Defects in the roof covering will be a cause of moisture ingress within the building. The roof covering will be replaced with a new bitumen felt roof covering
- The removal of the roof covering will provide access to repair the timber roof structure, where repair is required to address any decayed timber

- This works will facilitate restoring and maintaining dry conditions within the building
- The present appearance of the rear (west) elevation deriving from its materials and detailing will be preserved through the works proposed
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to the rear (west) elevation will conserve and enhance the listed building without harm to its significance. As part of the scheme of works, the work will seek to address necessary repair to secure the future of this listed building 'at risk', ensure the external envelope is wind, watertight and structurally sound and provide the first step in bringing the building back into use as a dwelling house***

4.3 ASSESSING IMPACT: INTERNAL WORKS

4.3.1 Opening up works associated with plasterwork (as investigatory works and facilitating remedial works)

Retrospective and proposed work

- Localised removal of internal plaster finishes to allow access to investigate decayed structural timbers and facilitate remedial works

Consideration and justification

Background

- The building has suffered a dry rot infection associated with prolonged moisture ingress that has occurred over the previous decades (when the building was under a previous ownership) corresponding with external defects. Unfortunately, dry rot thrives in concealed areas of buildings where dampness is prevalent, ventilation is poor, its dark and there is availability of soft wood timbers to consume
- Dry rot has affected structural timbers within the building these being the roof structure and floor structures (floor joists) across the ground, first and second floor. Structural timber parts affected by dry rot are hard to access (i.e. wall plates and joist bearing ends) and mostly concealed by ceiling and floor finishes. Consequently, an element of opening up has been essential and unavoidable to assess the extent of the dry rot infection and timber decay. Some further limited opening up works will also be necessary to facilitate remedial works to structural timbers
- A benefit of the opening up undertaken is that it is allowing ventilation to concealed parts which, in conjunction with external protection measures (tin roof and scaffold sheeting) and background heating (portal heaters) is helping dry the building down. This works will facilitate restoring dry conditions within the building
- It is to be noted that opening up has revealed previous repairs to structural timbers within the building particularly along the front (east) elevation where joists have been partnered, or splice scarf repairs have been carried out to joist bearing ends. It is likely there has been a previous dry rot infection that necessitated these repairs
- There are vital benefits of fully understanding the extent of the dry rot infection and the decayed timber within the building as it is the starting point for developing a

scheme of works to address the problem and 'save' the building from this cause of long-term and ongoing deterioration. Additionally, being able to access decayed structural timber to initiate remedial works which facilitate onward refurbishment works and eventually reoccupation of the building is fundamental. The benefits of this work outweigh any harm associated with the loss of areas of water damaged plasterwork that is concealing dry rot infection

Ceiling plasterwork removal

- Ceiling plasterwork has been removed on the second floor, first floor, ground floor and lower ground floor. The fabric lost was predominantly **high** value as it was original fabric but notably it was of condition presented damage and defect caused by water ingress. In some areas **no** value fabric was removed where it involved removing extant plasterboard
- **Second floor (attic floor):** To investigate the dry rot infestation lath and plaster finishes have already been removed from the attic floor. This ceiling had partially collapsed and was already damaged, part missing and live (detached from laths and/or rafters), presenting extensive cracking, water staining and wet with mould growth present and with lathes decayed. The ceiling would always require replacement in the future anyway
- **First floor:** To investigate the dry rot infection some parts of the lath and plaster ceiling finishes at the first-floor hall and front bedroom have already been removed. These finishes were already damaged, part missing or live (detached from laths and/or rafters), presenting extensive cracking, water staining, dampness and with mould growth present and with lathes decayed. These finishes would require replacement in the future anyway. Additionally, within the front bedroom an area of later plasterboard ceiling that ran along the east side of the room has been removed. Within the rear bedroom an area of lath and plaster ceiling has been removed that ran along the west side of the room in areas where joist bearing ends are embedded into brickwork, which was known to be damp, and were these timbers were at high risk of dry rot infection warranting investigation. Within the rear former bathroom, the plasterboard ceiling has been removed
- **Ground floor:** Ceiling plasterwork has been removed in areas in the hall and front room adjacent to the front (east) walls and adjacent to rear (west) walls in areas where joist bearing ends are embedded into brickwork, which was known to be damp, and were these timbers were at high risk of dry rot infection warranting investigation
- **Lower ground floor:** Ceiling plasterwork has been removed in localised areas adjacent to the front (east) walls where joist bearing ends are embedded into brickwork, which was known to be damp, and were these timbers were at high risk of dry rot infection warranting investigation
- Beyond plaster ceiling finishes already removed a minimal amount of further plaster may require removal adjacent to where plaster has already removed to allow access to undertake necessary structural repairs. Plans (floor plans: existing showing areas of ceiling opened up to investigate dry rot outbreak) by PKS Architects (dated January 2025) show to total area of the removal of ceiling plaster accounting for investigatory works and to facilitate remedial works
- There is **no** intention to remove all historic ceiling plaster finishes within the building. the extent of plaster removal is as accounted for above

Wall plaster removal

- Wall plasterwork has been and will be removed on the second floor and first floor. The fabric lost was predominantly **high** value as it was original fabric but notably it was of condition presented damage and defect caused by water ingress
- **Second floor (attic floor):** To investigate the dry rot infestation lath and plaster wall finishes have already been removed from the attic floor. These finishes were already damaged, part missing (in the case of the ceiling) and live (detached from laths and/or rafters), presenting extensive cracking, water staining, dampness and mould growth present and with lathes decayed. These finishes would require replacement in the future anyway. It is proposed that plaster finish will also be removed from the north masonry wall where plaster is damaged and mould growth is present, and the wall has been extremely damp and is not drying down
- **First floor:** Wall plaster finish has been removed from the south masonry wall within the hall where plaster is damaged and blistered, mould growth is present, and the wall has been extremely damp and, in an area, where rot has occurred and it has dry rot hyphae running behind
- **Ground floor:** Wall plaster finish has been removed from the south masonry wall within the hall where plaster is damaged and blistered, mould growth is present, and the wall has been extremely damp and, in an area, where rot has occurred and it has dry rot hyphae running behind
- **Timber lintel replacements:** In certain locations within the building dry rot infected and decayed timber lintels to 4 no. decayed timber window lintels and replacement of 3 no. decayed timber door lintels (internal doors) will need to be removed. In association with this some very localised areas of plasterwork will be removed around the tops of these windows and doors. This work is accounted for on item 4.3.4 below
- There is no intention to remove all historic wall plaster finishes within the building. the extent of plaster removal is as accounted for above. The benefits of this work outweigh any harm associated with the loss of areas of water damaged plasterwork that maybe concealing dry rot infection
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary opening up works will ultimately lead to the conservation and enhancement of the listed building with harm to the building's significance through loss of historic fabric minimised to where opening up is essential. As part of the scheme of works, the work will facilitate necessary repair to secure the future of this listed building 'at risk' and provide the first step in bringing the building back into use as a dwelling house***

4.3.2 Opening up works associated with floorboards (as investigatory works and facilitating remedial works)

Retrospective and proposed works

- Localised lifting and relaying of floorboards to allow access to investigate and remediate decayed structural timbers and facilitate remedial works

Consideration and justification

- Background as 4.3.1 above
- Floorboards have been temporarily lifted on the ground first, and second floor. This fabric is high value. The fabric will maintain a high value as floorboards will be relayed
- Floorboards have only been lifted in localised areas adjacent to the front (east) walls and rear (west) walls where joist bearing ends are embedded into brickwork. Elsewhere floorboards remain in-situ
- Floorboards will be re-laid following repairs to structural timbers
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary opening up works associated with lifting and relaying floorboards will ultimately lead to the conservation and enhancement of the listed building with harm to the building's significance through loss of historic fabric minimised to where opening up is essential. As part of the scheme of works, the work will facilitate necessary repair to secure the future of this listed building 'at risk' and provide the first step in bringing the building back into use as a dwelling house***

4.3.3 Remedial works to structural timbers

Proposed work

- Repair of structural timbers; repair of timber roof structure and timber floor structures

Consideration and justification

- This work involved essential localised repair of structural timber fabric within the building. The fabric to be repaired is of high value. After repair the fabric will have a high value where essential and sensitive repair is undertaken to resolve damage caused by dry rot with the majority of structural timber fabric retained
- The H+R report for dry rot and timber condition investigation (1 Nov 24) provides a detailed assessment (including photographs) identifying areas where timber is decayed and has been affected by dry rot infection and other forms of rot. Details of repair are accounted for in the corresponding methodology
- Mistry Design report '*Method Statement for remedial structural works due to dry rot*' (17 Feb 25) also identifies where defective structural timbers need to be repaired or replaced
- Measures are already in place to dry the building down and arrest the dry rot infection. The impact of these measures will establish conditions within the building where dry rot cannot develop further. Decay of timber will cease if the moisture content of the wood reduces below 20 percent. There are, however, timbers which are already decayed from dry rot infection and other forms of rot, where structural integrity of the timber has been lost or is compromised and where timber repair or replacement is a necessity to ensure the building is structurally sound. Decayed timber and timber with dry rot infestation need to be removed

- **Roof structure:** Localised replacement of structural timbers is proposed within the roof structure where it is identified that the wall plates are heavily decayed. Full replacement of wall plates along the east and west roof slopes is required and partial replacement of the west wall plate is required. Repair will be necessary to some rafters to address decayed rafter feet particularly along the south roof slope below the parapet gutter where rafters will be cut back and partnered
- **Second floor:** Repair is required to the second-floor floor structure where some joist bearing ends to the rear (west) wall present decay and to the front (east) wall modern repaired joists are improperly bedded into the wall which required addressing.
- **First floor:** the first-floor floor structure presents a greater degree of timber decay. Decay is widespread to timbers in the south-east corner of the front bedroom and adjacent landing and within the rear extension (former bathroom). In these parts proposals account for some whole joists being replaced and some joist bearing end repaired
- **Ground floor:** repair is required to the ground-floor floor structure where some joist bearing ends to the front (east) wall and rear (west) wall present decay
- The intention is to retain all structural timbers which are not decayed or infected by dry rot. Remedial works will focus on replacing structural timbers that are heavily decayed along their length and repairing timbers which present localised decay by cutting back and removing decayed lengths and section of structural timber and timber affected by dry rot. New lengths and sections of timber will match existing in material and section. Where decayed sections of timber are removed from rafter bearing ends and joist bearing ends repaired sections will be jointed into new timbers or partnered as required. As part of repairs consideration will be given to isolating timbers which come in to contact with masonry affected by dry rot to safeguard them in the future
- This works will facilitate removing decayed timber and timber affected by dry rot infection from the building and reestablishing structural sound roof and floor structures
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to address defects within structural timbers will ultimately lead to the conservation and enhancement of the listed building with harm to the building's significance through loss of historic fabric minimised to where structural repair is essential. As part of the scheme of works, the work will facilitate necessary repair to secure the future of this listed building 'at risk' and provide the first step in bringing the building back into use as a dwelling house***

4.3.4 Remedial works to timber lintels

Proposed work

- Replacement of 4 no. decayed timber window lintels and replacement of 3 no. decayed timber door lintels (internal doors)

Consideration and justification

- This work involved essential removal of concealed fabric at localised areas on the second floor and first floor. The removed fabric lost was moderate value
- The H+R report for dry rot and timber condition investigation (1 Nov 24) provides a detailed assessment (including photographs) identifying areas where timber is decayed and has been affected by dry rot infection and other forms of rot. Details of repair are accounted for in the corresponding methodology
- Mistry Design report '*Method Statement for remedial structural works due to dry rot*' (17 Feb 25) identifies where decayed timber lintels need removing. This accounts for the removal of 3 no. timber window lintels on the east elevation to first floor, ground floor and lower ground floor, 1 no. timber window lintel on the west elevation at first floor, 1 no. internal door lintel on the first floor and 2 no. internal door lintels on the ground floor
- On the inside face of walls window openings are formed with concealed timber lintels which have brickwork above and adjacent to them and are plastered on the inside face. Lintels to internal doorway openings are also constructed the same. These types of embedded structural timbers are highly susceptible to decay and associated dry rot infestation when adjacent brickwork has become damp, because a large part of their surface area is in contact with the damp brickwork
- The decayed lintels need to be removed. In order to achieve this localised areas of plaster around these lintels will be removed. The lintels will be replaced by precast concrete lintels this is because these concealed timbers are at high risk of future decay because they are concealed without ventilation and large parts of their surface area will be in contact with brickwork that remains infected with dry rot. It is prudent to safeguard against future issues by removing timber concealed and embedded within brickwork
- This work will facilitate removing decayed timber and timber affected by dry rot infection from the building and reestablishing structural sound window and doorway lintels
- ***With due regard to S16 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the necessary works to address defects within structural timber lintels will ultimately lead to the conservation and enhancement of the listed building with harm to the building's significance through loss of historic fabric minimised to where structural repair is essential and to prevent future problems. As part of the scheme of works, the work will facilitate necessary repair to secure the future of this listed building 'at risk' and provide the first step in bringing the building back into use as a dwelling house***

4.4 ASSESSING IMPACT: IMPACT ON SETTING OF ADJACENT LISTED BUILDINGS AND CHARACTER AND APPEARANCE OF THE CONSERVATION AREA

4.4.1 Repairs to 37 North Road (Phase one works)

Proposed works

- Repairs as accounted for in items 4.2.1-4.2.6 and item 4.3.1-4.3.3 above

Consideration and justification

- The dilapidated condition of 37 North Road detracts from the setting of the adjacent listed buildings, particularly the composition that is 37-43 North Road, and detracts from the character and appearance of the conservation area. The negative impact the building has on the surrounding heritage assets has been acknowledged by the local planning authority who have previously served (2017) a S215 Notice as a means of trying to address the situation
- The works now proposed to 37 North Road will address its structural defects and other external defects and will secure the building into a wind, watertight and structurally sound state in materials and manner that is sensitive to the character of the building. Consequently, the works will significantly improve the external appearance of the building which in turn will enhance the setting of adjacent listed buildings and the character and appearance of the conservation area
- The works now proposed to 37 North Road are intended to sympathetically restore the original/historic appearance of the building retaining historic fabric where possible and undertaking repairs like for like to original/historic materials. The works are intended to preserve the architectural and historic integrity and merits of the building which will preserve the historic composition that is 37-43 North Road and preserve the historic integrity of the conservation area
- ***With due regard to S66 and S72 Planning (listed buildings and conservation areas) Act 1990, heritage provisions of the NPPF (Dec 2024), Policy SP12 of Haringey's Strategic Policies 2013 – 2026 (March 2013) and Policy D9 of Haringey's Development Management Plan DPD (Adopted July 2017), the works proposed to 37 North Road will enhance the setting of adjacent listed buildings and conserve and enhance the character and appearance of the conservation area***

Appendix A

Appendix A

This information is taken from a Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron

DOCUMENTARY RESEARCH

Planning history

- 1 The following planning records relating to 37 North Road and were identified on the online planning portal. Haringey Council Development Management Support Team have confirmed these are the only planning records associated with the building and there is no planning history associated with this building prior to 2024. The planning history yields no significant information about the building's history, development and provenance of fabric:
 - a) **2024** (September) listed building consent application HGY2024/2339 and planning application HGY/2024/2437. Investigatory and remedial works to establish the extent of dry rot, wet rot and rising damp
 - b) **2024** (August) Notification of tree works HGY/2024/2205. Decided

Books and published sources

- 1 Information contained within books and published sources can provide a valuable source of information about the history, development and occupants of a building. Information specific to 37 North Road is limited but general information about Highgate aids understanding of the place and provides context to understanding the building and its interests
 - a) **British History Online:** *A P Baggs, Diane K Bolton, M A Hicks, R B Pugh, A History of the County of Middlesex: Volume 6, Friern Barnet, Finchley, Hornsey With Highgate*, ed. T F T Baker, C R Elrington (London, 1980), *British History Online* <https://www.british-history.ac.uk/vch/middx/vol6> [accessed 2 January 2025]: Specific reference to 37 North Road with the brief statement 'Nos. 37 & 39 and 41 & 43 are early-19th-century pairs of unusual appearance, with pilaster strips rising to a cement entablature'. Otherwise, detailed background on the founding and development of Highgate from its medieval origins through to the 20th century. It is referenced that in the post medieval period and through into the 17th century Highgate developed to serve the rich and aristocracy but also catered for travellers and had many inns. By 18th century the demographic of Highgate was changing and while still attracting travellers and the rich it was 'no longer aristocratic' with dwelling houses being built following the subdivision of larger plots and of a humbler nature. By the end of the 18th century Highgate had the amenities of a small town and was a thriving commercial centre. It is specifically noted that North Road and North Hill where only called by these names from the 19th century and these roads were subject to greater development from mid-18th century onwards as housing spread out along the roads approaching 'the village' as Highgate grew
 - b) **Pevsner:** *Cherry, B., & Pevsner, N. (1998). London 4: North (Pevsner Architectural Guides: Buildings of England). New Haven, CT: Yale University Press.* Specific reference to 37 North Road with the brief statement 'An attractive later miscellany follows, with no. 37-43, early C19 with giant pilasters. Otherwise, a summarised account of buildings along North Road and North Hill with the Highpoint buildings the greater focus of interest. General summary of Highgate's development from its origins as a hamlet on the edge of Bishop of London's estate
 - c) J Richardson, (1983) *Highgate: Its History since the Fifteenth Century. Historical publications Ltd, New Barnet, Herts.* Specific reference to 37 North Road appears to be incorrect as it refers to a building under this address operating as the Coach & Horses from at least 1765

and closing between 1841-6 before being rebuilt in 1873 and this does not relate to the extant building which is an early 19th century dwelling house and part of a designed composition of four dwellings. Otherwise, the book discusses the general development of Highgate from hamlet in the 15th century to its growth and establishment as an area of gentry and merchant residents in the 16th-19th century to building boom of suburban expansion in the 19th and 20th century. Specific reference to North Road as a route established across the Bishop of London's parkland which facilitated the founding of Highgate a place of trade and for travellers to rest and reference to North Road as an area where there was much building renewal over time and whereby it has changed from a place of many shops to being predominantly residential. A street-by-street guide attempts to identifies some houses and their occupants but the information for 37 North Road is not correct

- d) **Hornsey Historical Society:** A Brief History of Highgate (online). Summary of origins of Highgate going back to the 12th century, the development of the settlement and role of travellers from late 14th century, growth into a small county time by the 18th century and growth beyond

Historic images

- 1 Images available in the form of drawings and photographs can provide a valuable understanding of a building in terms of its appearance, evolution, fabric provenance and context. There a few image of 37 North Road available, the following sources have been reviewed:
 - a) **London Picture Archive:** 1 no. photograph taken in 1970 and showing the front elevation of 35 North Road but including the side of 37 North Road. 1 no. photograph taken in 1970 showing the rear of 39 North Road and including a partial view of the rear of 37 North Road. 1 no. photographs taken in 1975 and showing a North Road street scene with the focus on 37-43 North Road. 1 no. photograph taken in 1975 showing a North Road street scene focused on the garage and 35 North Road but including 37 North Road. [images not provided due to copyright]
 - b) **Historic England's online archive records including England's Places:** 5 no. photographs taken between 1977-1983 showing the exact same North Road street scene and includes a partial view of 37 North Road. 2 no. photographs taken between 1946-1999 showing 35 North Road and consequently including a partial view of 37 North Road [images not provided due to copyright]
 - c)
 - d) **Google Images:** 15 no. photographic street scene images taken between August 2008 and September 2024 mostly showing only partial views of 37 North Road behind vegetation [Appendix B, Fig. 1 – Fig. 8]
 - e) **Highgate Conservation Area: Character Appraisal and Management Plan (December 2013):** 1 no. photograph dated c.1906 showing the side of 37 North Road. It is noted that there is no dormer within the front (east) roof slope
 - f) **Francis Firth collection:** No photographs or other images featuring 37 North Road have been found in these records

Cartographic records

- 1 A reasonable understanding of the history, phasing, development, and context of 37 North Road and settlement morphology along North Road is gained from cartographic evidence as follows:
 - a) **1968.** OS Map 1:1250 Revised 1967. This map shows development established along both sides of North Road. 37 North Road is identifiable by street number as one of a grouping of buildings [Appendix B, Fig. 9]

- b) **1952** OS Map 1:1250 Surveyed 1950. This map shows development established along both sides of North Road. 37 North Road is identifiable by street number as one of a grouping of buildings
- c) **1938** OS Map (25 inch to the mile). Revised 1936. This map shows development established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings [Appendix b, Fig. 10]
- d) **1914** OS Map (25 inch to the mile) Revised 1913: This map shows development established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings
- e) **1895** OS Town Map Revised 1895: This map shows tightly knit development of adjoining buildings established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings. The building footprint has changed since 1870, and it now has an addition to the rear [Appendix B, Fig. 11]
- f) **1870** OS Map (25 inch to the mile), Surveyed 1863: This map shows tightly knit development of adjoining buildings established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings. The map shows boundaries, gardens, planting and pathway in much detail. 37 North Road has a small rear yard and doesn't yet have an addition to the rear [Appendix B, Fig. 12]
- g) **1842** F Prickett The History and Antiquities of Highgate. This map shows tightly knit development of adjoining buildings established along both sides of North Road and North Hill. 37 North Road is not clearly identifiable but most likely part of the adjoining buildings shown on the west side of North Road. It is noted that the road is not called North Road but is part of 'Highgate' [Appendix B, Fig. 13]
- h) **1829** F C Cruchley's New Plan of London. This map shows tightly knit development of adjoining buildings established along both side of North Road and North Hill. Building footprints appear show in detail but bear no resemblance to that of 37-43 North Road and leading to the conclusion that this map shows previous buildings that were replaced by 37-43 North Road. It is noted that the road is not called North Road but is called High Str [Appendix b, Fig. 14]
- i) **1822** OS (6 inch to the mile) Surveyed 1804-1812. Indicative map but clearly showing development well established along both sides of North Road and North Hill. Buildings are not distinguishable as to whether they relate to extant buildings or not
- j) **1807** H William. Indicative map but clearly showing development well established along both sides of North Road and North Hill. Buildings are not distinguishable as to whether they relate to extant buildings or not [Appendix B, Fig. 15]
- k) **1746** John Rocque. An exact survey of the cities of London Westminster ye Borough of Southwark and the country near ten miles round. Map clearly showing development well established along both sides of North Road with garden. Building footprints do not relate to extant buildings [Appendix B, Fig. 16]
- l) **1712**. J Warburton, J Bland. A new correct map of Middlesex. Highgate clearly shown as a settlement with principal roads including North Road identifiable. Development indicatively shown as established on both sides of North Road

Census and 1939 Register

- 1 Census records can provide a valuable understanding of the occupants of a building and their social status. The census evidence provides an understanding of the occupants of 37 North Road and jobs they held throughout the end of Victorian period and Edwardian era. The census information can be summarised as follows:
 - a) **1939 Register** – 37 North Road identified by house number. Unoccupied with no residents named
 - b) **1911** – 37 North Road identified by house number, occupied by Mr Edward Tout (56) joiner and Mrs Tout (56).
 - c) **1901** – 37 North Road identified by house number (between 35 and 39), occupied by Mr Edward Tout (47) joiner, Mrs Tout (47) along with son (19), daughter (16) and boarder (29)
 - d) **1891** – 37 North Road identified by house number (between 35 and 39), occupied by Benjamin Hale (46) carpenter/joiner, Martha Hale (36) and 2 no, sons (1) and sister-in-law (20) domestic servant
 - e) **1881** – North Road named but house numbers are not in regular use and do not go up to 37 although a number of premise are identified as shops of different sorts (i.e. green grocers, feed shop red lion etc) or property names. It is not possible to correctly identify 37 North Road and its occupants from the information
 - f) **1871** – 37 North Road, North Side. 37 identified by house number, occupied by John Gulling (55) grocer and Eliza (52). *It is possible this entry reflects an earlier house numbering system and does not relate to the building this is because numbers are shown in the census in sequence and not evens on one side, odds on the other
 - g) **1861** – North Road named but house numbers not in use although a number of premise are identified as shops of different sorts (i.e. tailors' shop, wheelwright shop, carpenter shop, grocer shop etc). It is not possible to correctly identify 37 North Road and its occupants from the information
 - h) **1851** – North Road named but house numbers not in use. It is not possible to correctly identify 37 North Road and its occupants from the information
 - i) **1841** – It is not possible to identify 37 North Road or its occupants from this information. Around this time the street was known as Highgate (on maps). High Street and North Road were both street named on the census, but no house numbering was used

Other sources

- 1 The Highgate Conservation Area Character Appraisal and Management Plan (December 2013) provides a detailed assessment on the history and evolution of Highgate and specifically those parts which fall within the Borough of Haringey. The document provides justification to why the conservation area is recognised to be an area that has special architectural or historic interest and has a character or appearance which it is desirable to preserve or enhance. The appraisal described the development of Highgate from its early beginnings around the 14th century before going on to note *'the main period of the development of Highgate occurred during the 19th century'* when smaller scale houses were built amongst earlier buildings. North Road is located within the village core (sub area 1) which is the original village core and intersection of key routes. 37-43 North Road are mentioned only to say they are *'two pairs of early 19th century houses linked in the centre by recessed porch wings, each two storeys high and a basement'*

Appendix B



Fig 1:

2024: Google street view image., showing 37 North Road. The south frontage and south side of the building showing significant damp staining, presence of vegetation (indicative of dampness) and damage. The trees have been removed from the boundary so the building is more visible.

Image capture Sept 2024 @ 2025 Google



Fig 2:

2022: Google street view image., showing 37 North Road. The south frontage and south side of the building are concealed by vegetation with evidence of damage remaining to landing window and surrounding masonry as well as ivy growth on the façade.

Image capture November 2022 @ 2025 Google



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale

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Job no. 162-58 Level 2 Historic Building Record Page 1 © Copyright Hutton+Rostron 2024



Fig 3:

2020: Google street view image., showing 37 North Road. The south frontage and south side of the building show deteriorating in condition with the landing window propped and damp staining across the façade.

Image capture November 2020 @ 2025 Google



Fig 4:

2018: Google street view image., showing 37 North Road. The south frontage and south side of the building show deteriorating in condition with the landing window propped and damp staining across the façade.

Image capture March 2018 @ 2025 Google



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale



Fig 5:

2012. Google street view image showing 37-43 North Road, Highgate.

Image capture May 2012 @ 2025
Google



Fig 6:

2012: Google street view image., showing 37 North Road. The south frontage and south side of the building appear to be in reasonable condition although some damp staining is evident to the parapet in this image.

Image capture May 2012 @ 2025
Google



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale



Fig 7:

2008: Google street view image., showing 37-43 North Road, Highgate.

Image capture August 2008 @ 2025
Google



Fig 8:

2008: Google street view image., showing 37 North Road. The south frontage and south side of the building appear to be in reasonable condition in this image.

Image capture August 2008 @ 2025
Google



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale



Fig 9:

1968. OS Map 1:1250 Revised 1967. This map shows development established along both sides of North Road. 37 North Road is identifiable by street number as one of a grouping of buildings



Fig 10:

1938: OS Map (25 inch to the mile). Revised 1936. This map shows development established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale



Fig 11:

1895: OS Town Map Revised 1895: This map shows tightly knit development of adjoining buildings established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings. The building footprint has changed since 1870, and it now has an addition to the rear.

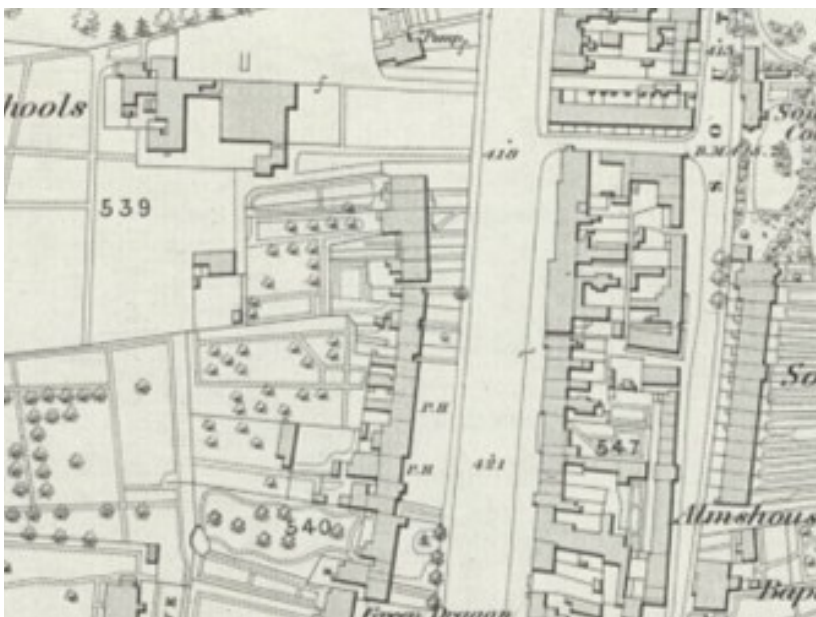


Fig 12:

1870: S Map (25 inch to the mile), Surveyed 1863: This map shows tightly knit development of adjoining buildings established along both sides of North Road. 37 North Road is identifiable as one of a grouping of buildings. The map shows boundaries, gardens, planting and pathway in much detail. 37 North Road has a small rear yard and doesn't yet have an addition to the rear



37 North Road, Highgate
 Historic documentary research
 18 December 2024
 Not to scale



Fig 13:

1842: F Prickett The History and Antiquities of Highgate. This map shows tightly knit development of adjoining buildings established along both sides of North Road and North Hill. 37 North Road is not clearly identifiable but most likely part of the adjoining buildings shown on the west side of North Road. It is noted that the road is not called North Road but is part of 'Highgate'.



Fig 14:

1829: F C Cruchley's New Plan of London. This map shows tightly knit development of adjoining buildings established along both side of North Road and North Hill. Building footprints appear show in detail but bear no resemblance to that of 37-43 North Road and leading to the conclusion that this map shows previous buildings that were replaced by 37-43 North Road. It is noted that the road is not called North Road but is called High Str



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale



Fig 15:

1807: H William. Indicative map but clearly showing development well established along both sides of North Road and North Hill. Buildings are not distinguishable as to whether they relate to extant buildings or not



Fig 16:

1746: John Rocque. An exact survey of the cities of London Westminster ye Borough of Southwark and the country near ten miles round. Map clearly showing development well established along both sides of North Road with garden. Building footprints do not relate to extant buildings



37 North Road, Highgate
Historic documentary research
18 December 2024
Not to scale

Appendix C

APPENDIX C

This information is directly taken from a Level 2 Historic Building Record (18 December 2024) prepared by Hutton + Rostron.

EXTERIOR INVENTORY

EXTERNAL REFERENCE

Date	18 December 2024
<i>Elevation (N,E,S,W)</i>	East elevation
<i>Area name (if applicable)</i>	Front elevation
<i>Area function (if applicable)</i>	Front elevation

WRITTEN DESCRIPTION

Roof	Slate roof covering to hipped timber roof structure comprising of mill sawn manufactured softwood timbers with east and west slopes overlaid by sarking boards (assumed original), felt then slate and south slope overlaid with assumed breather membrane (laid after December 2013) then slate. East and west slopes incorporating flat roof dormers. Note: east dormer as mid-20 th century insertion, flat roof leaded dormer. West dormer original, flat roof dormer, assume rendered checks with evidence of repair using EML.
Walls	Red brick laid in a bastardized Flemish bond and presenting later cement pointing. Pilaster, capital and entablature features to facade in cement-based render.
Rainwater Goods	None. Rainwater discharge from roof dealt with by parapet gutter extending across the front (east) elevation and round into the side (south) elevation to discharge into downpipes at the rear of the building.
Doors	Front door painted timber with single lower raised and fielded panel and upper part glazed in three pane glazing arrangement. Central letter box. Plain glazed half round fanlight over door
Windows	Lower ground floor, 1 no. eight by eight pane, singled glazed, painted white. Windows set back with opening with only sashes visible and sash box entirely concealed. Window set below architrave detail. Ground floor, 1 no. large vertical sliding sash, eight by eight pane, singled glazed, painted white. 2 no. sash window handles present to upper meeting rail. Windows set back with opening with only sashes visible and sash box entirely concealed. Window set below rubbed flat arch brick lintel.

	First floor, 1 no. vertical sliding sash (notably smaller than ground floor sash directly below), eight by eight pane, singled glazed, painted white. 2 no. sash window handles present to upper meeting rail. Windows set back with opening with only sashes visible and sash box entirely concealed. Window set below architrave detail. Attic floor, 1 no. side hung casement, plain glazed (without glazing bars), single glazed, painted white. Dormer and window mid-20th century insertion.
<i>Other items of interest</i>	Ironwork balconette to ground floor window incorporating anthemion and Vitruvian scroll detailing.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of the front elevation. At the time of the survey scaffold was present across the front elevation ahead of building refurbishment.
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PHOTOGRAPHS

<i>Photograph: General Context</i>	
	
Front (east) elevation.	

Photograph: Building Detail



Front elevation, showing red brick laid to a bastardized Flemish bond with later cement repointing.

Photograph: Building Detail



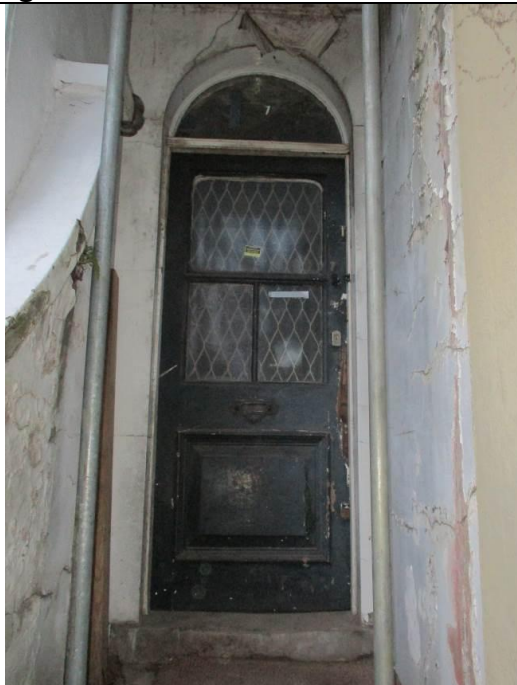
Front elevation, showing damage to render which forms the pilaster detail that has been applied over brickwork. Pilaster render is formed of a cement-based render.

Photograph: Building Detail



Front elevation, showing metal balconette to ground floor window.

Photograph: Building Detail



Front (east) elevation, front door.

EXTERNAL REFERENCE

<i>Dated</i>	18 December 2024
<i>Elevation (N,E,S,W)</i>	West elevation
<i>Area name (if applicable)</i>	Rear elevation
<i>Area function (if applicable)</i>	Rear

WRITTEN DESCRIPTION

<i>Roof</i>	Described above under the front elevation.
<i>Walls</i>	Main range painted render with evidence of incised detailing suggestive of an ashlar style decorative finish historically. Flat roof addition in painted brick.
<i>Rainwater Goods</i>	Black plastic downpipe.
<i>Doors</i>	Back door painted timber with solid lower part presenting incised panel detailing and upper part glazed in multiple glazing arrangement with margin lights.
<i>Windows</i>	Lower ground floor, 1 no. side hung casement, plain glazed (without glazing bars), single glazed, painted white. As later replacement. Ground floor, 1 no. vertical sliding sash, eight by eight pane, singled glazed, painted white. 2 no. sash window handles present to upper meeting rail. Windows set back with opening with sash box part visible. First floor (main range), 1 no. vertical sliding sash six by six pane, singled glazed, horns present, painted white. Windows set back with sash box part visible. Assume later replacement window. First floor (flat roof addition), 1 no. flush fitted side hung casement eight by eight pane, single glazed, painted white. Attic floor, Window missing and opening covered by sheet plastic.
<i>Other items of interest</i>	None.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of the rear elevation. At the time of the survey, scaffold was present across the rear elevation ahead of building refurbishment.
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PHOTOGRAPHS

Photograph: General Context



Rear (west) elevation.

Photograph: Building Detail



Rear (west) elevation. Painted render (assumed over brickwork). The faint lines of an incised detailing are visible within the render finish.

Photograph: Building Detail



Rear (west) elevation showing the painted brickwork of the flat roof addition.

INTERIOR INVENTORY:
ATTIC FLOOR

ROOM REFERENCE

<i>Floor</i>	Attic floor (second floor)
<i>Room number</i>	S1 including S1a
<i>Room function/name (if apparent)</i>	Bedroom incorporating built-in cupboard

WRITTEN DESCRIPTION

<i>Ceiling</i>	S1 with ceilings removed, roof structure and underside of roof coverings visible. Staining to underside of rafters' indicative of original lath and plaster finishes. S1a with ceiling and walls in decorated horizontally laid timber boards @ 205 mm (depth). Note: the horizontal boards have the remains of a lining paper over then.
<i>Walls (incl. skirtings) (N/E/S/W)</i>	S1 <u>North</u> wall as party wall with 39 North Road, decorated lime plaster over brickwork. Skirting present comprising of simple (unprofiled) decorated timber skirting boards @ 125mm height. <u>East</u> , <u>south</u> and <u>west</u> walls with wall finishes removed exposing timber structure. Staining to internal side of ashlar timbers indicative of original lath and plaster finishes. South wall (west end) with 1 no. cupboard formed of timber panelling. S1a with walls and ceiling in decorated horizontally laid timber board @ 205 mm (depth). Note: the horizontal boards have the remains of a lining paper over then.
<i>Floor</i>	S1 and S1a floorboards extending through both spaces orientated north/south (over joists orientated east/west). c.210mm (width) x 20mm (depth). Butted.
<i>Internal doors</i>	S1 with 1 no. four paneled door, painted, plain (without beading detail). 730mm (width) x 1.76m (height) Lock case to inner (room) side and key plate to outer side. S1a with 1 no. four paneled door, painted, plain (without beading detail). 680mm (width) x 1.71m (height). Key plate to room side. Keyhole outer side.
<i>Fireplaces</i>	North (party) wall contains 1 no. fireplace aperture to east side. Fireplace missing although hearth is visible

	within floor.
<i>Fixtures and fittings</i>	None.
<i>Other items of interest</i>	None.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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PHOTOGRAPHS

Photograph: General Context



Room S1, looking east through room.

Photograph: General Context



Room S1 looking west through room.

Photograph: Building Detail



Room S1, showing the underside of south roof slope (east end) where rafters are overlaid by

an assume breather membrane with production date stamp 19/12/13.

Photograph: Building Detail



Room S1, showing the underside of the west roof slope with rafters are overlaid by sarking boards which are overlaid by roofing felt.

Photograph: Building Detail



Room S1, showing evidence of previous structural repairs along the east wall. Partnering

timbers with bituminous painted ends set in cement mortars are present along east masonry.

Photograph: Building Detail



Room S1, showing floorboards originated north/south.

Photograph: Building Detail



Room S1, showing four-panel internal door with key plate and handle to outer side of door.

Photograph: Building Detail



Room S1, showing the position of former fireplace within north party wall. The fireplace (surround and grate) has previously been removed although the hearth remains within the floor.

Photograph: Building Detail



Room S1, showing plain (unprofiled) timber skirting.

Photograph: Building Detail



Room S1, showing room S1a as a timber built-in cupboard within the southwest corner of room.

Photograph: Building Detail



Room S1a, showing interior of cupboard which is lined with horizontal timbers. A lining paper had been stuck over the timbers and is peeling away.

INTERIOR INVENTORY: **FIRST FLOOR**

ROOM REFERENCE

<i>Floor</i>	First floor
<i>Room number</i>	F1 including F1a
<i>Room function/name (if apparent)</i>	Landing including staircase to attic floor and cupboard under the stairs

WRITTEN DESCRIPTION

<i>Ceiling</i>	Ceiling removed, open to underside of joists with underside of parapet gutter visible along south wall. Ceiling sloping to south following roofline. Staining to underside of rafters' indicative of original lath and plaster finishes. Note: Evidence of past repair to south-east corner.
<i>Walls (incl. skirtings) (N/E/S/W)</i>	Decorated lime plaster over brickwork. Plaster finish on south wall appears to be of two coats (scratch coat and finish coat) @ 20mm thick. Skirting comprising of simple (unprofiled) decorated timber skirting boards @

	170mm height.
Floor	F1 and F1a, floorboards orientated north/south (over joists orientated east/west). c.220mm – 230mm (width) x 20mm (depth). Butted.
Internal doors	Doors reference with associated rooms. Note architrave facing hallway and door lining built up from plain boards with applied beading. Architrave fixed to timber grounds (timbers embedded within walls) within opening. Architrave 150mm (width). S1a (Cupboard under staircase) with 1 no. two paneled door, painted, plain (without beading detail). 500mm (width) x 1.61m (height).
Fireplaces	None.
Fixtures and fittings	<u>Staircase between ground and first floor (upper flight):</u> Dog leg arrangement, open string with timber balustrade comprising of stick spindles (20mm x 20mm @100-115mm centres) and polished wood handrail. Treads @ 235mm (depth) with pronounced nosing, risers @ 150mm (height). Square newel to first floor integrated with paneling. Newel missing at landing. <u>Staircase between first and attic (second) floor:</u> Winder arrangement comprising of eight steps to small landing then turning into three steps up to attic floor. Enclosed on west and south side with a paneling. Stair treads of various width specific to wider form and pronounced nosing. Risers @ 210mm (height).
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around 18 months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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PHOTOGRAPHS

Photograph: General Context



Room F1, looking east across landing.

Photograph: General Context



Room F1, looking west through landing.

Photograph: Building Detail



Room F1, showing the south wall which comprises of a plaster finish onto brickwork. The plaster finish comprises of a two-coat plaster - scratch coat and finish coat.

Photograph: Building Detail



Room F1, showing floorboards. The width of the floorboards varies slightly being between 210mm-225mm (width).

Photograph: Building Detail



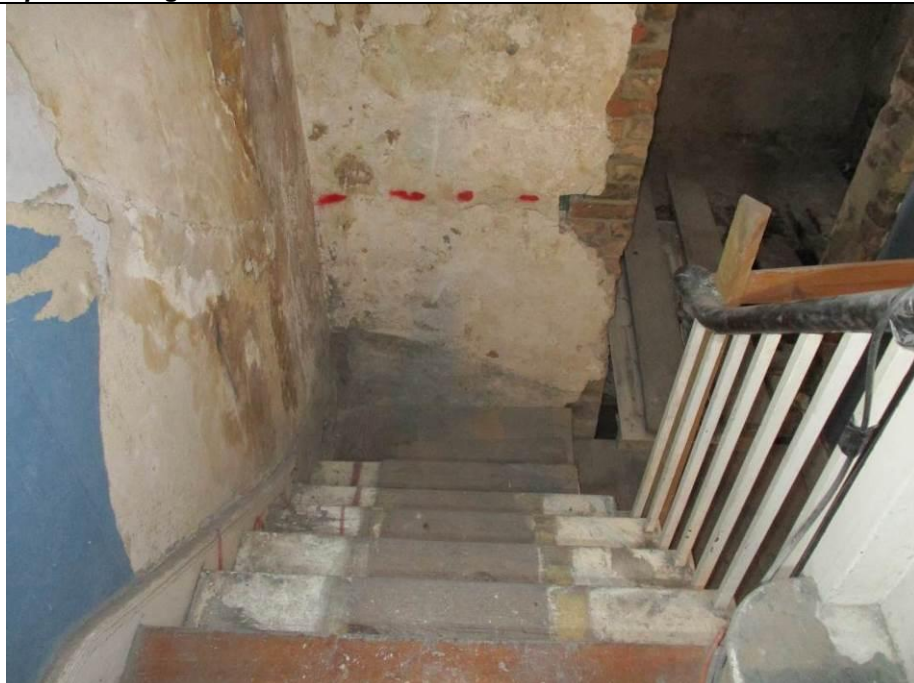
Room F1, showing the architrave detailing to the doorway into room F2. The architrave is formed of plain timber boards with applied beading.

Photograph: Building Detail



Room F1, showing skirting detail.

Photograph: Building Detail



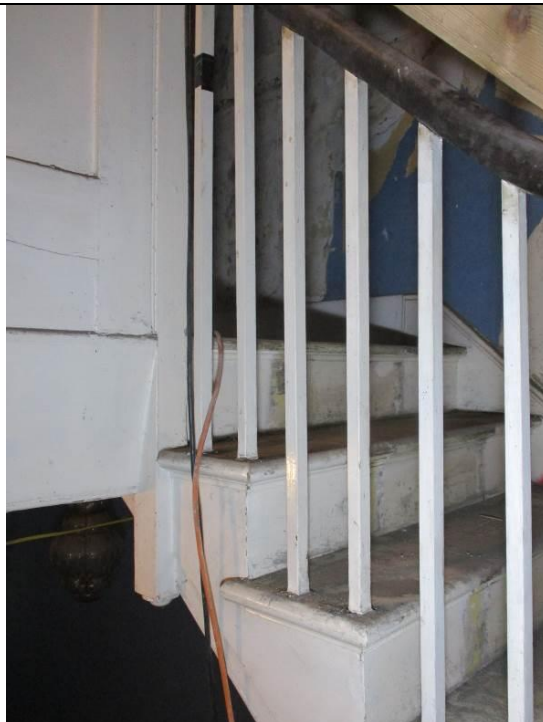
Room F1, showing the upper flight of stairs between from ground floor to first floor.

Photograph: Building Detail



Room F1, showing the dogleg staircase of open string construction from the half landing up to the first floor.

Photograph: Building Detail



Room F1, showing the stick spindle staircase balustrade and pronounced nosing to the treads.

Photograph: Building Detail



Room F1, showing the treads and risers to the staircase.

Photograph: Building Detail



Room F1, showing the profiled staircase stringer at its junction with the adjacent plain (unprofiled) skirting.

Photograph: Building Detail



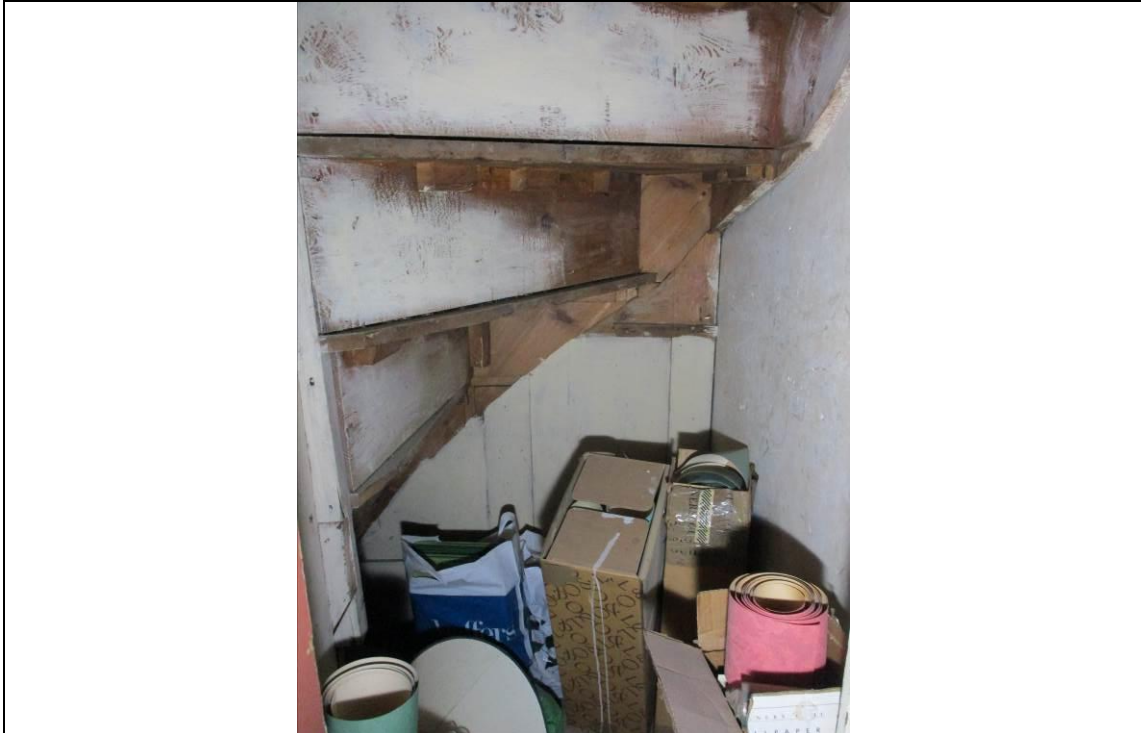
Room F1, showing the staircase between the first floor and attic (second) floor.

Photograph: Building Detail



Room F1, showing the treads and risers to the staircase between first floor and attic (second) floor.

Photograph: Building Detail



Room F1a, the cupboard under the staircase.

Floor	First floor
Room number	F2
Room function/name (if apparent)	Bedroom

WRITTEN DESCRIPTION

Ceiling	Decorated lath and plaster with patches of gypsum-based plaster. Note: evidence of plasterboard having been used to perimeter of room where previous repairs have been undertaken.
Walls (incl. skirtings) (N/E/S/W)	North, east and south as decorated lime plaster over brickwork with evidence of localised use of gypsum plaster particularly along east and south wall. <u>West</u> wall as decorated lime plaster over assumed studwork. Skirting comprising of simple (unprofiled) decorated timber skirting boards @ 175mm height. Picture rail comprising of rounded rail.
Floor	Floorboards, orientated north/south @ 220mm-230mm (width) x 20mm (depth).
Internal doors	1 no. four paneled door, painted, plain (without beading detail). Lock case missing to inner (room) side and key plate to outer side. 810mm (width) x 1.9m (height). Door set within profiled architrave built up from plain boards with applied beading. Architrave fixed to timber grounds (timbers embedded within walls) within opening.
Fireplaces	North (party) wall contains 1 no. fireplace aperture. Fireplace missing although hearth is visible within floor.
Fixtures and fittings	Cupboards either side of chimney breast. East side cupboard with later modified door painted timber door within profiled architrave. West side cupboard with four panel, painted, plain (without beading detail) door within profiled architrave. Sash window set within splayed timber reveal with timber window back below window.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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PHOTOGRAPHS

Photograph: General Context



Room F2 looking west through room.

Photograph: General Context



Room F2, looking north through room.

Photograph: General Context



Room F2 looking east through room.

Photograph: Building Detail



Room F2, showing floorboards.

Photograph: Building Detail



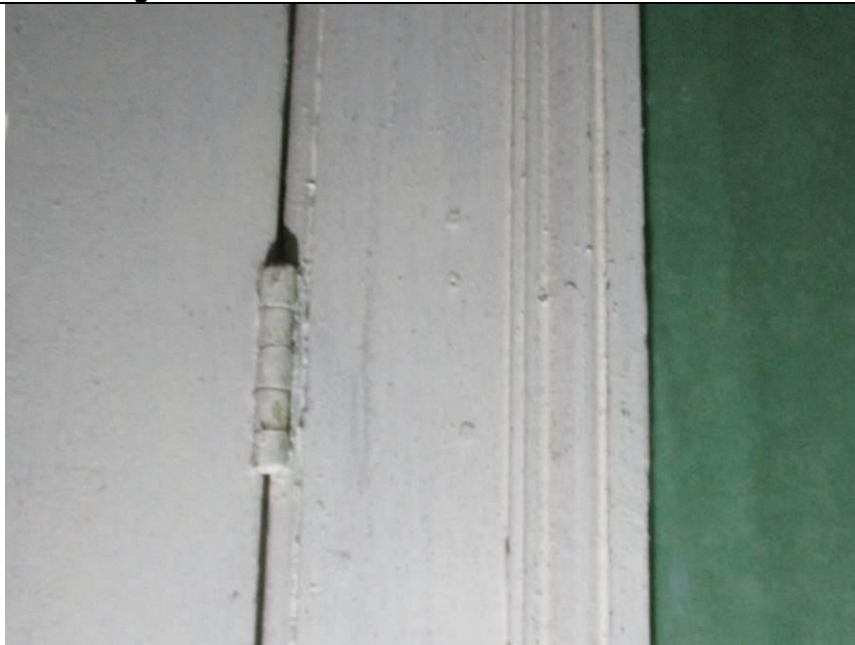
Room F2, showing internal door.

Photograph: Building Detail



Room F2, showing timber grounds which affix doorway architrave to wall.

Photograph: Building Detail



Room F2, showing internal door architrave.

Photograph: Building Detail



Room F2, showing location of former fireplace.

Photograph: Building Detail



Room F2, showing skirting board detail.

Photograph: Building Detail



Room F2, showing picture rail detail.

ROOM REFERENCE

Floor	First floor
Room number	F3
Room function/name (if apparent)	Bedroom

WRITTEN DESCRIPTION

Ceiling	Decorated lath and plaster.
Walls (incl. skirtings) (N/E/S/W)	<u>North</u> , <u>south</u> and <u>west</u> as decorated lime plaster over brickwork. <u>East</u> wall as decorated lime plaster over assumed studwork. Skirting comprising of simple (unprofiled) decorated timber skirting boards @ 175mm height.
Floor	Floorboards orientated north/south @ 220mm – 230mm (width) x 20mm (depth). Butted.
Internal doors	1 no. four paneled door, painted, plain (without beading detail). Lock case and handle to inner (room) side and key plate to outer side. 810mm (width) x 1.9m (height). Door set within profiled architrave built up from plain boards with applied beading. Architrave fixed to timber grounds (timbers embedded within walls) within opening. Architrave 130mm (width).
Fireplaces	North (party) wall contains 1 no. fireplace aperture. Fireplace missing although hearth is visible within floor.
Fixtures and fittings	Cupboards either side of chimney breast. East and west side cupboards with four panel, painted, plain (without beading detail) door within profiled architrave. Sash window set within profiled architrave.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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PHOTOGRAPHS

Photograph: General Context



Room F3, looking northwest through room.

Photograph: General Context



Room F3, looking southeast across room.

Photograph: Building Detail



Room F3, showing floorboards

Photograph: Building Detail



Room F3, showing internal door.

Photograph: Building Detail



Room F3, showing location of former fireplace.

Photograph: Building Detail



Room F3, showing skirting board.

ROOM REFERENCE

<i>Floor</i>	First floor
<i>Room number</i>	F4
<i>Room function/name (if apparent)</i>	Former bathroom

WRITTEN DESCRIPTION

<i>Ceiling</i>	Ceilings removed, roof structure/joists visible. Evidence of previous plasterboard ceiling finish.
<i>Walls (incl. skirtings) (N/E/S/W)</i>	Plaster finish on brickwork, appearing to be possible lime plaster finishes with gypsum skim. No skirting although skirting likely existed given gap between plaster and floor.
<i>Floor</i>	Floorboards orientated east/west. Uniform @ 120mm (width) x 25mm (depth)
<i>Internal doors</i>	None.
<i>Fireplaces</i>	None.
<i>Fixtures and fittings</i>	None.
<i>Other items of interest</i>	None.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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PHOTOGRAPHS

Photograph: General Context



Room F4 looking west through room.

Photograph: General Context



Room F4, showing floorboards.

INTERIOR INVENTORY:
GROUND FLOOR

ROOM REFERENCE

Floor	Ground floor
Room number	G1
Room function/name (if apparent)	Hallway

WRITTEN DESCRIPTION

Ceiling	Assume decorated lath and plaster.
Walls (incl. skirtings) (N/E/S/W)	Decorated lime plaster over brickwork. Plaster finish on south wall appears to be of two coats (scratch coat and finish coat) @ c.20mm thick. Skirting comprising of profiled painted timber skirting boards @ 235mm height (170mm plain board with 65mm profiled beading to upper part). Cornice comprising of moulded cornice, assume plaster @ 90mm (height).
Floor	Modern checkered pattern vinyl floor covering over assumed floorboards.
Internal doors	Doors reference with associated rooms. Note architrave facing hallway and door lining built up from plain boards with applied beading @135mm (width).
Fireplaces	None.
Fixtures and fittings	<u>Staircase between ground and first floor (lower flight):</u> Dog leg arrangement, open string with timber balustrade comprising of stick spindles (20mm x 20mm @100-110mm centres) and polished wood handrail. Treads @ 240mm (depth) with pronounced nosing, risers @ 150mm (height). Curtail step to bottom of flight. <u>Staircase between ground floor and lower ground floor (upper flight):</u> Dog leg arrangement, closed string with timber balustrade comprising of stick spindles (20mm x 20mm @100-115mm centres) and polished wood handrail. Treads @ 220mm (depth) with pronounced nosing, risers @ 150mm (height). Turned newel.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is
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	reflected in the poor condition of internal fabric including evidence of fabric damaged by rainwater ingress and associated timber decay.
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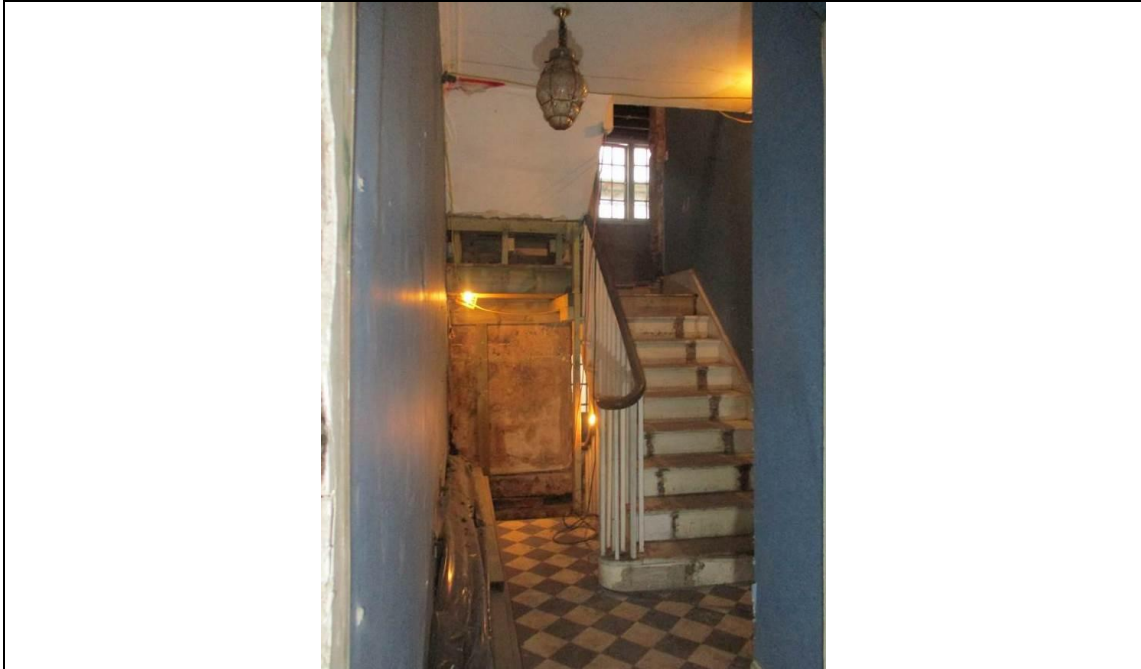
PHOTOGRAPHS

Photograph: General Context



Room G1, looking east through hallway.

Photograph: General Context



Room G1 looking west through hallway.

Photograph: Building Detail



Room G1, showing plaster ceiling with cornice.

Photograph: Building Detail



Room G1, showing cornice detail.

Photograph: Building Detail



Room G1, showing cornice detail.

Photograph: Building Detail



Room G1, showing profiled skirting.

Photograph: Building Detail



Room G1, showing staircase with curtail step to bottom of stair.

Photograph: Building Detail



Room G1, showing open string staircase with stick spindles.

Photograph: Building Detail



Room G1, showing the handrail detail at the curtail step.

ROOM REFERENCE

Floor	Ground floor
Room number	G2
Room function/name (if apparent)	Lounge/reception room

WRITTEN DESCRIPTION

Ceiling	Assume decorated lath and plaster.
Walls (incl. skirtings) (N/E/S/W)	<u>North</u> , <u>east</u> and <u>south</u> as decorated lime plaster over brickwork. <u>West</u> wall as decorated lime plaster over assumed studwork. Skirting comprising of profiled painted timber skirting boards @ 240mm height. (170mm plain board with 70mm profiled beading to upper part). Cornice comprising of moulded cornice, assume plaster.
Floor	Floorboards orientated north/south @ 220mm-225mm (width) c 20mm (depth).
Internal doors	Missing. Profiled architrave to doorway opening built up from plain boards with applied beading. Architrave 125mm width.
Fireplaces	Marble surround 1.4m (width) x 1.19m (height) with decorative cast-iron hob grate. Hearth visible in floor.
Fixtures and fittings	Sash window set within splayed reveal incorporating full height paneled shutters.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including damaged fabric.
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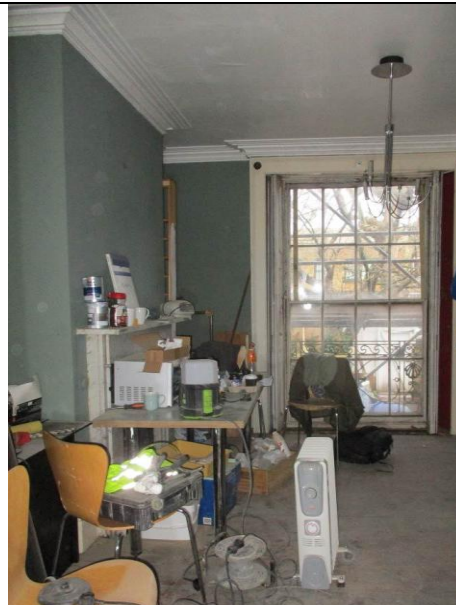
PHOTOGRAPHS

Photograph: General Context



Room G2, looking east through room.

Photograph: General Context



Room G2 looking east through room.

Photograph: Building Detail



Room G2, showing floorboards.

Photograph: Building Detail



Room G2, showing the profiled skirting boards.

Photograph: Building Detail



Room G2, showing cornice detail.

Photograph: Building Detail



Room G2, showing doorway architrave.

Photograph: Building Detail



Room G2, showing detailing of marble fireplace.

Photograph: Building Detail



Room G2, showing cast-iron hob grate.

Photograph: Building Detail



Room G2, showing window set within shutters.

Photograph: Building Detail



Room G2, showing panelled shutters to window.

ROOM REFERENCE

Floor	Ground floor
Room number	G3
Room function/name (if apparent)	Reception/lounge room

WRITTEN DESCRIPTION

Ceiling	Assume decorate lath and plaster.
Walls (incl. skirtings) (N/E/S/W)	<u>North</u> , west and <u>south</u> as decorated lime plaster over brickwork. <u>West</u> wall as decorated lime plaster over assumed studwork. Skirting comprising of profiled painted timber skirting boards @ 240mm height (170mm plain board with 70mm profiled beading to upper part). Cornice comprising of moulded cornice, assume plaster.
Floor	Floorboards orientated north/south @ 220mm-225mm (width) c 20mm (depth).
Internal doors	1 no. four paneled door, painted with beaded embellishments within panels. Inner (room) side with beehive door handle and key plate to outer side. 810mm (width) x 1.98m (height). Door set within profiled architrave built up from plain boards with applied beading. Architrave @ 130mm (width).
Fireplaces	Missing.
Fixtures and fittings	Sash window set within splayed reveal incorporating paneled shutters and timber window back below window. One third height cupboards and shelving to either side of chimneybreast. Double paneled doors. Shelving above assumed modern.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including damaged fabric. Room difficult to record due to presence of stored items.
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PHOTOGRAPHS

Photograph: General Context



Room G3, looking west through room.

Photograph: Building Detail



Room G3 showing door.

Photograph: Building Detail



Room G3, showing beehive door handle.

Photograph: Building Detail



Room G3, showing skirting.

Photograph: Building Detail



Room G3, showing cornice.

Photograph: Building Detail



Room G3, showing floorboards.

Photograph: Building Detail



Room G3, showing window with splayed reveal and shutters.

Photograph: Building Detail



Room G3, showing window shutters.

ROOM REFERENCE

Floor	Ground floor
Room number	G4
Room function/name (if apparent)	Rear hallway

WRITTEN DESCRIPTION

Ceiling	Assume decorated lath and plaster.
Walls (incl. skirtings) (N/E/S/W)	<u>North</u> wall as hardboard partition. <u>South</u> wall, with full height vertical Wainscott timber boards over brickwork. Tongue and groove @ 100mm (width). Wainscoting fixed by timber grounds within wall.
Floor	Ply over assumed floorboards.
Internal doors	None.
Fireplaces	None.
Fixtures and fittings	None.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Later addition. Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including fabric damaged by water ingress.
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PHOTOGRAPHS

Photograph: General Context



Room G4, looking west through back hallway.

Photograph: Building Detail



Room G4, showing wainscoting.

ROOM REFERENCE

Floor	Ground floor
Room number	G5
Room function/name (if apparent)	Former bathroom

WRITTEN DESCRIPTION

Ceiling	Unconfirmed, possibly cement board.
Walls (incl. skirtings) (N/E/S/W)	<u>North</u> , <u>east</u> and <u>west</u> walls as gypsum plaster on brickwork. South wall as hardboard partition.
Floor	Screed over possible floorboards.
Internal doors	Missing.
Fireplaces	None.
Fixtures and fittings	None.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Later addition. Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including fabric damaged by water ingress.
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PHOTOGRAPHS

Photograph: General Context



Room G5 looking into room from doorway.

INTERIOR INVENTORY:

LOWER GROUND FLOOR

ROOM REFERENCE

Floor	Lower ground floor
Room number	LG1 including LG1a and LG1b
Room function/name (if apparent)	Hallway

WRITTEN DESCRIPTION

Ceiling	LG1, assume lath and plaster. LG1a as underside of staircase. LG1b as sheet board.
Walls (incl. skirtings) (N/E/S/W)	LG1 as decorate plaster to brickwork with evidence of gypsum plaster to walls. Skirting missing. LG1a and LG1b as undecorated gypsum plaster.
Floor	LG1 and LG1a as diamond patterned sheet vinyl floor tiles over concrete. LG1b as floorboards orientated east/west @ 220mm (width)
Internal doors	LG1a with 1 no. painted timber door. 630mm (width) x 1.57m (height). LG1b with 1 no. painted plank and batten door with upright handle. 640mm (width) x 2.08m (height).
Fireplaces	None.
Fixtures and fittings	<u>Staircase between ground floor and lower ground floor (lower flight):</u> Dog leg arrangement, closed string with timber balustrade comprising of stick spindles (20mm x 20mm @100-115mm centres) and polished wood handrail. Treads @ 220mm (depth) with pronounced nosing, risers @ 170mm (height). Turned newel.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including fabric damaged by water ingress. Lower ground parts have been subject to most amount of alteration/refurbishment in mid-late 20th century.
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PHOTOGRAPHS

Photograph: General Context



Room LG1, looking west towards staircase.

Photograph: General Context



Room LG1a, looking into understairs cupboard.

Photograph: General Context



Room LG1b, showing the cupboard with undecorated gypsum plaster wall finishes.

Photograph: Building Detail



Room LG1, showing staircase (lower flight) between ground floor and lower ground floor.

ROOM REFERENCE

Floor	Lower ground floor
Room number	LG2
Room function/name (if apparent)	Dining room

WRITTEN DESCRIPTION

Ceiling	Assume decorated lath and plaster with gypsum finishes.
Walls (incl. skirtings) (N/E/S/W)	Decorated plaster over brickwork, gypsum and cement-based plaster. Skirting @ 125mm (height) modern,
Floor	Vinyl floor tiles over concrete floor.
Internal doors	1 no. undecorated modified timber four panel door with glazed upper lights inserted into upper panels. . 800mm (width) x 1.76m (height).
Fireplaces	Timber surround. No grate. Fireplace decorated with delft style tiles.
Fixtures and fittings	Cupboards either side of chimneybreast with architraves but doors missing.
Other items of interest	None.

ADDITIONAL WRITTEN OBSERVATIONS

Additional comments	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including fabric damaged by water ingress. Lower ground parts have been subject to most amount of alteration/refurbishment in mid-late 20th century.
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PHOTOGRAPHS

Photograph: General Context



Room LG2, looking east through room.

Photograph: General Context



Room G1 looking east through room.

Photograph: Building Detail



Room LG2, showing fireplace.

Photograph: Building Detail



Room LG2 , showing plain skirting (without moulding).

Photograph: Building Detail



Room LG2, showing doorway.

ROOM REFERENCE

<i>Floor</i>	Lower ground floor
<i>Room number</i>	LG3
<i>Room function/name (if apparent)</i>	Former kitchen.

WRITTEN DESCRIPTION

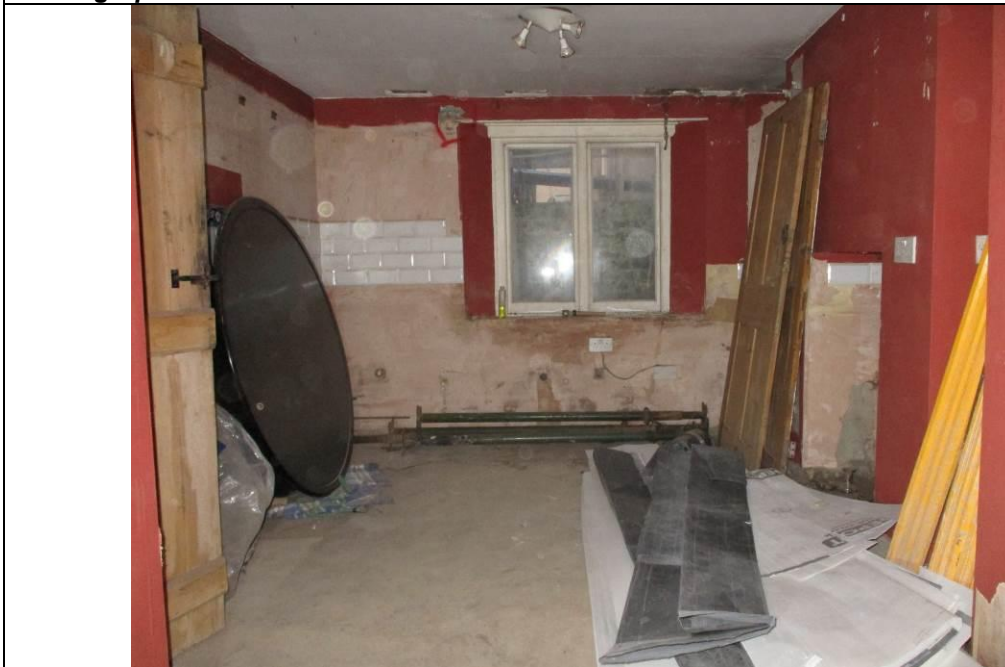
<i>Ceiling</i>	Decorated plasterboard.
<i>Walls (incl. skirtings) (N/E/S/W)</i>	Decorated plaster over brickwork, gypsum and cement-based plasters. No skirting.
<i>Floor</i>	Concrete floor.
<i>Internal doors</i>	1 no. undecorated plank and batten door with latch to room side and upright handle to outer side. 675mm (wide) x 1.85m (height)
<i>Fireplaces</i>	Without fire surround and grate.
<i>Fixtures and fittings</i>	None.
<i>Other items of interest</i>	None.

ADDITIONAL WRITTEN OBSERVATIONS

<i>Additional comments</i>	Recorded in Winter 2024. The building has been vacant for around eighteen months and in a dilapidated and deteriorating state for at least a decade and this is reflected in the poor condition of internal fabric including fabric damaged by water ingress. Lower ground parts have been subject to most amount of alteration/refurbishment in mid-late 20th century. Kitchen fittings removed.
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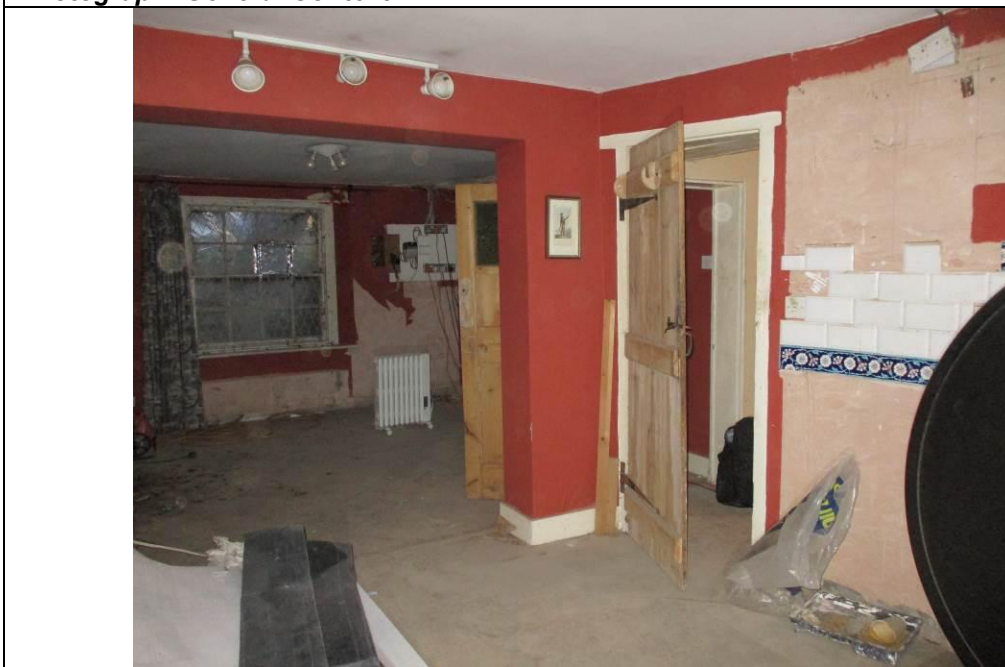
PHOTOGRAPHS

Photograph: General Context



Room LG3, looking west through room.

Photograph: General Context



Room LG3, looking southeast through room.